



**SITE AND ARCHITECTURAL REVIEW COMMITTEE
TUESDAY, APRIL 12, 2016
6:30 p.m.**

**Doetsch Conference Room/City Hall
70 N. First Street, Campbell, CA 95008**

AGENDA

ITEM/FILE NO.		ADDRESS	START TIME / DURATION	APPLICANT
1.	PLN2015-309	881 Kenneth Ave	6:30 p.m. / 20 Minutes	Arun K. Biessar
Site and Architectural Review Permit to allow construction of a new two-story, 3,681 square foot single-family residence using a portion of the existing structure. Project Planner: <i>Daniel Fama, Associate Planner</i>				
2.	PLN2016-41	816 Cambrian	6:50 p.m. / 20 Minutes	Natasha Muller
Site and Architectural Review Permit to allow a 1,001 square foot addition to an existing 1,720 square foot, one-story, single-family residence. Existing 301 square foot detached garage will be attached to the home for a total FAR of 3,029 square feet. Project Planner: <i>Cindy McCormick, Senior Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** April 12, 2016
From: Daniel Fama, Associate Planner *DF*
Via: Paul Kermoyan, Community Development Director *PK*
Subject: Site and Architectural Review Permit
File No.: PLN2015-309 ~ 881 Kenneth Avenue

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow construction of a new two-story, 3,681 square-foot single-family residence, using portions of the existing structure (reference **Attachment 1** – Project Plans).

PROJECT SITE

The project site is a 10,299 square-foot property located along Kenneth Avenue, within the City's San Tomas Area Neighborhood in the R-1-10 (Single-Family Residential) Zoning District (reference **Attachment 2** – Location Map). The site is currently developed with a single-family residence that will be substantially demolished as part of the project. Single-family residential properties border the site on all sides. Pursuant to the San Tomas Area Neighborhood Plan (STANP), demolition and reconstruction of a single-family residence—which renders a lot "undeveloped"—requires approval of a Site and Architectural Review Permit by the Planning Commission.

PROJECT DATA

Zoning Designation:	R-1-10 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 3.5 units/gr. acre)	
Net Lot Area:	10,299 square-feet (.23 acres)	
Gross Lot Area:	12,639 square-feet (.29 acres)	
Density:	3.4 units/gr. acre	3.5 units/gr. acre. (Max. Allowed)
Building Height:	27 feet	28 feet (Max. Allowed)
Building Square Footage:		
First Floor Living:	1,824 square feet	
Second Floor Living:	1,391 square feet	
Attached Garage:	<u>466 square feet</u>	
	3,681 square feet (Total House Size)	
Floor Area Ratio (FAR):	.34 (3,681 sq. ft.)	.45 (4,634 sq. ft.) (Max. Allowed)
Parking:	2 spaces (covered)	2 spaces (Min. Required)
Building (Lot) Coverage:	22% (2,290 sq. ft.)	35% (3,604 sq. ft.) (Max. Allowed)

Setbacks	<u>Proposed</u>	<u>Required</u>
Front (east)	25 feet	25 feet
Garage	25 feet	25 feet
1 st -Story Side (south)	11 feet	8 feet or 60% of the wall height
2 nd -Story Side (south)	12 feet, 6 in.	8 feet or 60% of the wall height
1 st -Story Side (north)	13 feet, 8 in	10 feet or 60% of the wall height
2 nd -Story Side (north)	21 feet, 11 in.	10 feet or 60% of the wall height
Rear (west):	46 feet, 1 in	20 feet

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [San Tomas Area Neighborhood Plan \(STANP\)](#). The Plan provides development standards (e.g., height, setback, lot coverage, etc.) as well as design guidelines in terms of design compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for evaluating the design of new residences. Pursuant to CMC Sec. 21.54.050, the Site and Architectural Review Committee's (SARC) purview is to review the project's architectural design and site configuration, upon which a recommendation may be made to the Planning Commission.

Design/Massing: The proposed two-story, 3,681 square-foot single-family residence is presented in a contemporary residential style incorporating hipped rooflines, composition roofing, stucco walls, a front porch with a dual-door entry with side panels, and a upper-level deck recessed within the first-story roofline. The color scheme is a classic "earth-tone" incorporating a tan body color with brown trim. This design approach is consistent with the new residences built within the San Tomas Area that achieve compatibility by eschewing "modern" design elements and materials, and by minimizing out-of-scale features such as a two-story entryway, heavy columns, or turrets.



However, in an attempt to diminish the vertical appearance of the building through extensive use of horizontal rooflines and hipped roof forms, there is an apparent lack of visual interest and disproportionate appearance of massing. If the SARC shares these concerns, they can be resolved with minimal refinements to the design such as incorporating gable features, shifting wall planes to create depth, and using more than one wall material. For example, the recently approved home on Warwick Avenue incorporates these elements to create a well-articulated and interesting front façade.



Site Layout: As the proposed residence would be constructed utilizing portions of the existing residence, its siting towards the front of the property would be largely preserved. This would maintain the property's generously-sized rear yard, as well as ensure continued consistency with neighboring properties.

Privacy: As noted by the STANP, construction of second-story decks and balconies may represent privacy concerns, and should be carefully reviewed. As noted, the project has an upper-level deck recessed within the first-story roof at the front of the house and a rear balcony. Although the surface of the deck is below the roofline, the roofing will rise only three feet around the deck allowing visibility onto the neighbor's side yard. However, the side yard is a driveway, which does not present a privacy impact. With respect to the rear balcony, it is mostly recessed within the interior of the house, nearly eliminating visibility at the sides, and with a 46 foot rear-yard setback, the potential for privacy impacts to the rear neighbor is minimal.

Landscaping: The property's existing front yard landscaping would be maintained as part of the project. Any substantial change to the landscaping scheme, however, will require compliance with the State mandated landscape water efficient guidelines, which will require incorporation of various water conservation measures, including planting of drought-resistance vegetation.

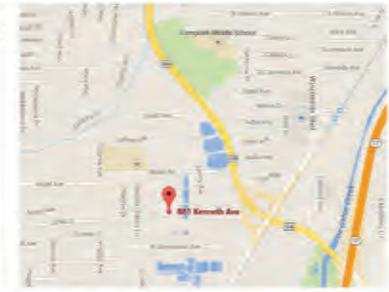
SUMMARY

The SARC should discuss the project's proposed architecture, massing, scale, and consistency with homes in the neighborhood. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

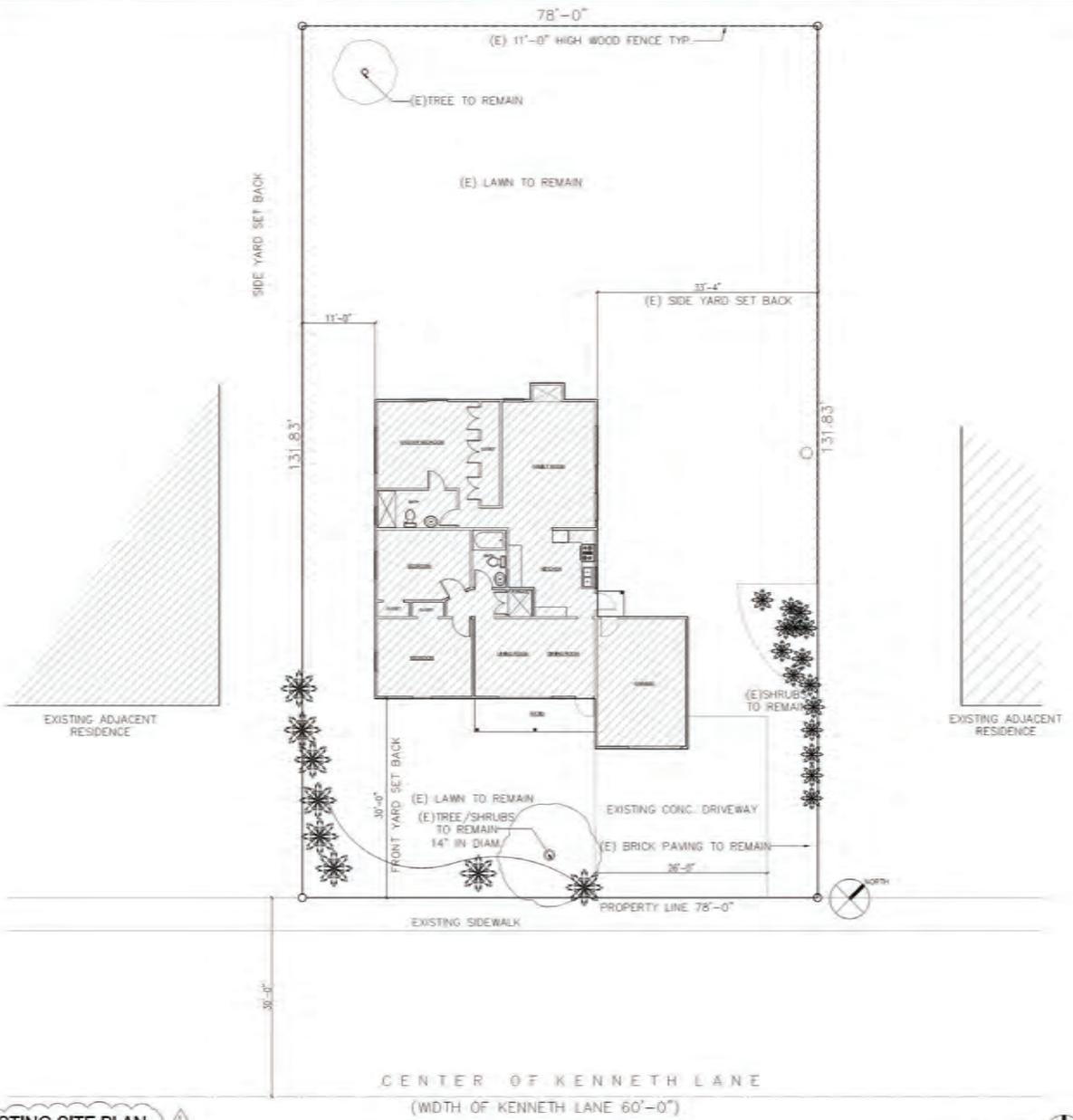
Attachments:

