



**SITE AND ARCHITECTURAL REVIEW COMMITTEE
TUESDAY, MAY 24, 2016
6:30 p.m.**

**Doetsch Conference Room/City Hall
70 N. First Street, Campbell, CA 95008**

AGENDA

ITEM/FILE NO.		ADDRESS	START TIME / DURATION	APPLICANT
1.	PLN2016-91	363 Curtner Ave	6:30 p.m. / 15 Minutes	Paul Fick
Site and Architectural Review Permit for an addition to an existing residence. Project Planner: <i>Daniel Fama, Associate Planner</i>				
2.	PLN2016-107	1600 W. Campbell Ave	6:45 p.m. / 15 Minutes	Donald Bordenave for Verizon
Modification to a previously approved Conditional Use Permit to allow a wireless facility (Verizon). Project Planner: <i>Stephen Rose, Associate Planner</i>				
3.	PLN2015-388	2220 S. Winchester Blvd	7:00 p.m. / 15 Minutes	Zack Puckett
Administrative Planned Development Permit for redevelopment of the former Mishi Sushi site. Project Planner: <i>Stephen Rose, Associate Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** May 24, 2016
From: Daniel Fama, Associate Planner *DF*
Via: Paul Kermoyan, Community Development Director *PK*
Subject: Site and Architectural Review Permit
File No.: PLN2016-91 ~ 363 Curtner Ave.

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow a one-story 1,018 square-foot addition to the rear of an existing one-story, 1,434 square-foot single-family residence (reference Attachment 1 – Project Plans).

PROJECT SITE

The project site is located within the Cambrian 36 annexed area, commonly known as "Campbell Village," along Curtner Avenue, east of Dallas Drive (reference **Attachment 2** – Location Map). This portion of the annexation area was pre-zoned to the R-1-8 (Single-Family Residential) Zoning District. Pursuant to CMC 21.42.20, an addition to a single-family residence requires approval of Site and Architectural Review Permit by the Planning Commission.

PROJECT DATA

Zoning Designation:	R-1-8 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	8,750 sq. ft.	
Building Height:	18.5 feet	35 feet Maximum Allowed
Building Square Footage:		
Existing Living Area:	1,016 square-feet	
Existing Garage:	418 square feet	
Proposed Living Area:	<u>1,018 square-feet</u>	
	2,452 square-feet	
Floor Area Ratio (FAR):	.28	.45 Maximum Allowed
Building (Lot) Coverage:	28%	40% Maximum Allowed
Setbacks	<u>Proposed</u>	<u>Required</u>
Front (south):	30 feet	20 feet
Side (west):	9 feet	5 feet or half the wall height
Side (east):	8 feet	5 feet or half the wall height
Rear (north):	50 feet	5 feet or half the wall height
Garage (south):	40 feet	25 feet

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [City's Design Guidelines for Additions to Single-Family Homes](#). This document provides design guidance in terms of architectural compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for ensuring that additions to homes are compatible with both the existing structure and surrounding neighborhood.

Design: The proposed 1,018 square-foot addition would match the existing residence's materials and colors, incorporating composition roofing and stucco walls. However, it would rise up to slightly over 18 feet, which would be approximately six-feet taller than the existing residence. The addition would also be characterized by a pronounced front and rear gable that stands in contrast to the existing hipped roof residence. To what extent the proposed addition is consistent with the *Guidelines* with respect to integration with the existing home (excerpt below) is a matter for the SARC to discuss.

A. INTEGRATION OF ADDITIONS WITH THE EXISTING HOME

1. The design of the addition should be consistent with the original home. This means that materials and architectural elements are used in a consistent manner.
2. Integrate second story additions into the overall design of the house. The addition should look like an original part of the house design.

3. The rooflines of the addition should be compatible with the roof slope of the existing house.



Site Layout: The proposed addition would be placed at the rear of the residence, which would largely maintain the property's existing layout. It would connect to the existing kitchen and hallway, allowing for a new family room and two additional bedrooms.