1. Project Plans
2. Location Map

NEW 2 STOREY RESIDENCE FOR RAVI K AND KANNA ASHWINI P AT 881 KENNETH AVE. CAMPBELL CITY CA. 95008

ABBREVIATIONS:	GENERAL NOTES:	EXISTING PROJECT INFORMATION:	PROJECT TEAM:	SHEET INDEX:																																																																																																																																																																																																																																																								
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ALL WORK TO COMPLY WITH:</p> <p>2013 CALIFORNIA BUILDING STANDARDS CODE PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)</p> <p>2013 CALIFORNIA RESIDENTIAL CODE PART 2, TITLE 24, CCR (2008 IRC AND 2007 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA ELECTRICAL CODE PART 3, TITLE 24(CCR) (2005 NEC AND 2007 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA MECHANICAL CODE PART 4, TITLE 24, CCR (2006 IMC AND 2007 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA PLUMBING CODE PART 5, TITLE 24, CCR (2006 UPC AND 2007 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA FIRE CODE PART 6, TITLE 24, CCR (2006 IFC AND 2007 CALIFORNIA AMENDMENTS)</p> <ol style="list-style-type: none"> ON-SITE VERIFICATION OF ALL DIMENSIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR FOR HIS INDIVIDUAL WORK. THE ENGINEER OF RECORD SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND PRIOR TO COMMENCING WORK. THE RESPONSIBILITY FOR WORK COMPLETED WITHOUT PROPER NOTIFICATION SHALL BE BORN BY THE INDIVIDUAL CONTRACTOR INVOLVED. THE CONTRACT DOCUMENTS INDICATE THE EXTENT AND APPROXIMATE LOCATION OF ELEMENTS OF THE BUILDING AND SITE. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. ALL CONCRETE LOCATIONS, DEVICES, AND ELEMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, RESOLVE AND INSTALL ALL MATERIALS AND EQUIPMENT. DO NOT SCALE DRAWINGS. PLAN DIMENSIONS TO FACE OF STUDS, UNLESS OTHERWISE NOTED. SUBSTITUTIONS: THE ENGINEER WILL CONSIDER PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, METHODS, ONLY WHEN SUCH PROPOSALS ARE ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA AND ALL OTHER INFORMATION REQUIRED BY THE ENGINEER OF RECORD TO EVALUATE THE PROPOSED SUBSTITUTION. PROPOSALS SUBMITTED WITHOUT COMPLETE DATA WILL NOT BE CONSIDERED. PROPOSED NEW STRUCTURE SHALL HAVE AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH THE 2010 CIRC SECTION R303 AND NFPA 13D. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCE ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES AND OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOMS AND EACH FLOOR LEVEL. SMOKE ALARMS SHALL BE INSTALLED OUTSIDE EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOMS, ON EACH FLOOR LEVEL AND INSIDE EACH BEDROOM. 	<p>EXISTING PROJECT INFORMATION:</p> <p>OWNER: YALLAMADAS RAVI K. & KANNA ASHWINI P</p> <p>LOCATION: 881 KENNETH AVE. CAMPBELL CA 95008</p> <p>ASSESSOR'S PARCEL NUMBER: 054-30-017</p> <p>EXISTING LIVING AREA: 1530 SQ.FT.</p> <p>APPROX. PARCEL AREA: 15,298 SQ.FT. 0.354 ACRES</p> <p>ZONING: R-1-10 SAN THOMAS NEIGHBORHOOD PLAN</p> <p>SPRINKLED: NO</p> <p>CONSTRUCTION TYPE: 1B</p> <p>OCCUPANCY TYPE: R1</p> <p>NUMBER OF STORES - EXISTING: 1</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <caption>FLOOR AREA INFORMATION:</caption> <thead> <tr> <th></th> <th>EXISTING FLOOR AREA</th> <th>PROPOSED FLOOR AREA</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR</td> <td>1,530 SQ.FT.</td> <td>294 SQ.FT.</td> <td>1,824 SQ.FT.</td> </tr> <tr> <td>GARAGE</td> <td>287 SQ.FT.</td> <td>179 SQ.FT.</td> <td>466 SQ.FT.</td> </tr> <tr> <td>TOTAL FIRST FLOOR AREA</td> <td></td> <td></td> <td>2,290 SQ.FT.</td> </tr> <tr> <td>SECOND FLOOR</td> <td>0 SQ.FT.</td> <td>1,381 SQ.FT.</td> <td>1,381 SQ.FT.</td> </tr> <tr> <td>TOTAL FIRST /SECOND FLOOR AREA</td> <td></td> <td></td> <td>3,671 SQ.FT.</td> </tr> </tbody> </table> <p>FLOOR AREA RATIO:</p> <p>EXISTING FOOT PRINT: 1,530 + 287 = 1,817 SQ.FT.</p> <p>EXISTING FLOOR COVERAGE: 1,817/15,298=11.8%</p> <p>EXISTING FLOOR AREA RATIO: 1,817 SQ.FT. < 4,354 SQ.FT.</p> <p>ALLOWABLE FLOOR AREA RATIO: 4,354 SQ.FT. / 15,298 SQ.FT. = 0.285</p> <p>ALLOWABLE LOT COVERAGE: 30% MAXIMUM</p> <p>PROPOSED FLOOR AREA: 3681 < 4,354 S.F.</p> <p>PROPOSED LOT COVERAGE: 2390 < 3,504 S.F.</p> <p>EXISTING NO. OF STORES: 1</p> <p>PROPOSED NO. OF STORES: 2</p> <p>EXISTING BUILDING NOT SPRINKLED</p> <p>PROPOSED BUILDING TO BE SPRINKLED</p> <p>PROJECT SUMMARY NEW RESIDENCE USING PORTION OF EXISTING FIRST FLOOR STRUCTURE INCLUDING NEW 2 CAR GARAGE</p> <p>SPECIAL PROVISION PURSUANT TO CAMPBELL MUNICIPAL CODE (CMC) SEC. 21.18.140, THIS PROJECT REQUIRES THAT UTILITY (POWER/CABLE/TELEPHONE) LINES DIRECTLY SERVING THE SITE BE INSTALLED UNDERGROUND, ALL NEW AND EXISTING UTILITIES SHALL BE PLACED UNDERGROUND WITH NO EXCEPTION.</p>		EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL	FIRST FLOOR	1,530 SQ.FT.	294 SQ.FT.	1,824 SQ.FT.	GARAGE	287 SQ.FT.	179 SQ.FT.	466 SQ.FT.	TOTAL FIRST FLOOR AREA			2,290 SQ.FT.	SECOND FLOOR	0 SQ.FT.	1,381 SQ.FT.	1,381 SQ.FT.	TOTAL FIRST /SECOND FLOOR AREA			3,671 SQ.FT.	<p>PROJECT TEAM:</p> <p>DESIGNER: A/E/S 7025 MILBORD WAY SACRAMENTO CA 95826</p> <p>STRUCTURAL ENGINEER: DHD ENGINEERING 3080 FIVE OAKS BLVD STE 104 SACRAMENTO CA 95827</p> <p>TITLE 24: KIRK AND ASSOCIATES</p>	<p>SHEET INDEX:</p> <p>A0- TITLE SHEET AND PROJECT INFORMATION</p> <p>A1- EXISTING SITE PLAN AND EXISTING BUILDING PHOTOS</p> <p>A2- PROPOSED SITE PLAN</p> <p>A3- INTERIOR EXTERIOR WALL AND ROOF CALCULATION</p> <p>A4- FLOOR AREA CALCULATION</p> <p>A5- STREET ELEVATION VIEW</p> <p>A6- EXISTING FIRST FLOOR PLAN</p> <p>A7- PROPOSED FIRST FLOOR PLAN</p> <p>A8- PROPOSED SECOND FLOOR PLAN</p> <p>A9- EXISTING AND PROPOSED EXTERIOR ELEVATIONS</p> <p>A10- EXISTING AND PROPOSED EXTERIOR ELEVATIONS</p> <p>A11- BUILDING SECTIONS</p> <p>A12- PROPOSED ROOF PLAN</p>
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	EXISTING FLOOR AREA	PROPOSED FLOOR AREA	TOTAL																																																																																																																																																																																																																																																									
FIRST FLOOR	1,530 SQ.FT.	294 SQ.FT.	1,824 SQ.FT.																																																																																																																																																																																																																																																									
GARAGE	287 SQ.FT.	179 SQ.FT.	466 SQ.FT.																																																																																																																																																																																																																																																									
TOTAL FIRST FLOOR AREA			2,290 SQ.FT.																																																																																																																																																																																																																																																									
SECOND FLOOR	0 SQ.FT.	1,381 SQ.FT.	1,381 SQ.FT.																																																																																																																																																																																																																																																									
TOTAL FIRST /SECOND FLOOR AREA			3,671 SQ.FT.																																																																																																																																																																																																																																																									
 <p>VICINITY MAP</p>				<p>Project: NEW 2-STOREY RESIDENCE FOR RAVI & KANNA ASHWINI P AT 881 KENNETH AVE. CAMPBELL CITY CA.95008</p> <p>Supervisor: [] Designed: AKB Drawn: AKB Checked: []</p> <p>File Date: SEPT: 2014</p> <p>Sheet Title: PROJECT INFORMATION SITE PHOTOS</p> <p>Reference North: [] Sheet Scale: [] Sheet Number: A0 of 12</p>																																																																																																																																																																																																																																																								

24 x 36



EXISTING SITE PLAN

SCALE 1/8"=1'-0"

EXISTING SITE PHOTOS



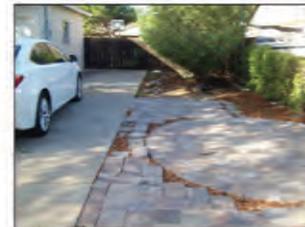
EXISTING FRONT VIEW



EXISTING FRONT VIEW



EXISTING SIDE VIEW



EXISTING SIDE VIEW

Revision:

1	11/15/2015

Project

RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

Supervisor	Designed	Drawn	Checked
	AKB	AKB	

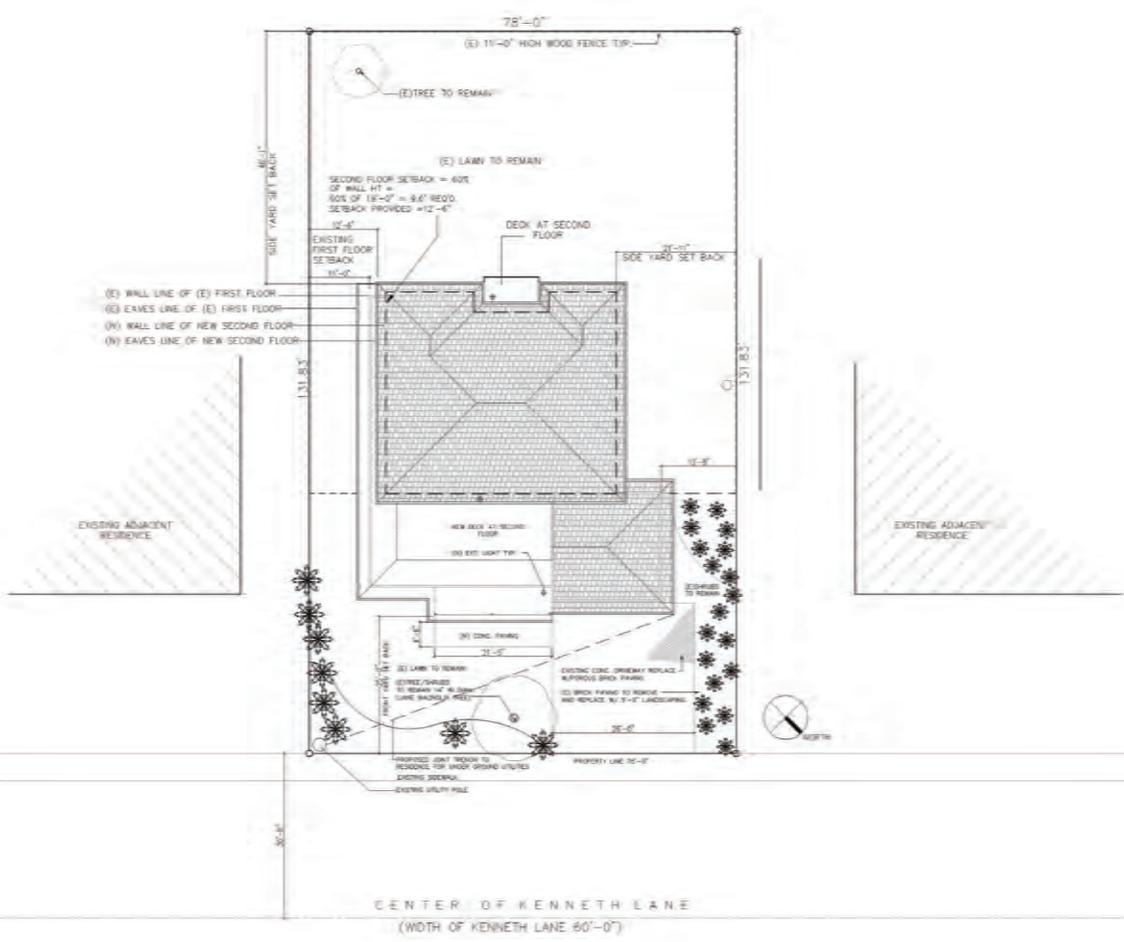
File Date
DEC. 2014

Sheet Title
EXISTING SITE PLAN AND SITE PHOTOS

Reference North	Sheet Scale

Sheet Number
A1_12

24 x 36



KEYNOTES

PROPOSED SITE PLAN
SCALE 1/8"=1'-0"



Revision	11/13/2015

Project
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

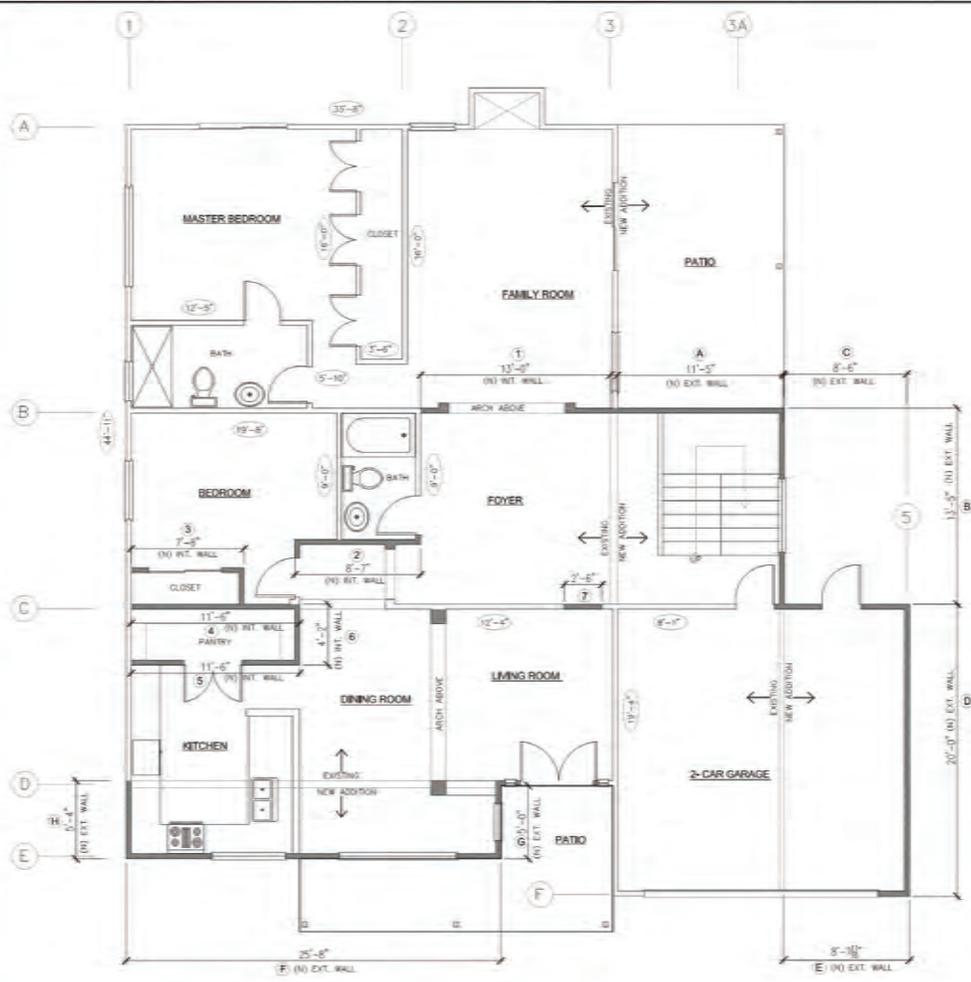
Supervisor	Designed	Drawn	Checked
	AKB	AKB	

File Date
DEC. 2014

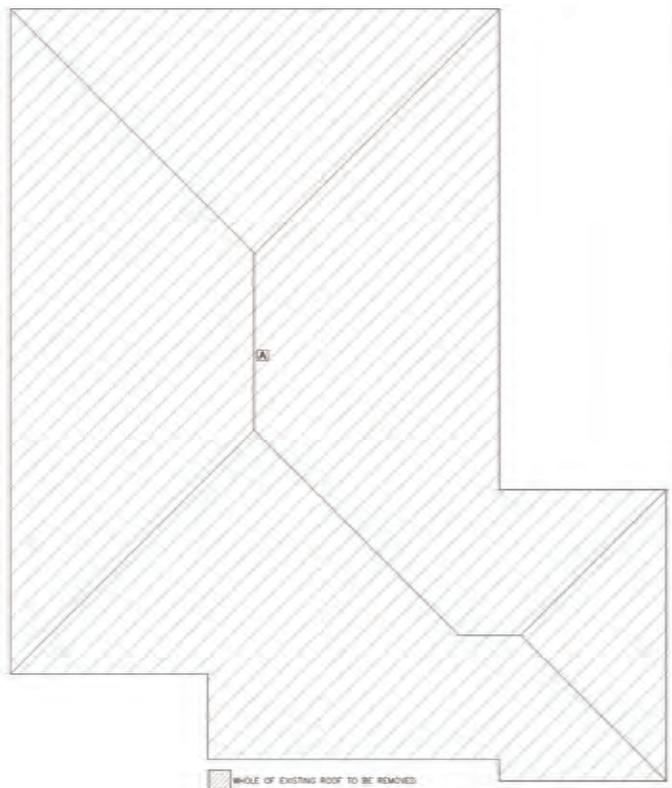
Sheet Title
SITE PLAN AND SITE PHOTOS

Reference North	Sheet Scale

Sheet Number
A2_12



INTERIOR AND EXTERIOR WALL CALCULATION
SCALE 1/4"=1'-0"



ROOF CALCULATION
SCALE 1/4"=1'-0"

KEYNOTES

Blank area for keynotes.

Revision	Description

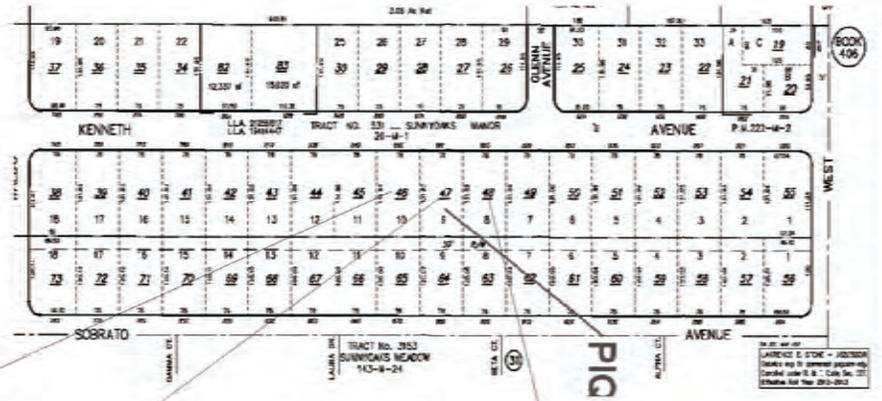
Project
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

Supervisor	Designed	Drawn	Checked
	AKB	AKB	

File Date
DEC. 2014
Sheet Title

FLOOR AND ROOF AREA CALCULATIONS

Reference Mark	Sheet Scale
Sheet Number	
A3_12	



EXISTING RESIDENCE ON LEFT



PROPOSED ELEVATION 881 KENEETH AVE.



EXISTING RESIDENCE ON RIGHT

Revisions			

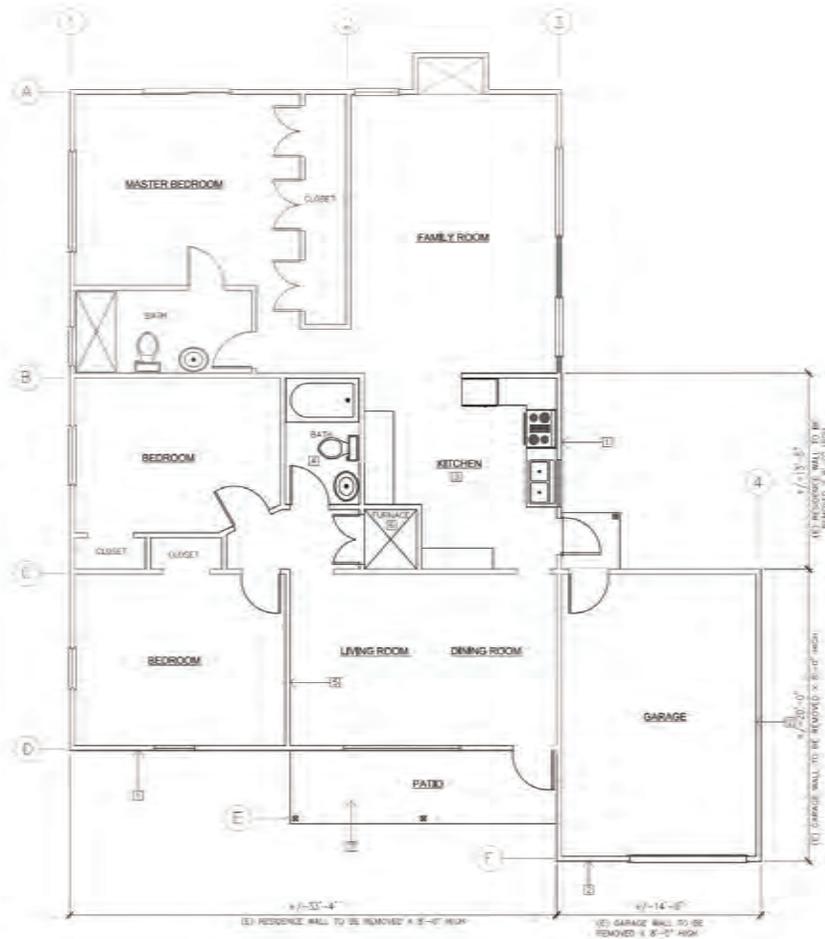
NEW 2-STORY RESIDENCE FOR RAVI & KANNA ASWINI.P AT 881 KENNETH AVE. CAMPBELL CITY CA.95008

Supervisor	Designed	Drawn	Checked
	ANB	AKB	

File Date
DEC., 2014
Sheet Title

STREET SCAPE

Reference North	Sheet Scale
Sheet Number	



EXISTING FIRST FLOOR PLAN



SYMBOLS LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

FLOOR PLAN KEYNOTES

- (1) REMOVE EXTERIOR WALL OF RESIDENCE
- (2) REMOVE EXTERIOR WALL OF GARAGE
- (3) REMOVE (E) KITCHEN PLUMBING, ELECTRICAL, MECHANICAL
- (4) REMOVE (E) BATHROOM FIXTURES
- (5) REMOVE EXISTING INTERIOR WALL
- (6) REMOVE EXISTING FURNITURE
- (7) REMOVE EXISTING PATIO FOR NEW PAVING

Project
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

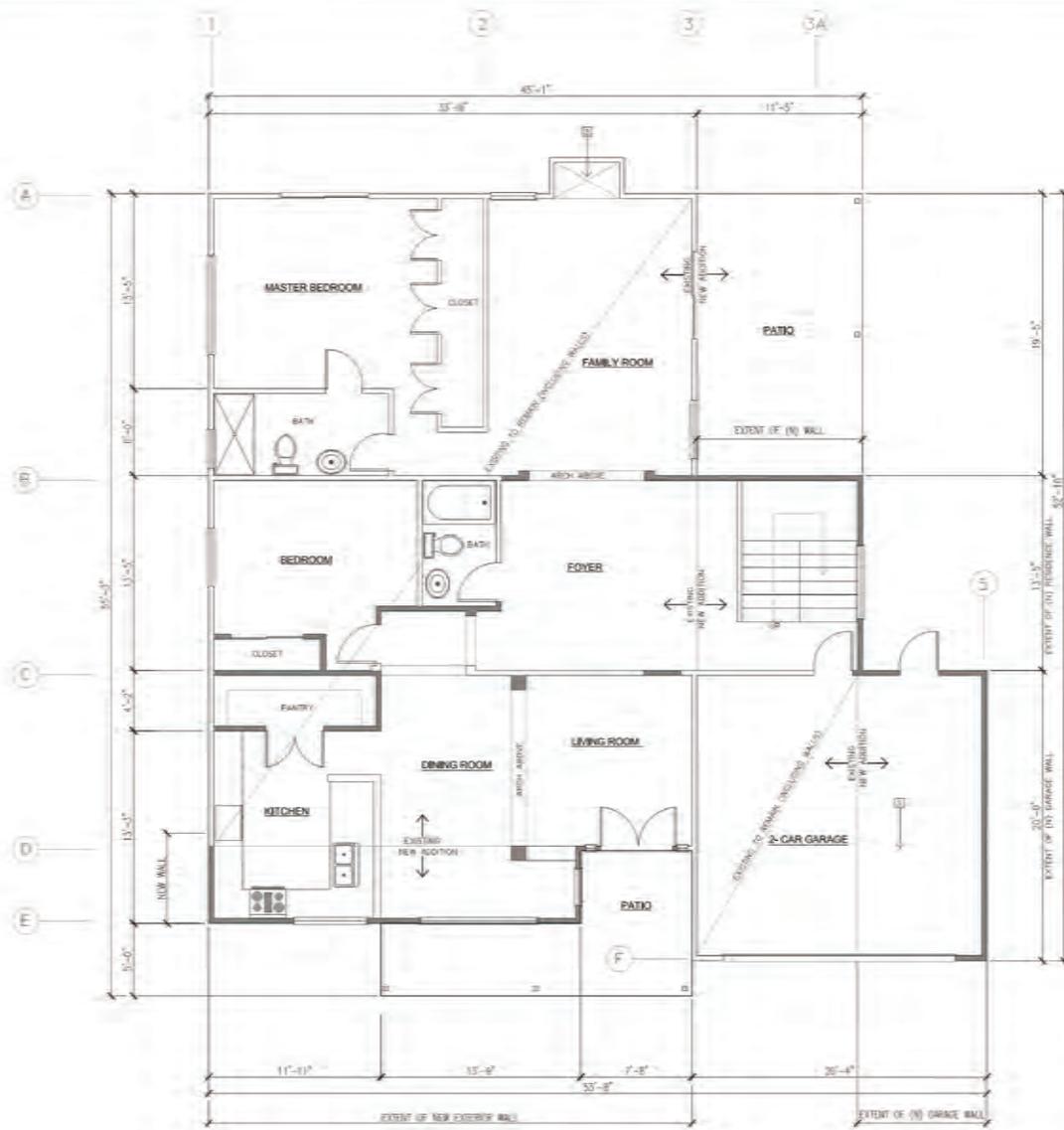
Supervisor	Designed	Drawn	Checked
AKB	AKB	AKB	