Landscaping/Hardscaping: The property's front yard is minimally landscaped with only gravel along the right-side edge adjacent to the driveway. Whenever a building is expanded, the City may require conformance to the City's landscaping requirements (CMC 21.26.030). Therefore, as a condition of approval, the front yard will be required to be re-landscaped in compliance with the current water conservation standards. Additionally, the existing asphalt driveway will also be required to be replaced with a standard concrete driveway.

OPTIONS

The SARC should discuss the project's proposed architecture, materials, and landscaping. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

1. Project Plans
2. Location Map

Residential Addition for Shane and Liane Pinder 363 Curtner Ave. Campbell CA 95008

All new and existing utilities shall be placed underground with no exception.

General Notes

Cover Sheet

--- Add. to Review Committee	4-28-16
--- Architectural Review Committee	5-9-16
--- City Submittal	7-8-16
No.	Revision/Issue
	Date

Copyright © 2016, Paul H. Fick, Architect. All rights reserved. This drawing is the property of Paul H. Fick, Architect. It is to be used only for the project and location specified on the title block. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Paul H. Fick, Architect.

(408) 281-4400
Paul H. Fick
 ARCHITECT
 PLANNING
 ARCHITECTURE
 INTERIOR DESIGN
 550 CALERO AVE., SAN JOSE, CA. 95123

Pinder Residence
 363 Curtner Ave
 Campbell, CA 95008 - 5603
 Date: Apr 28, 2016

A0

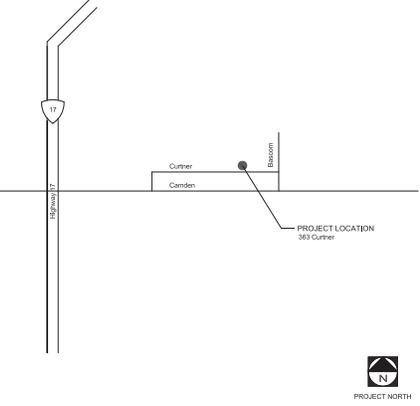
PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 412-30-049
 ZONING DISTRICT: -
 SITE AREA: -
 EXISTING AREA (EXCL. GARAGE): 1,016 SF
 ADDITION: 1,016 SF
 GARAGE: 418 SF
 NEW AREA (EXCL. GARAGE): 2,034 SF
 NEW SITE RATIO: -
 CONSTRUCTION TYPE: VN
 APPLICABLE CODES: 2013 California Building Code (CBC), 2013 California Plumbing Code (CPC), 2013 California Mechanical Code (CMC), 2013 California Electrical Code (CEC), 2013 California Code for Building Conservation, 2013 California Energy Code
 Owner: Shane and Liane Pinder, 363 Curtner Ave., Campbell, CA. 95008
 Architect: Paul Fick, 550 Calero Ave., San Jose, CA. 95123, Phone: (408) 281-4400, License # C-18029
 Contractor: Provenzano Builders, 1999 S. Bascom Ave., Suite #700, Campbell, CA. 95008, Phone: 408-378-2020, License No. B-448052

SHEET INDEX

ARCHITECTURAL DRAWINGS:	A0	COVER SHEET
	A1	FLOOR AREA DIAGRAM
	A2	SITE PLAN, ROOF PLAN
	A3	EXISTING FLOOR PLAN & DEMOLITION PLAN (Big Submittal)
	A4	FOUNDATION PLAN (Big Submittal)
	A5	FLOOR FRAMING PLAN (Big Submittal)
	A6	FLOOR PLAN
	A7	ROOF FRAMING PLAN (Big Submittal)
	A8	EXTERIOR ELEVATIONS - NORTH & SOUTH
	A9	EXTERIOR ELEVATIONS - WEST & EAST
	A10	BUILDING SECTIONS
STRUCTURAL DRAWINGS:	S1	FOUNDATION AND FRAMING DETAILS (Big Submittal)
ELECTRICAL DRAWINGS:	E1	ELECTRICAL PLAN (Big Submittal)
ENERGY COMPLIANCE	T26-1	ENERGY COMPLIANCE FORMS (Big Submittal)
	T26-2	ENERGY COMPLIANCE FORMS (Big Submittal)

VICINITY MAP



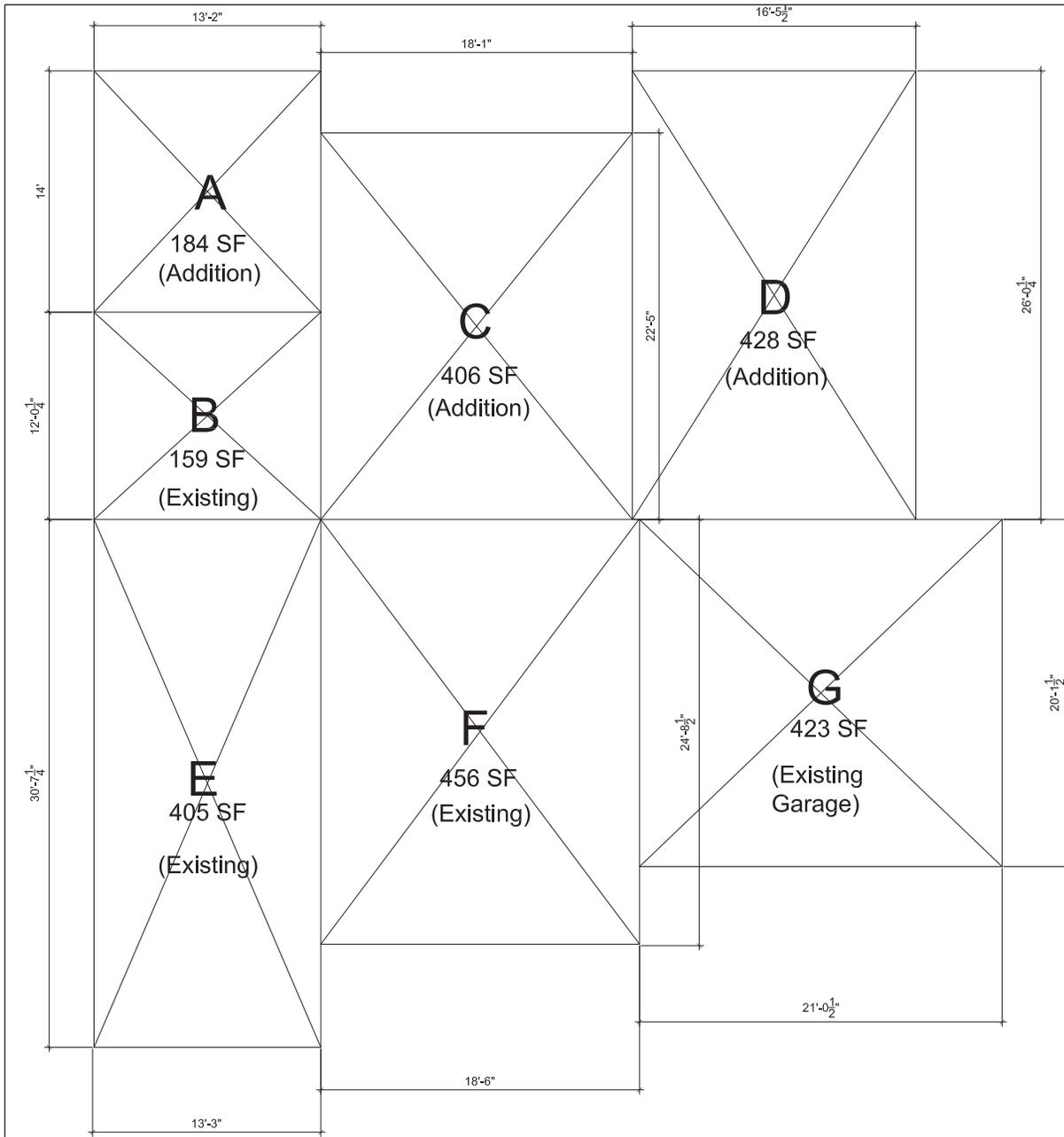
PROJECT TABLE

Description	Existing Area	Proposed Area
Gross Lot Size	10, 850 SF	10, 850 SF
Net Lot Size	8, 750 SF	8, 750 SF
Building Area	1, 016 SF	2, 034 SF
Lot Coverage	11.6%	23.2%
Floor Area Ratio	11.6%	23.2%

PROJECT SCOPE

Build two bedrooms, two bathrooms and one family room on the rear side of the existing residence.