File Date:
 DEC. 2014
 Draw Title:

EXISTING FIRST FLOOR PLAN

Reference Mark	Sheet Scale

A6 .12



PROPOSED FIRST FLOOR PLAN



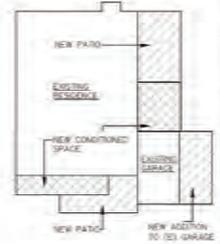
SYMBOL'S LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL

FLOOR PLAN KEYNOTES

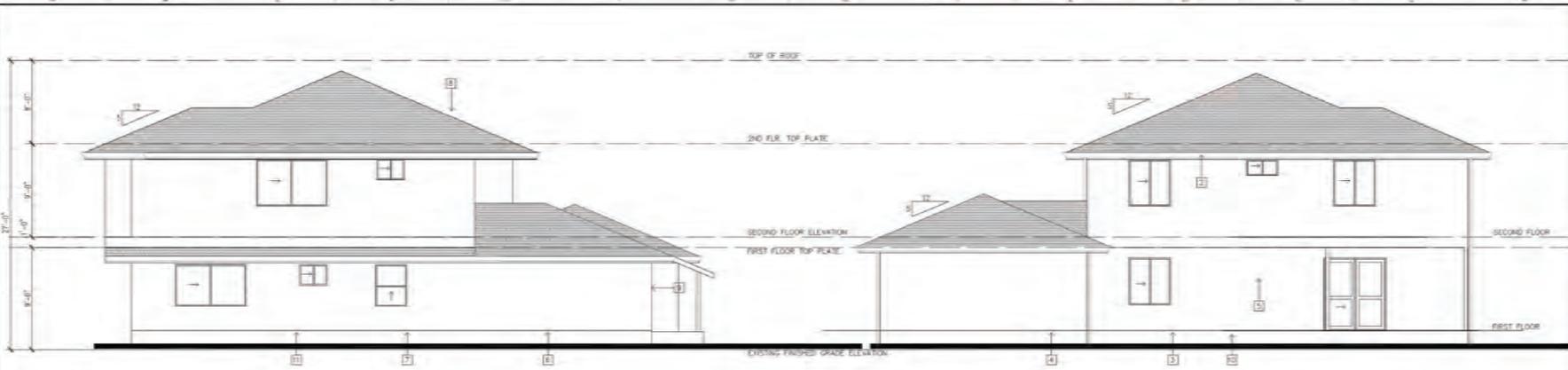
1. NEW 2-CAR GARAGE
2. NEW PATIO
3. EXISTING FIRE PLACE

KEY PLAN - FIRST FLOOR



Project			
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P			
Supervisor	Designed	Drawn	Checked
AKB	AKB	AKB	AKB
RFN Date: DEC. 2014			
Sheet Title:			
PROPOSED FIRST FLOOR PLAN			
Reference Mark:		Sheet Scale:	
		Sheet Number:	
		A7 .12	

24 x 36

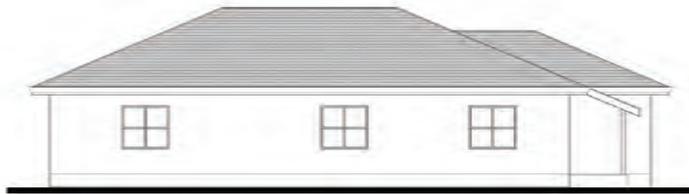
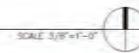


PROPOSED EAST ELEVATION (SIDE)

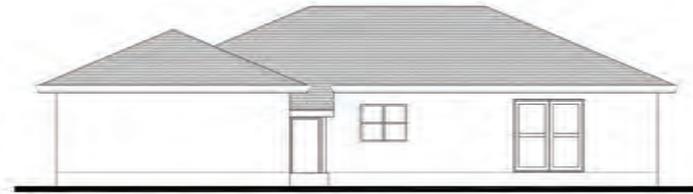
ALL NEW WINDOW, DOOR, PAINT, EXTERIOR FINISH FOR NEW SECOND FLOOR ADDITION TO MATCH EXISTING FIRST FLOOR



PROPOSED WEST ELEVATION (SIDE)



EXISTING EAST ELEVATION (SIDE)



EXISTING WEST ELEVATION (SIDE)



GENERAL NOTES:

1. PROVIDE (2) LAYERS OF TYRE, 3\"/>

STUCCO NOTE:

1. EXPANDED METAL MESH WALL (2) COAT SYSTEM (CC #SR 1144)
1. THERMAL BARRIER USED AT CABLE ENDS ONLY
2. MOISTURE BARRIER
3. 1\"/>

KEYED NOTES:

1. 8\"/>

MATERIALS BOARD



ROOF SHINGLES TO MATCH EXISTING



WALL COLOR TO MATCH EXISTING



WALL TRIM, FASCIA, POST TO MATCH EXISTING

Revisions	By	Date

Project
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

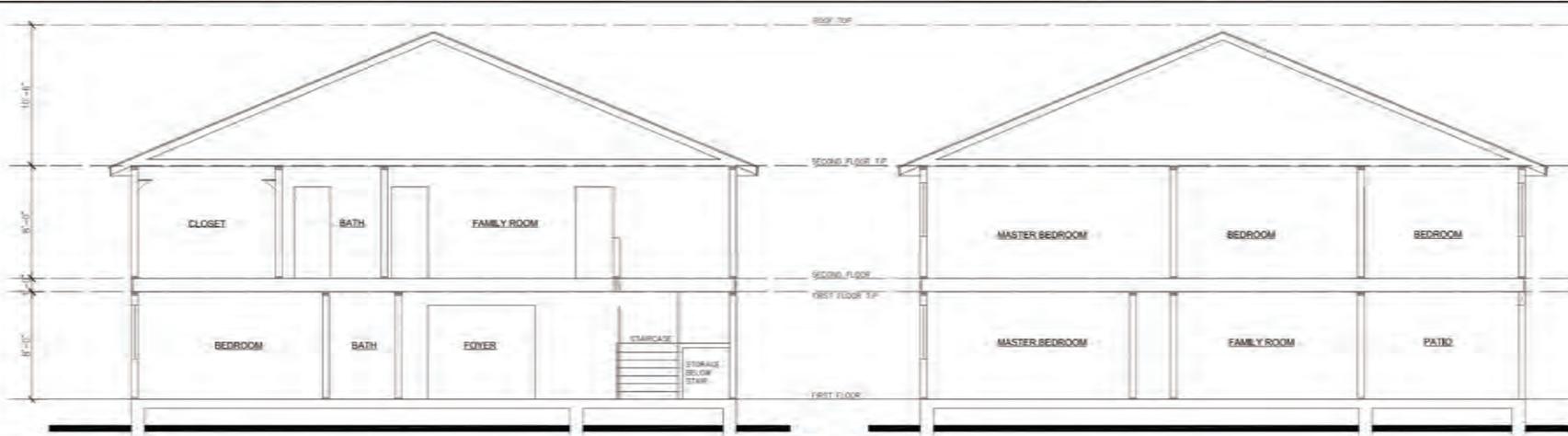
Supervisor	Designed	Drawn	Checked
AKB	AKB	AKB	

File Date:
DEC. 2014

Sheet Title:
EXTERIOR ELEVATIONS

Reference North	Sheet Scale
Sheet Number	

A10_12

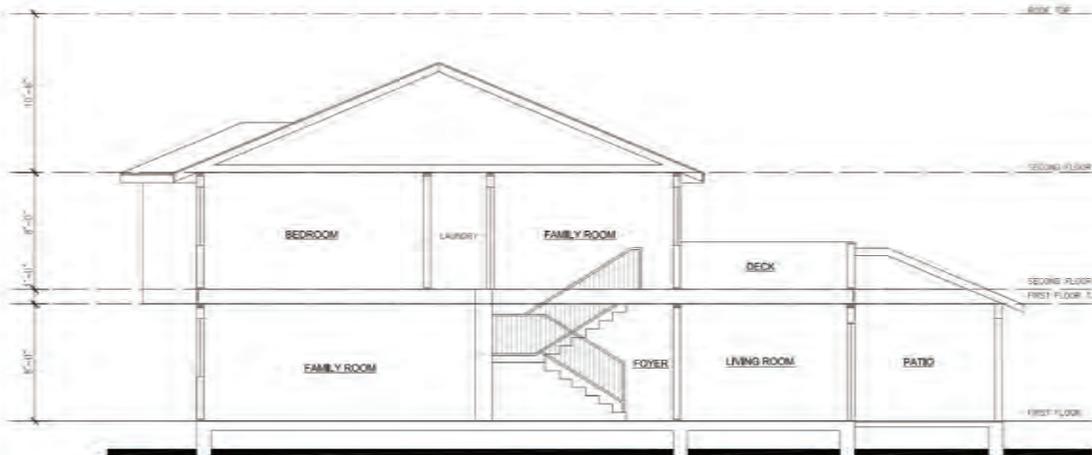


BUILDING SECTION NORTH / SOUTH -A

SCALE: 1/4"=1'-0"

BUILDING SECTION NORTH / SOUTH -B

SCALE: 1/4"=1'-0"



BUILDING SECTION EAST/ WEST -A

SCALE: 1/4"=1'-0"