363 Curtner - Cover - Planning.dwg
 FNAME
 1/15/2014
 REV/DATE
 R



Floor Area Diagram

Blk	Approx size	Area
A	13 x 14	184 SF
B	13 x 12	159 SF
C	18 x 22-5	406 SF
D	16-5 x 26	428 SF
E	13 x 30-7	405 SF
F	18-6 x 24-8	456 SF
G	21 x 20	423 SF

2,461 SF

General Notes

Floor Area Diagram

...	Addition Review Committee	4-22-16
...	Professional Review Committee	5-19-16
...	City Council	7-14-16
No.	Revision/Issue	Date

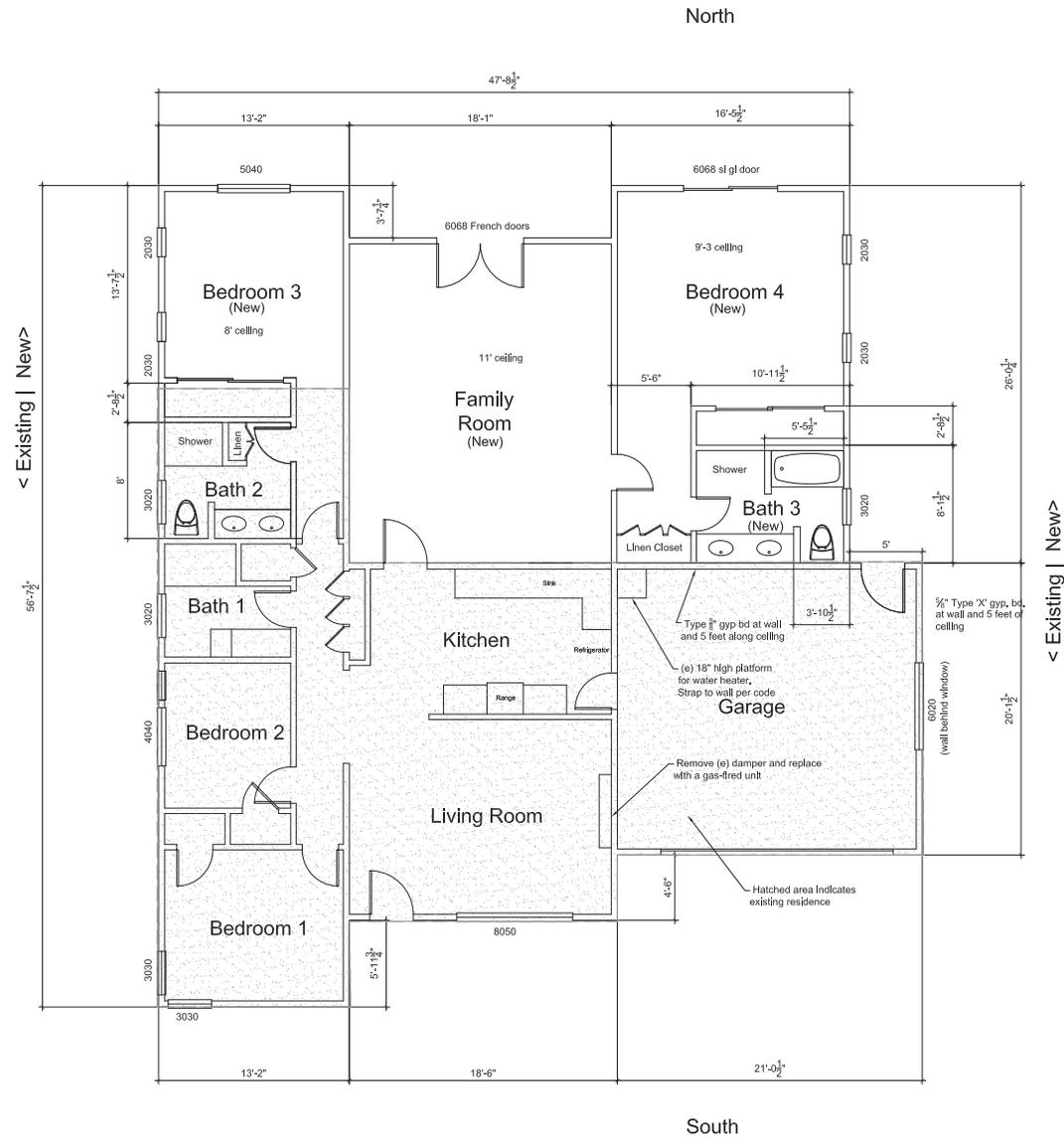
Copyright © 2016, Paul H. Fick Architects and Interiors, Inc. All rights reserved. This drawing is the property of Paul H. Fick Architects and Interiors, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Paul H. Fick Architects and Interiors, Inc. The information contained herein is for informational purposes only and is not to be used for any other purpose. The information contained herein is not to be used for any other purpose.

(408) 281-4400
Paul H. Fick
 ARCHITECT
 PLANNING
 ARCHITECTURE
 INTERIOR DESIGN
 550 CALERO AVE. SAN JOSE, CA. 95123

Pinder Residence
 363 Curtner Ave
 Campbell, CA 95008 - 5605
 Scale: 1/2" = 1'-0"
 Date: April 28, 2016

A1





General Notes

Floor Plan

•	Add to Review Committee	4-22-16
•	Architectural Review Committee	3-9-16
•	City/Submitted	2-8-16
No.	Revision/Issue	Date
<p>1. All work shall be in accordance with the City of San Jose Building Code and the California Building Code. All work shall be in accordance with the City of San Jose Building Code and the California Building Code. All work shall be in accordance with the City of San Jose Building Code and the California Building Code.</p>		

(408) 281-4400

Paul H. Fick
ARCHITECT

PLANNING
ARCHITECTURE
INTERIOR DESIGN

550 CALERO AVE. SAN JOSE, CA. 95123

Pinder Residence
363 Curtner Ave
Campbell, CA 95008 - 5603

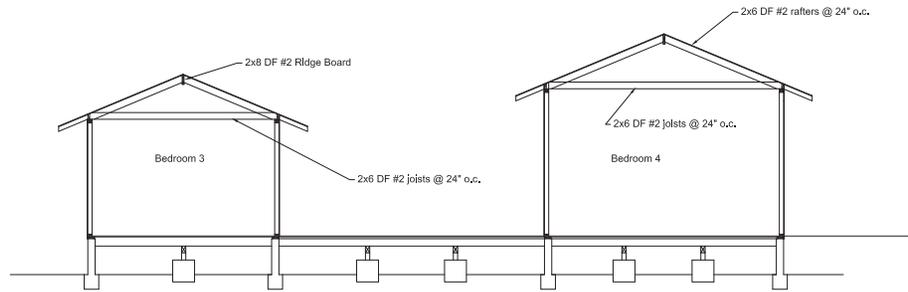
Scale: 1/4" = 1'-0"