KEYNOTES

Project
RENOVATION AND ADDITION TO EXISTING RESIDENCE FOR RAVI & ASWINI .P

Supervisor	Designed	Drawn	Checked
AKB	AKB	AKB	

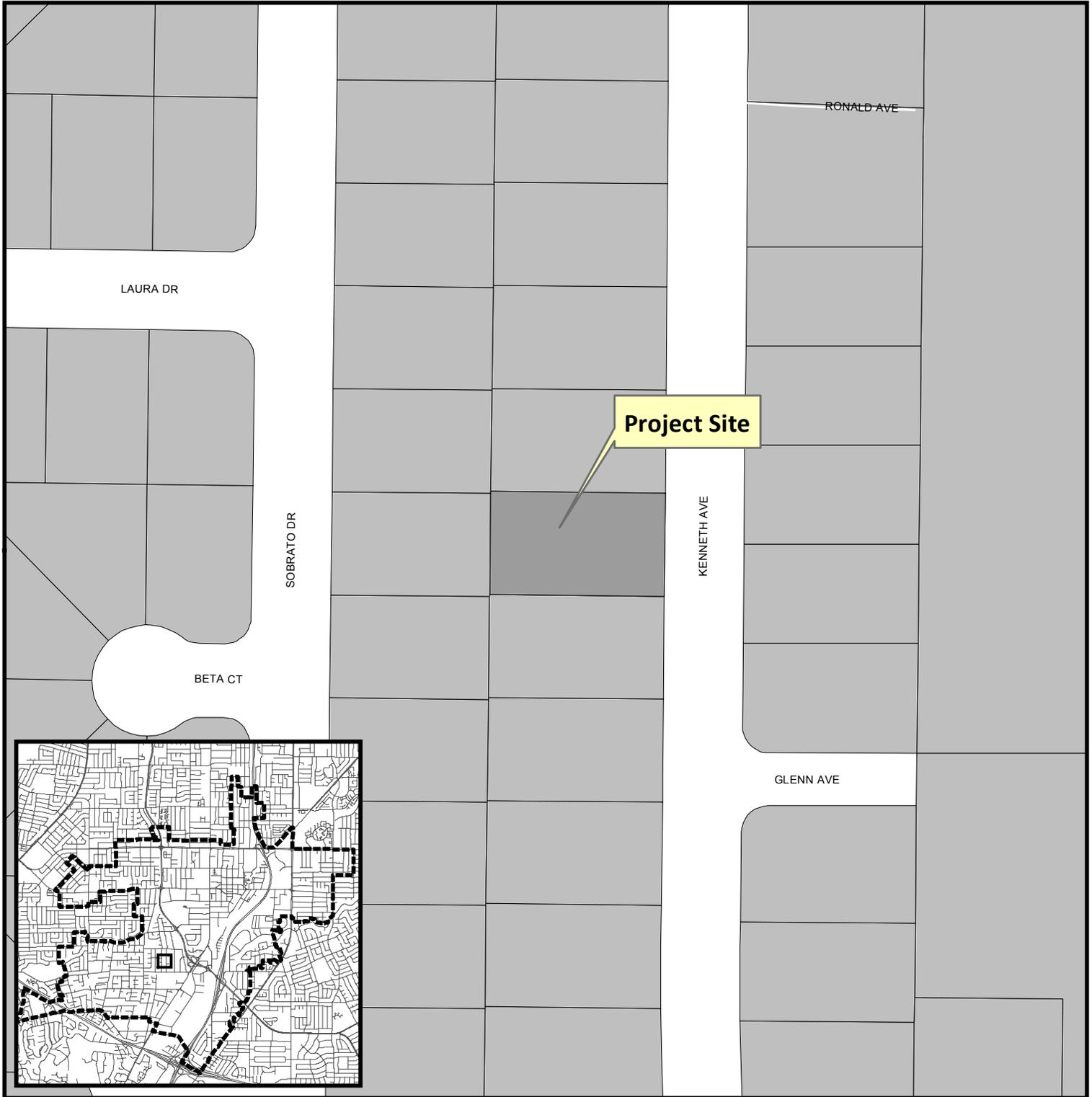
File Date:
DEC. 2014

Sheet Title:
BUILDING SECTIONS

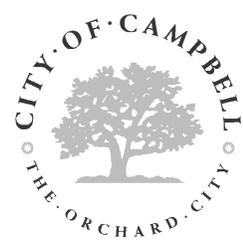
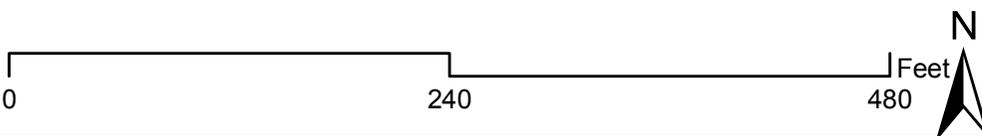
Reference Mark	Sheet Scale


Sheet Number
A11.12

Project Location Map



Project Location: 881 Kenneth Ave.
Application Type: Site and Arc. Review Permit
Planning File No.: PLN2015-309



Community Development Department
Planning Division

MEMORANDUM

Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** April 12, 2016
From: Cindy McCormick, Senior Planner
Via: Paul Kermoyan, Community Development Director
Subject: Site and Architectural Review Permit
File No.: PLN2016-041 ~ 816 Cambrian

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow construction of a 1,001 square foot addition to an existing 1,720 square foot single-story single-family residence. The project would also attach the existing detached 304 square-foot garage to the home for a total floor area of 3,029 square feet (reference **Attachment 1** – Project Plans).

PROJECT SITE

The project site is an approximately 15,795 square-foot (gross) lot located on the south side of Cambrian Drive between Union Avenue to the west and Briarwood Way to the east, in the R-1-8 (Single-Family Residential) Zoning District (reference **Attachment 1** – Location Map). The site is currently developed with a single-family residence and detached garage built in 1948. Single-family residential properties border the site on all sides. Pursuant to 21.42.020, enlargement of a structure in the R-1-8 zoning district requires approval of a Site and Architectural Review Permit by the Planning Commission.

PROJECT DATA

Zoning Designation:	R-1-8 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	13,770 square-feet	
Building Height:	12 feet, 7 inches	28 feet Maximum Allowed
Floor Area:		
Existing 1 st Floor Living:	1,720 square-feet	
Proposed 1 st Floor Living:	1,005 square-feet	
Garage:	<u>304 square feet</u>	
Total floor area:	3,029 square-feet	
Floor Area Ratio (FAR):	22%	45% Maximum Allowed
Lot Coverage:		
Residence:	3,029 square-feet	
Porch/Patios:	603 square-feet	
Total lot coverage:	3,632 square-feet	
Building (Lot) Coverage:	27%	40% Maximum Allowed

<u>Setbacks</u>	<u>Proposed</u>	<u>Minimum Required</u>
Garage:	52 feet, 8 inches	25 feet
Front:	52 feet, 8 inches	20 feet
Right Side:	9 feet	5 feet
Left Side:	7 feet, 10 inches	5 feet
Rear:	42 feet, 4 inches	5 feet

DISCUSSION

Project Description: The proposed single-story 3,029 square-foot residence and attached garage would maintain the original character of the existing home including overall massing and the beige colored adobe brick and matching stucco. A new composition tile roof will replace the existing wood shingles in a similar brown shade. New windows and trim will be painted brown to match the existing home.

Site Layout: The single-story residence is located on a large lot and incorporates larger than required front, side, and rear yard setbacks.

Landscaping: The proposed site plan includes new and existing landscaping. The homeowner will preserve an approximately 35” ash tree in front of the home as well as retain existing healthy mature shrubs along the left side yard. The homeowner will replace the existing lawn in the front yard and plant new shrubs in front of the home.

Consistency with Design Guidelines: The proposed design is consistent with the City’s Design Guidelines for Additions to Single-Family Homes. The addition is compatible with the original home including scale and mass, colors and materials, window type, and roof slope. The home and garage will maintain the existing setback from the street, consistent with the adjacent residence. Privacy impacts are minimized by maintaining a single-story design and larger than required setbacks.

“Remodel and Addition” vs. “New Dwelling”: As submitted, the application is being considered an addition and remodel. However, if the applicant changes the roof framing, exterior walls, interior walls, and/or overall valuation such that the home would be considered a “new dwelling” (per City Code Section 18.32.010), then the applicant will be required to re-submit the project as a new dwelling. In this regard, a condition of approval will be included in the Resolution.

OPTIONS

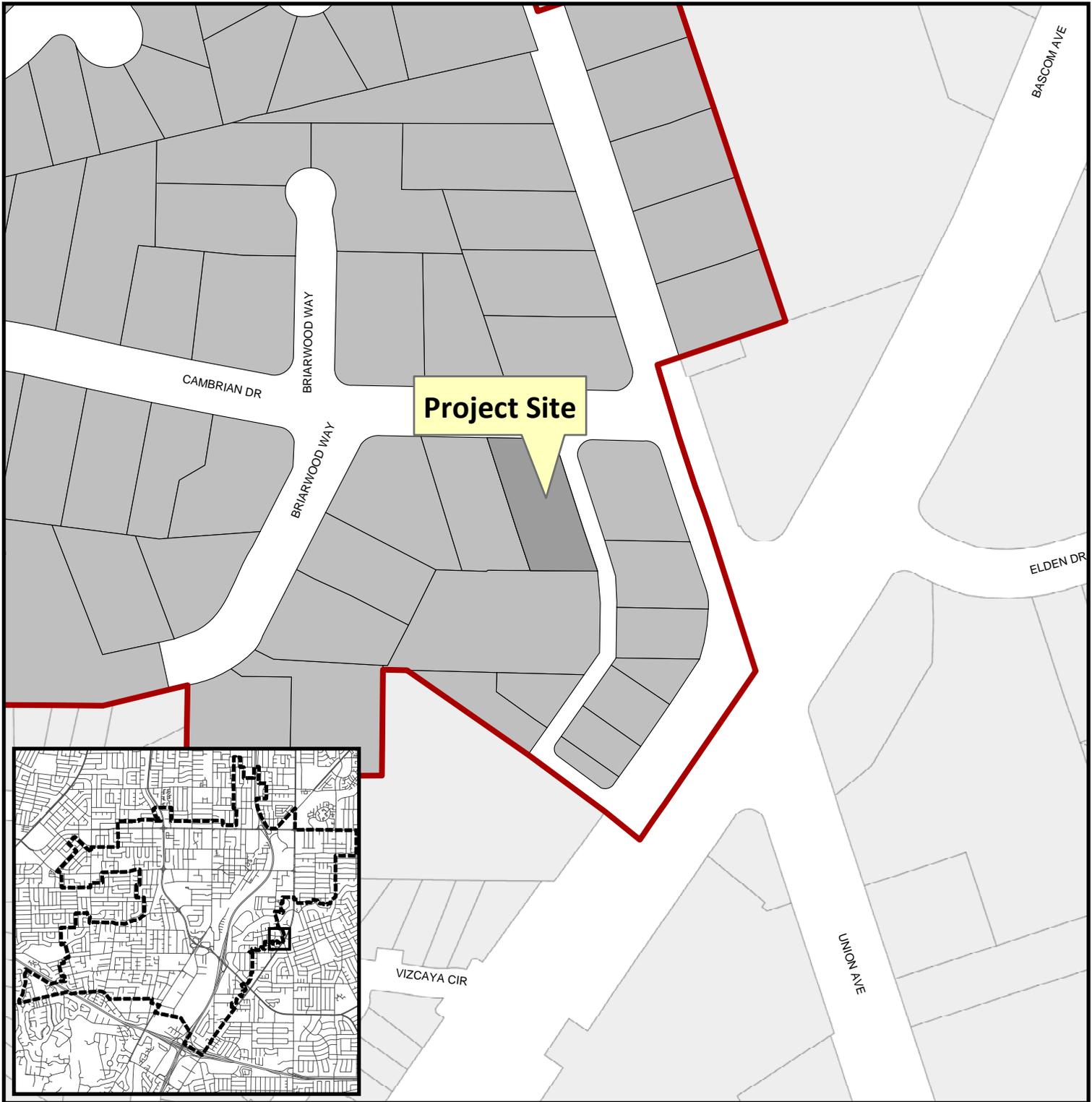
The SARC should review the project's proposed architecture, materials, and landscaping for compliance with the City’s Design Guidelines for Additions to Single-Family Homes. If the SARC believes that the project meets the intent of the Design Guidelines and the findings for site and architectural review approval, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

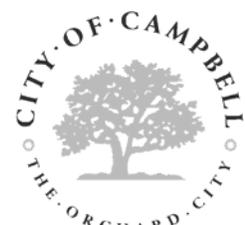
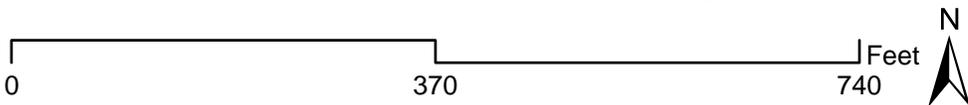
1. Location Map
2. Project Plans