Date: April 28, 2016

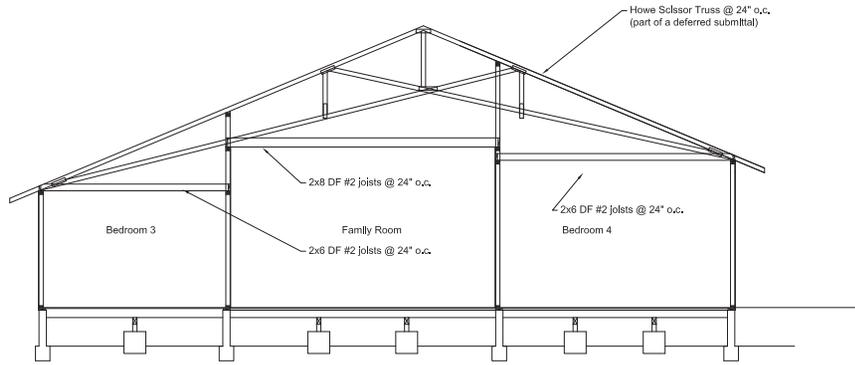
A6



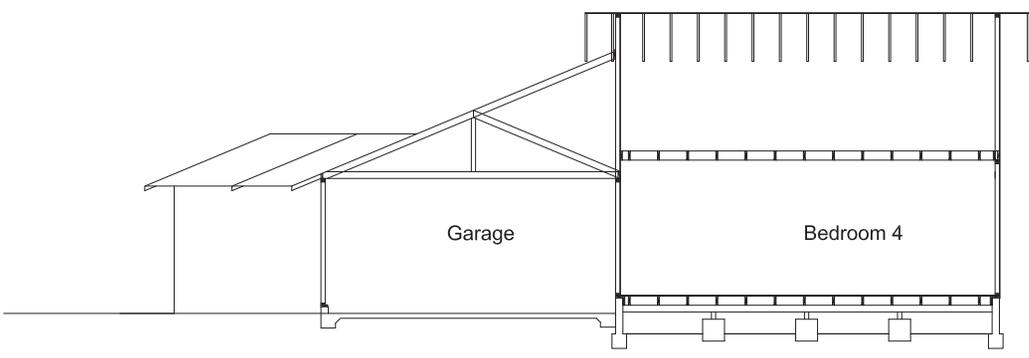
1/15/2004 REVD/DATE 363 Curtner 03-04-16.dwg FNAME



Section A



Section B



Section C

General Notes

Sections

Professional Review Committee	3-4-10	
City/State/Local	2-11-10	
No.	Revision/Issue	Date

Copyright © 2010 Paul H. Fick Architects. All rights reserved. This drawing is the property of Paul H. Fick Architects. It is to be used only for the project and location specified. No other use, reproduction, or distribution is permitted without the written consent of Paul H. Fick Architects.

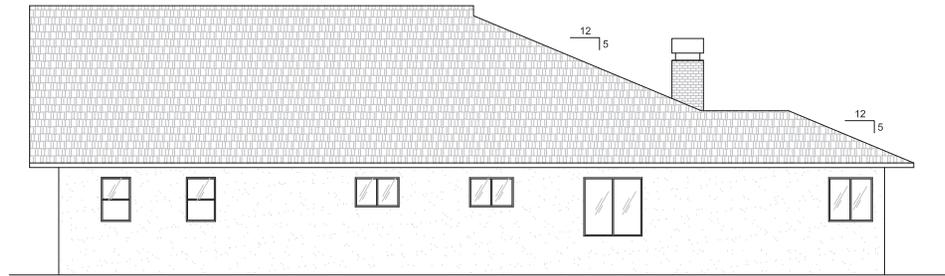
(408) 281-4400
Paul H. Fick
 ARCHITECT
 PLANNING
 ARCHITECTURE
 INTERIOR DESIGN
 550 CALERO AVE. SAN JOSE, CA. 95123

Pinder Residence
 363 Curtner Ave
 Campbell, CA 95008 - 5603
 Date: 1/15/04 P-H
 Date: March 4, 2010

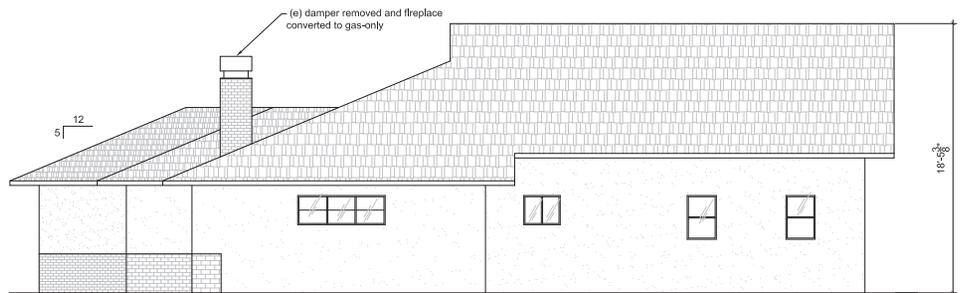
A10



PROJECT NORTH



West Elevation



East Elevation

General Notes

East & West Elevations

Architectural Review Committee	3-4-10	
City Submitted	2-18-10	
No.	Revision/Issue	Date

Copyright © 2010 Paul H. Fick Architects. All rights reserved. This drawing is the property of Paul H. Fick Architects. It is to be used only for the project and location specified. No other use, reproduction, or distribution is permitted without the written consent of Paul H. Fick Architects.