Project Location Map

Attachment 1



Project Location: 816 Cambrian Dr
Application Type: Site and Architectural Review
Planning File No.: PLN2016-41
Description: 1,005 SF addition to existing house



Community Development Department
Planning Division

Revisions	Date
1	3.22.16

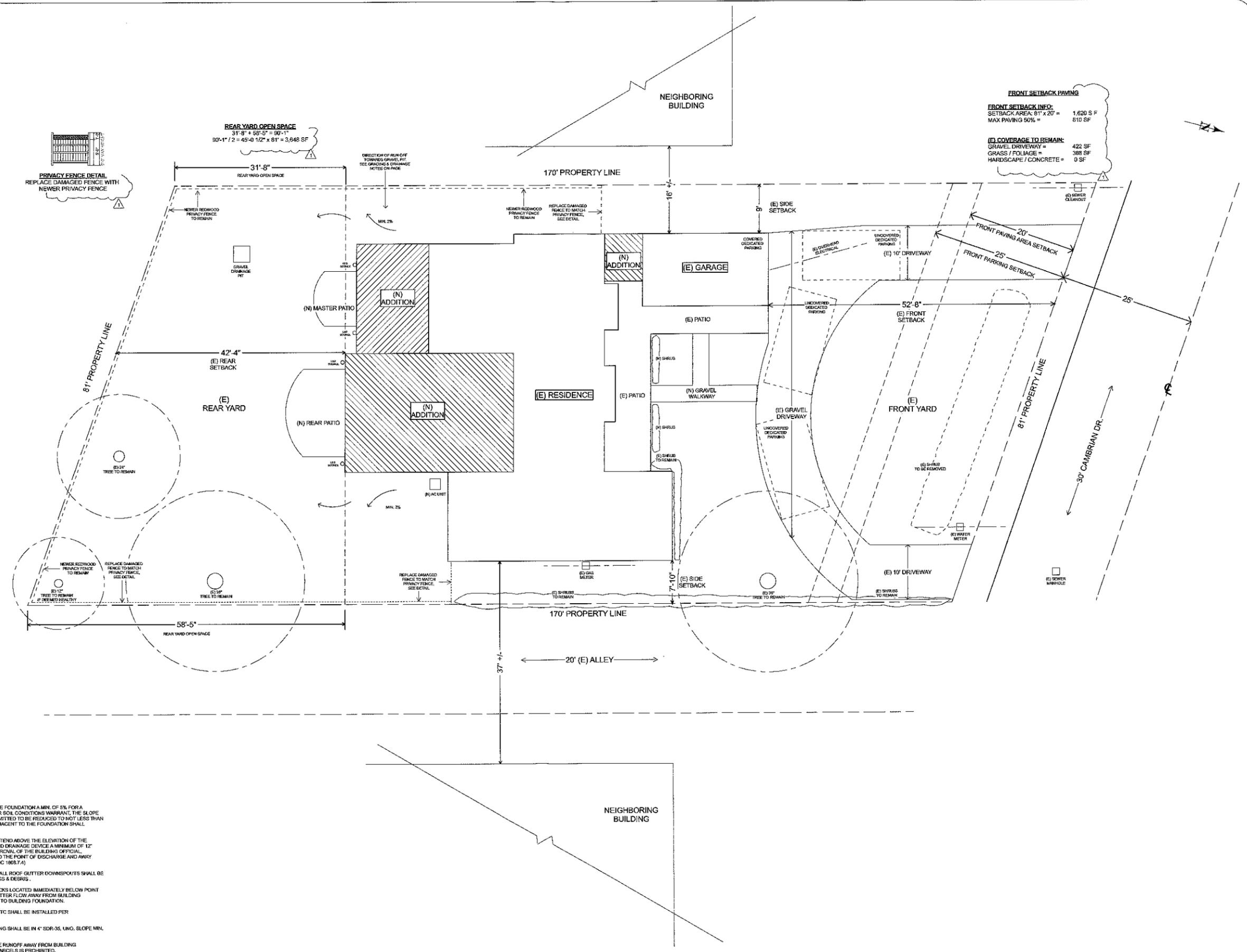
Smart Space - Interior Design & Architectural Plans
 Natasha Miller - Founder + Lead Designer
 smartspacedesign@gmail.com
 www.smartspacedesign.com
 408.357.0067



REMODEL & ADDITION
 816 CAMBRIAN DR
 CAMPBELL, CA 95008

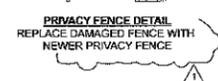
PLOT PLAN: SITE, LANDSCAPE
 & PRELIM DRAINAGE PLAN

Date: JAN '16
 Scale: SHOWN
 Drawn By: NM
 Job: CAMBRIAN DR
 Sheet:



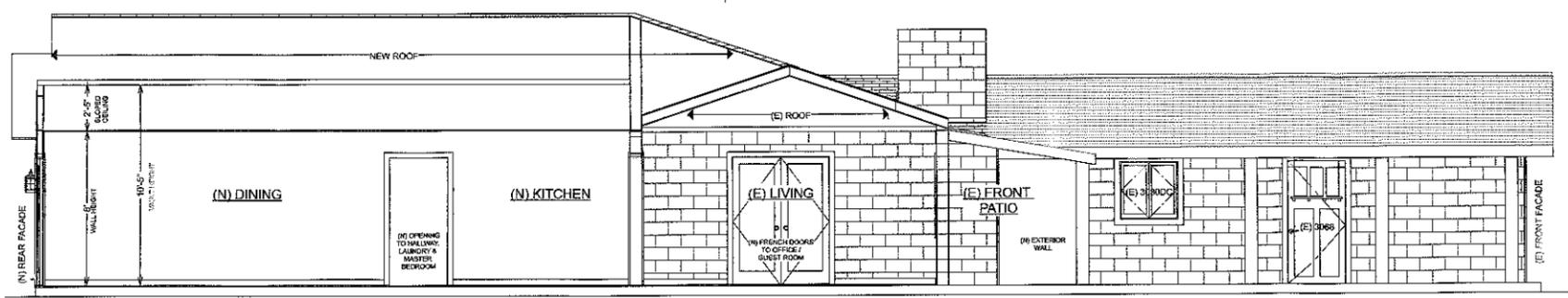
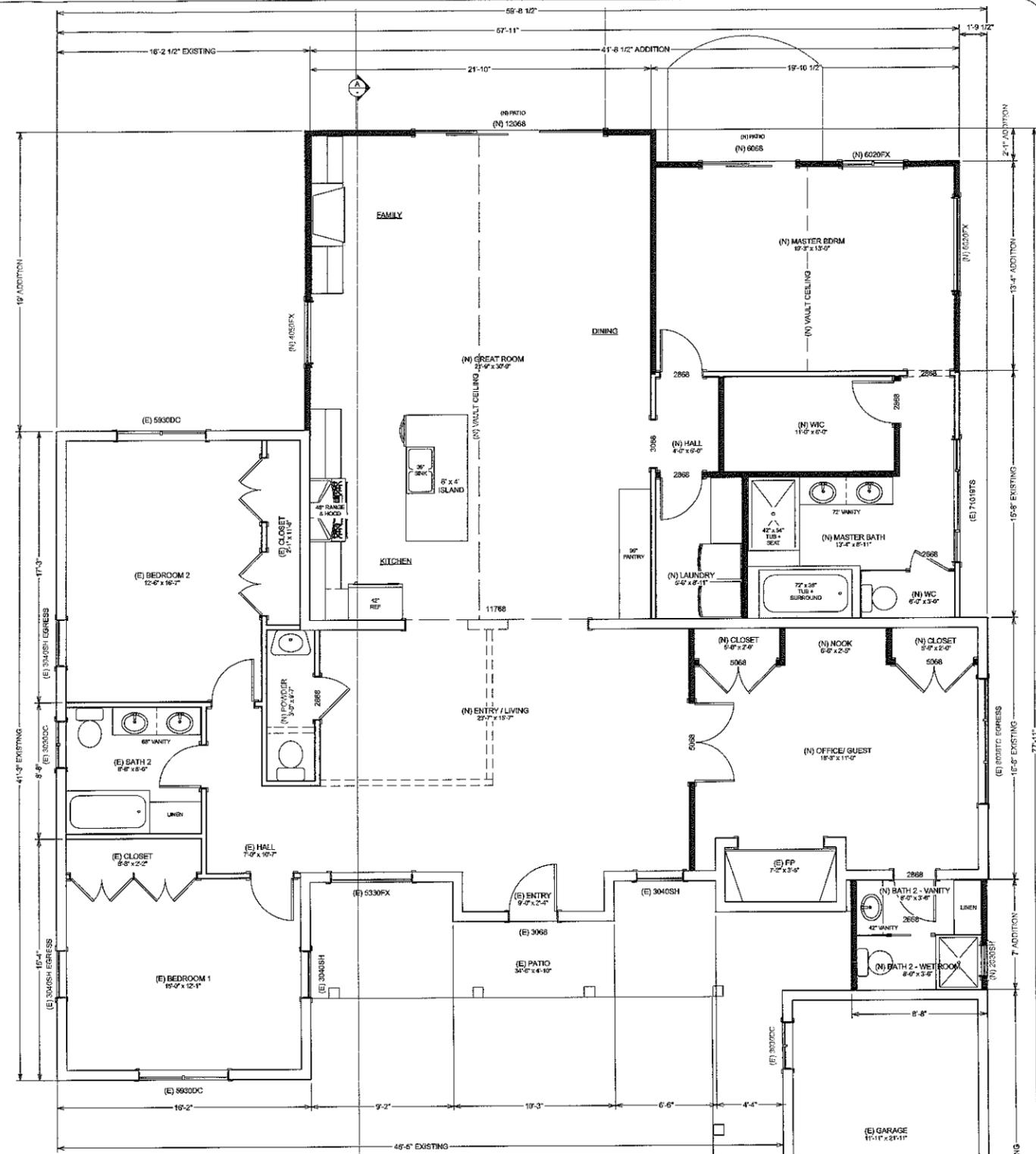
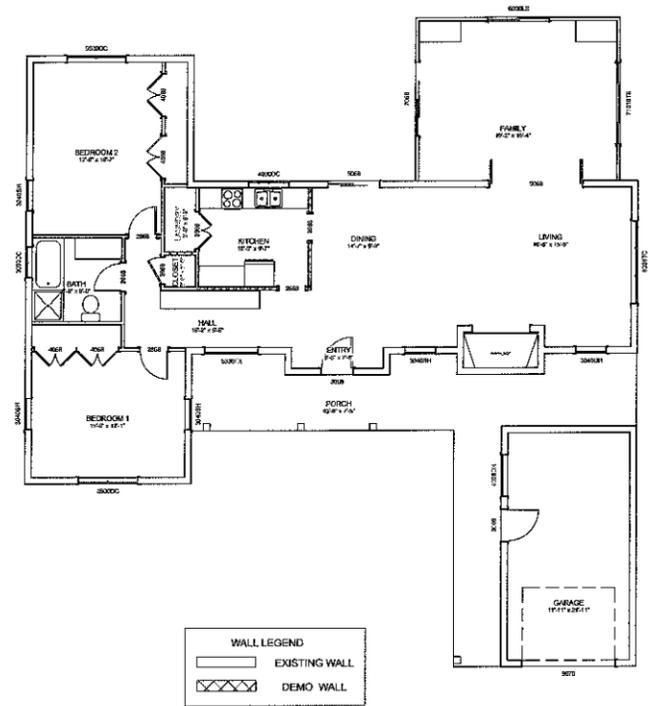
REAR YARD OPEN SPACE
 $31'-8" \times 58'-5" = 90'-11"$
 $90'-11" \div 2 = 45'-0.12" \times 81" = 3,648 \text{ SF}$

FRONT SETBACK PAVING
FRONT SETBACK INFO:
 SETBACK AREA: $81' \times 20' = 1,620 \text{ SF}$
 MAX PAVING 50% = 810 SF
(E) COVERAGE TO REMAIN:
 GRAVEL DRIVEWAY = 422 SF
 GRASS / FOLIAGE = 388 SF
 HARDSCAPE / CONCRETE = 0 SF

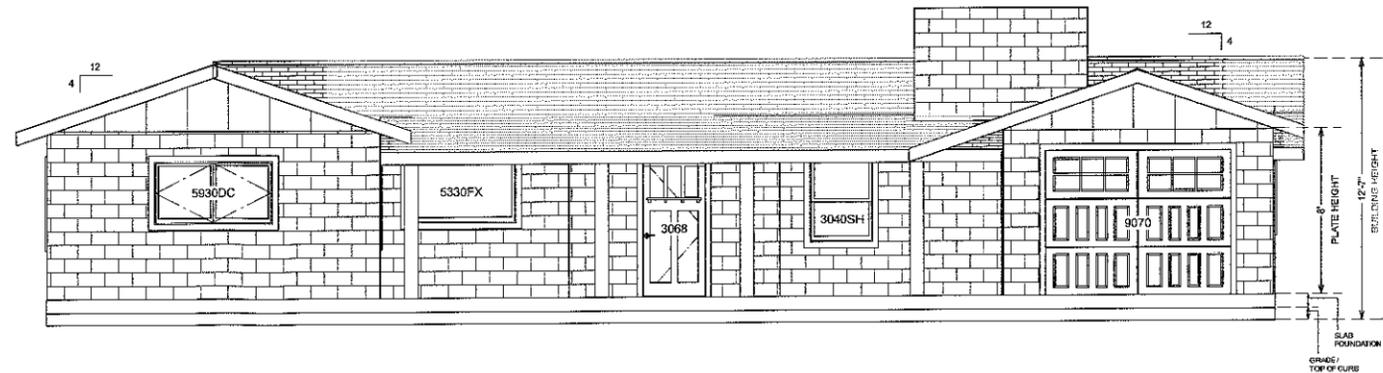


- DRAINAGE NOTES:**
1. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MINIMUM DISTANCE OF 10'. (CBC 1803.3) EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 2%. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF BACKFILL.
 2. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%. ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT THE REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS OF THE SITE. (CBC 1808.7.4)
 3. ALL RUN OFF FROM ROOFS SHALL BE COLLECTED BY ROOF GUTTERS. ALL ROOF GUTTER DOWNSPOUTS SHALL BE EQUIPPED WITH SCREENS TO PREVENT THE INTRUSION OF LEAVES, TWIGS & DEBRIS.
 4. ROOF GUTTER DOWN SPOUTS SHALL BE EQUIPPED WITH SPLASH BLOCKS LOCATED IMMEDIATELY BELOW POINT OF DOWNSPOUT DISCHARGE. SPLASH BLOCKS SHALL DIRECT ROOF GUTTER FLOW AWAY FROM BUILDING FOUNDATION AS REQUIRED TO PREVENT PONDING OF WATER ADJACENT TO BUILDING FOUNDATION.
 4. ALL STORM DRAINAGE PIPING, FITTINGS, AREA DRAINS, DROP INLETS ETC SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECS.
 5. ALL PIPES FROM THE ROOF GUTTER DOWN SPOUTS AND/OR YARD PIPING SHALL BE IN 4" SDR-35, UNO, SLOPE MIN. 1% MIN TO APPROVED RELEASE LOCATION.
 6. SIDE YARD DRAINAGE SWALES SHALL BE CONSTRUCTED TO FACILITATE RUNOFF AWAY FROM BUILDING FOUNDATIONS AT THE MAX RATE PRACTICABLE. RUNOFF TO ADJACENT PARCELS IS PROHIBITED.
 7. UNO, ALL DRAINAGE SWALES AND OTHER LANDSCAPED FINISH SURFACES SHALL BE CONSTRUCTED TO PROMOTE RUNOFF CONTACT WITH LANDSCAPE VEGETATION AND SOIL MEDIA EN ROUTE TO APPROVED DISCHARGE LOCATION. RUN OFF SHALL BE DIRECTED TOWARD FRONT YARD AND BACKYARD AS SHOWN, PROVIDE 1% MINIMUM SLOPE TOWARD DISCHARGE LOCATION IN LANDSCAPED AREAS, EXCEPT TOWARD BUILDING FOUNDATION.

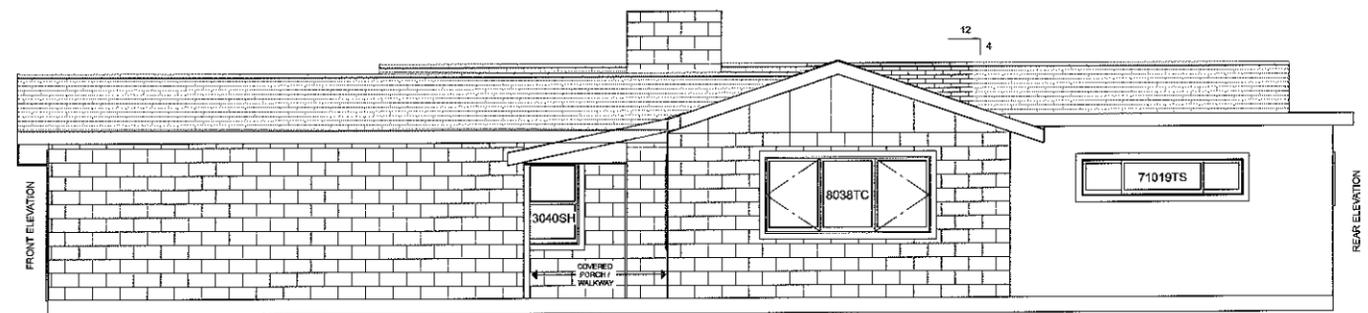
PLOT PLAN
 SITE PLAN, LANDSCAPE PLAN, PRELIM DRAINAGE PLAN & BUILDING CROSS SECTION
 SCALE: 1/8" = 1'-0"



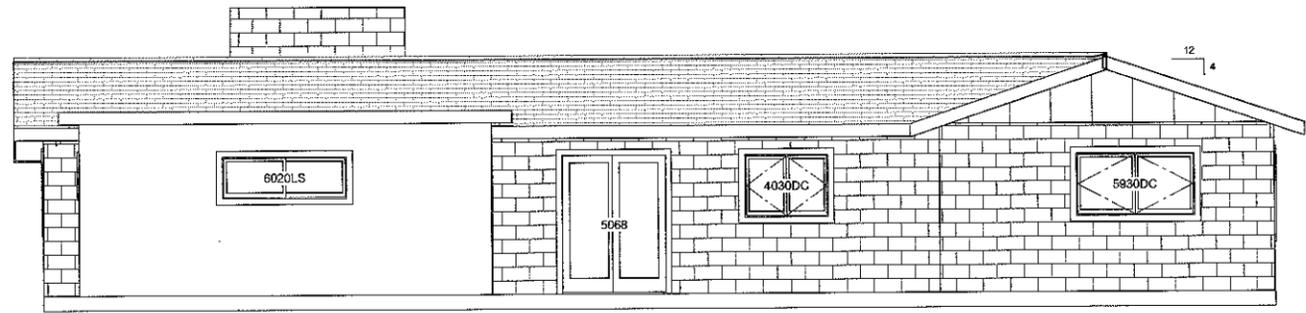
Revisions	Date
1	3.22.16
Smart Space - Interior Design & Architectural Plans Natasha Miller - Founder + Lead Designer smartspacedesign@gmail.com www.smartspacedesign.com 408.357.0067	
REMODEL & ADDITION 816 CAMBRIAN DR CAMPBELL, CA 95008	
EXISTING DEMO & PROPOSED FLOOR PLAN	
Date	JAN 16
Scale	SHOWN
Drawn By	NM
Job	CAMBRIAN DR
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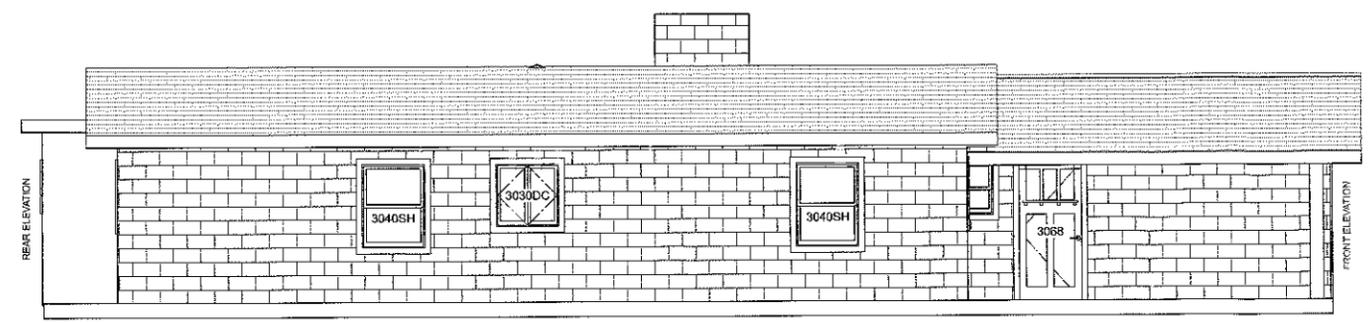
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

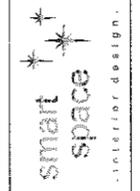


LEFT SIDE ELEVATION

EXISTING EXTERIOR ELEVATIONS
SCALE: 1/4" = 1' - 0"

Revisions	Date
△	3.22.16

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EXTERIOR MATERIALS

ROOF: (E) WOOD SHINGLES UPDATED TO (N) 25 YR COMPOSITION ROOF. (E) BROWN COLOR WILL BE LIKE FOR LIKE

ADOBE WALLS: ANY (E) ADOBE WALLS TO REMAIN WILL RETAIN SAME CHARACTERISTICS. (E) BEIGE COLOR WILL REMAIN.

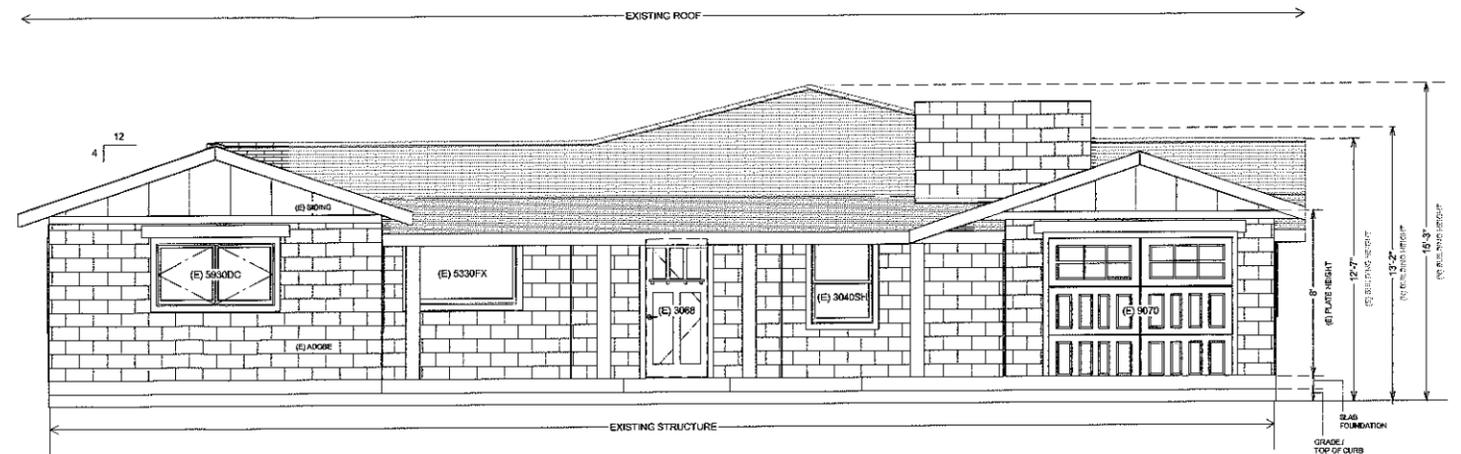
STUCCO: (N) STUCCO WALLS WILL BE SAME COLOR AS (E) ADOBE WALLS.