Other drawings in this project may be prepared by other architects or drafters. The architect is not responsible for the accuracy of such drawings or for the actions of other architects or drafters. The architect is not responsible for the actions of other architects or drafters.

(408) 281-4400

Paul H. Fick
ARCHITECT

PLANNING
ARCHITECTURE
INTERIOR DESIGN

550 CALERO AVE. SAN JOSE, CA. 95123

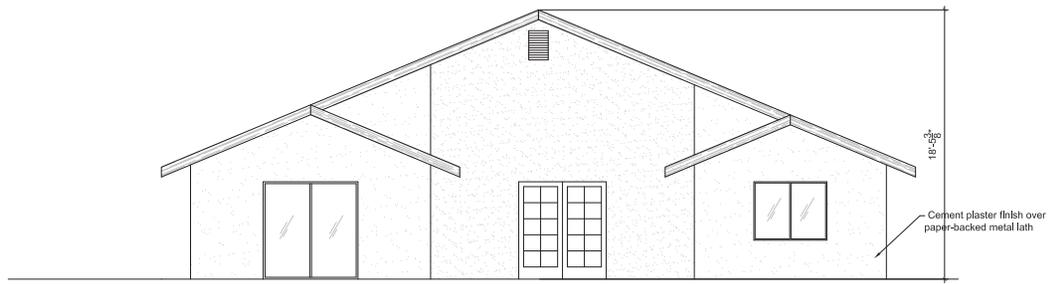
Pinder Residence
363 Curtner Ave
Campbell, CA 95008 - 5603

Scale: 1/4" = 1'-0"
Date: March 4, 2010

A9



PROJECT NORTH



North Elevation



South (Front) Elevation

General Notes

North & South Elevations

Architectural Review Committee	3-4-16	
City Submitted	3-8-16	
No.	Revision/Issue	Date

Copyright © 2016 Paul H. Fick Architects. All rights reserved. This drawing is the property of Paul H. Fick Architects. It is to be used only for the project and site shown. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Paul H. Fick Architects.

(408) 281-4400
Paul H. Fick
 ARCHITECT
 PLANNING
 ARCHITECTURE
 INTERIOR DESIGN
 550 CALERO AVE. SAN JOSE, CA. 95123

Pfnder Residence
 363 Curtner Ave
 Campbell, CA 95008 - 5605
 Date: 1/15/16 - P-C# Date: March 4, 2016