SIDING: IF (E) SIDING IS IN GOOD CONDITION, IT WILL REMAIN. OTHERWISE IT WILL BE CHANGED OUT LIKE FOR LIKE. IT WILL BE SAME COLOR AS (E) ADOBE WALLS.

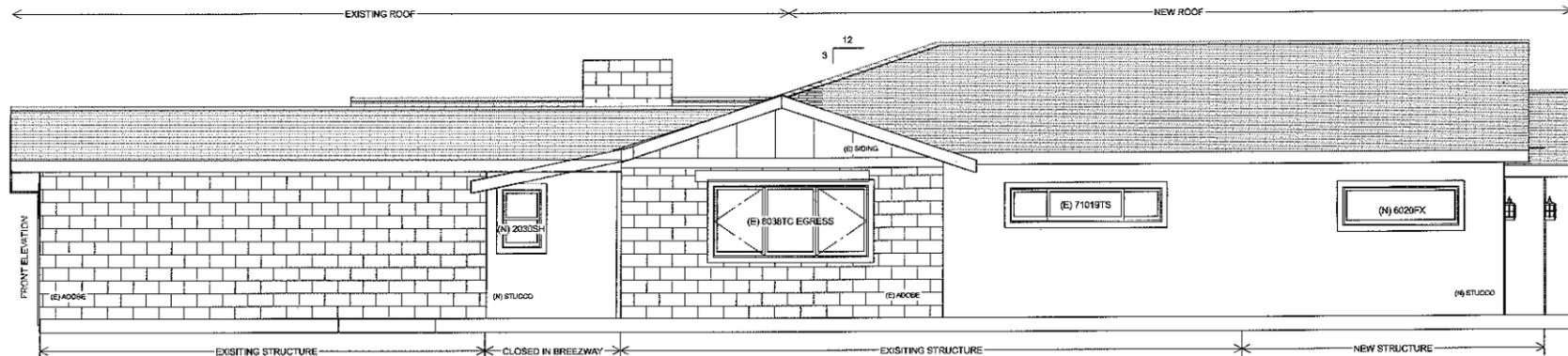
BAND: (N) BELLY BAND SEPARATING (E) SIDING & (E) ADOBE WILL BE ADDED FOR ARCHITECTURAL APPEAL. COLOR WILL MATCH (E) ADOBE WALLS.

WOOD POSTS: POSTS WILL MATCH (E) BROWN ROOF COLOR.

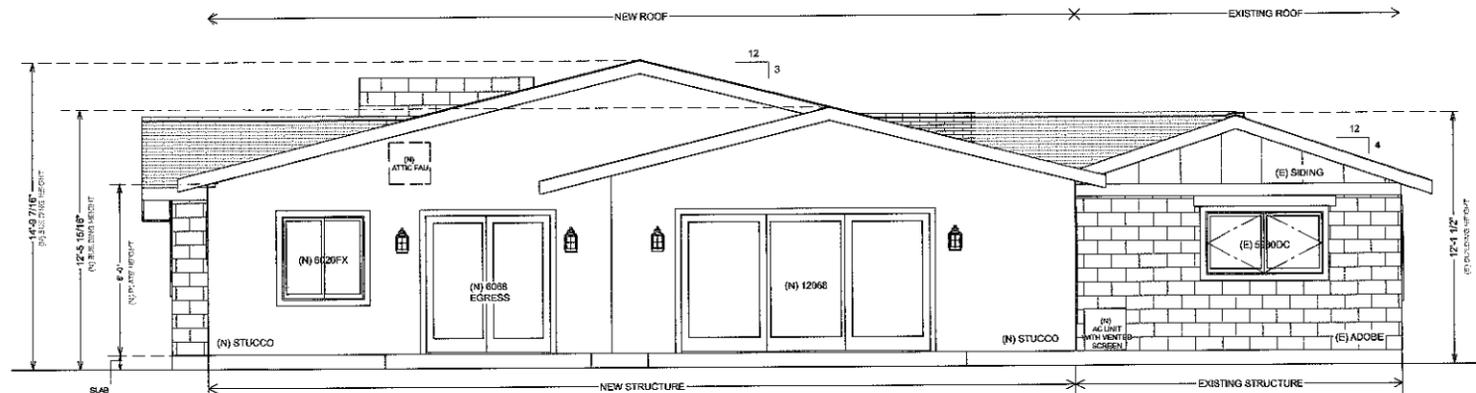
WINDOWS: (N) AND (E) UPGRADED WINDOWS WILL MATCH (E) BROWN ROOF COLOR.



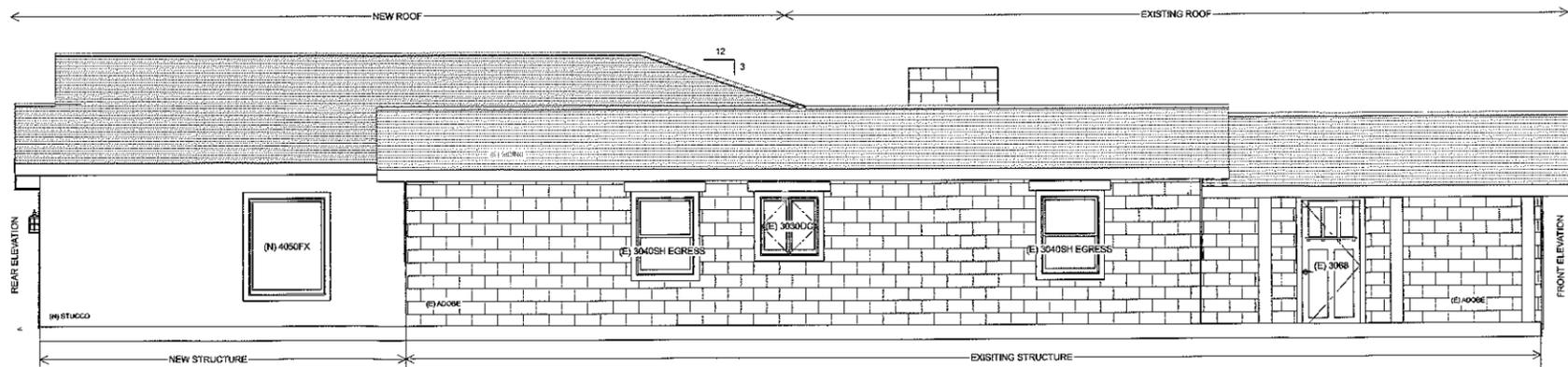
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

PROPOSED EXTERIOR ELEVATIONS
SCALE: 1/4" = 1' - 0"

Revisions	Date
1	3.22.16

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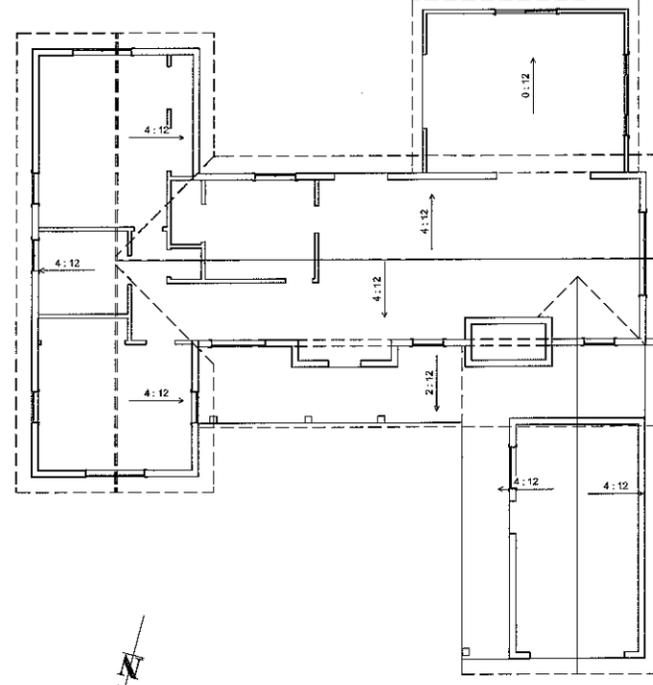


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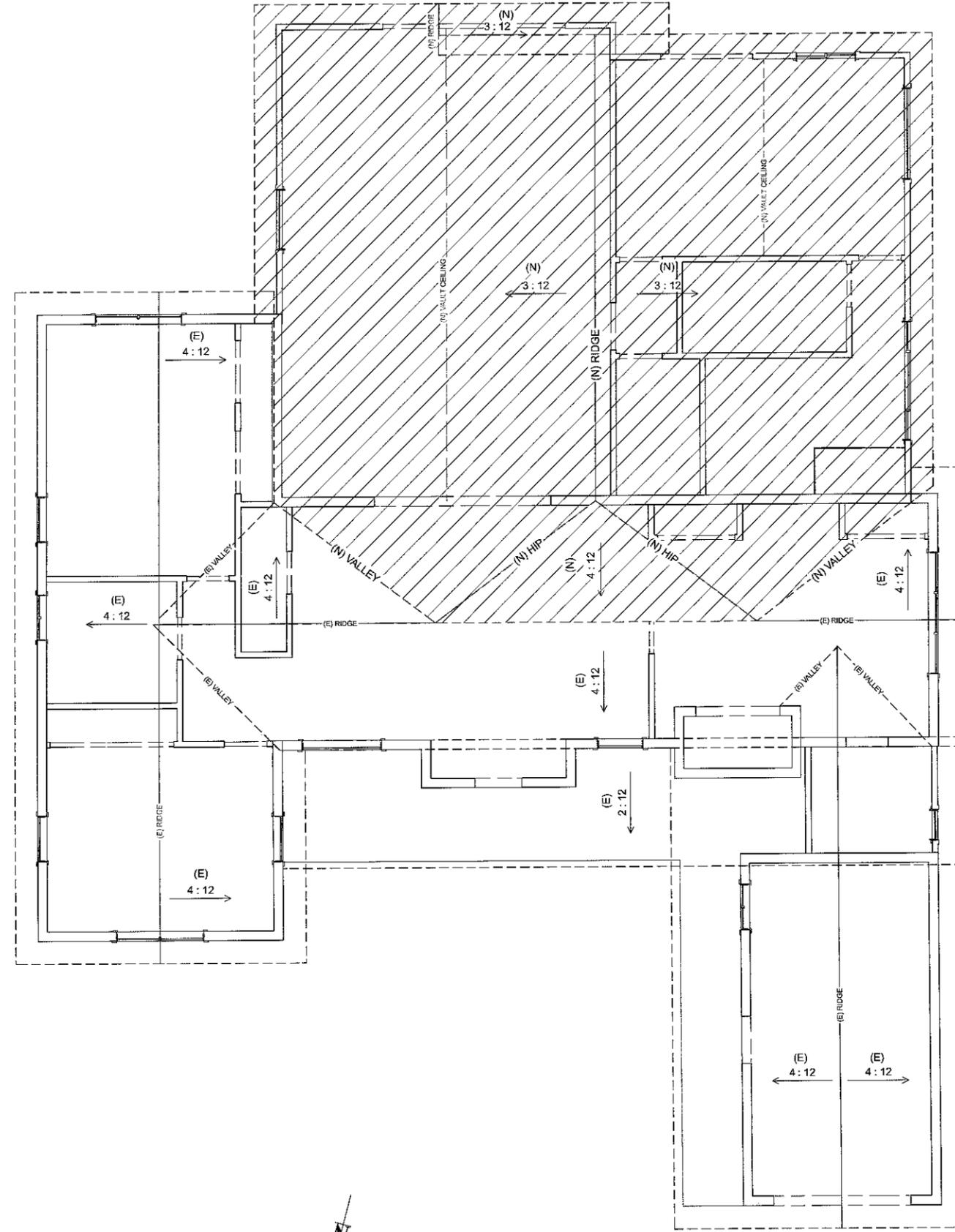
PROPOSED
EXTERIOR ELEVATIONS

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EXISTING ROOF PLAN
SCALE: 1/8" = 1' - 0"



PROPOSED ROOF PLAN
SCALE: 1/4" = 1' - 0"

Revisions	Date
△	3.22.16

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**EXISTING & PROPOSED
 ROOF PLAN**

Date	JAN '16
Scale	SHOWN
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Job	CAMBRIAN DR
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