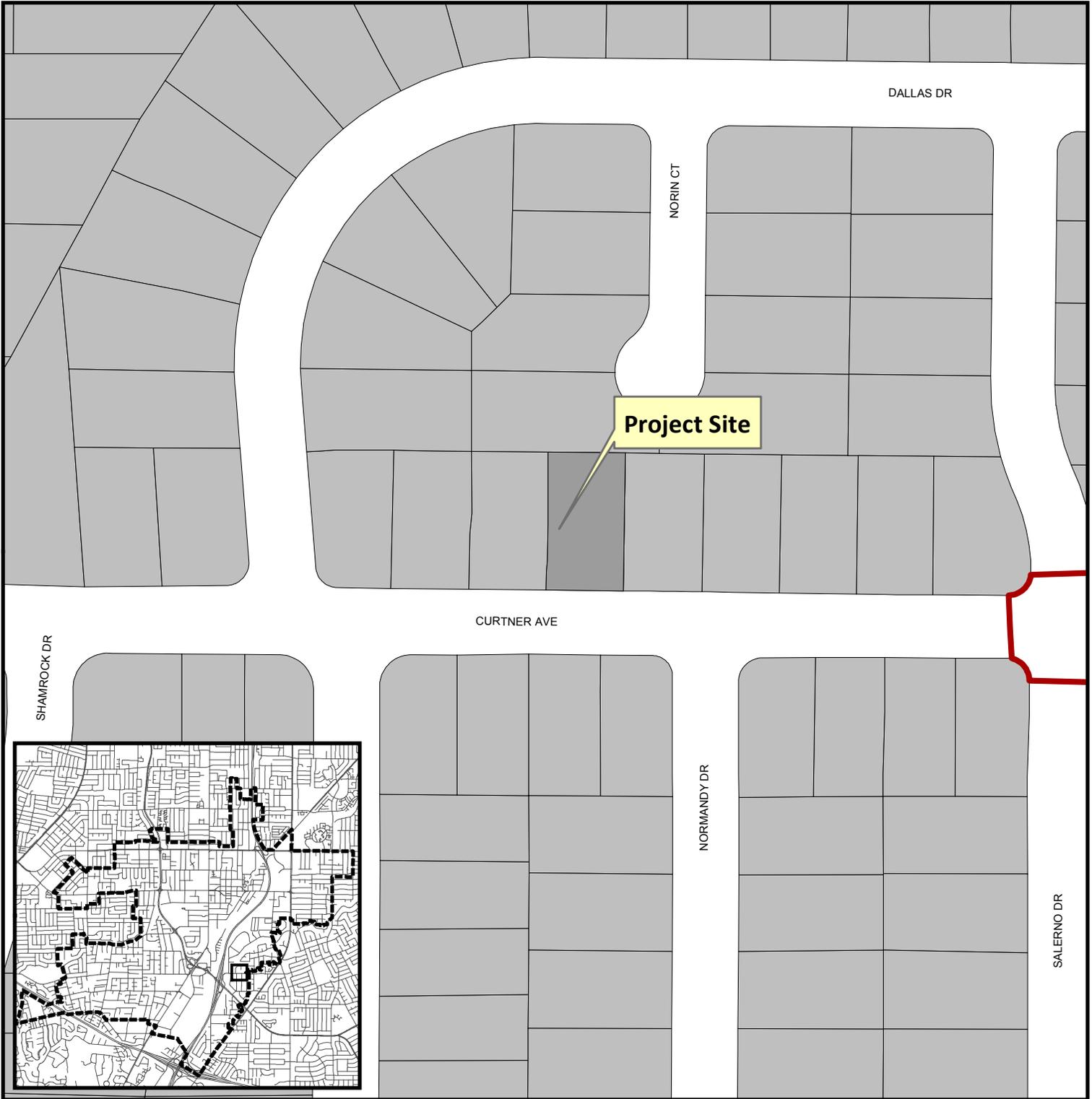
A8



1/15/2004 REYDATE
 363 Curtner 03-04-16.dwg FNAME
 R

Project Location Map

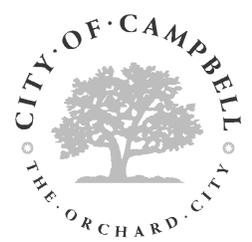
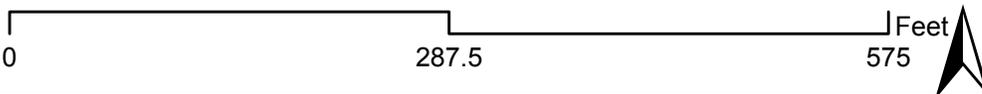
Attachment 2



Project Location: 363 Curtner Ave.

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2016-91



Community Development Department
Planning Division

MEMORANDUM

Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** May 24, 2016
From: Stephen Rose, Associate Planner 
Via: Paul Kermoyan, Community Development Director 
Subject: Conditional Use Permit (PLN2016-107)
Address: 1600 W. Campbell Avenue
Applicant: Donald Bordenave (on behalf of Verizon)

PROPOSAL

The applicant is seeking approval of a Conditional Use Permit to allow for the establishment of a new wireless communications facility, which would be concealed in four new rooftop dormers affixed to the roof of an existing cupola. Associated equipment cabinets would be housed in storage room located at the rear of an existing commercial tenant space (Big 5 Sporting Goods).

The purpose of the Site and Architectural Review Committee's (SARC) review is to provide a recommendation to the Planning Commission on the proposed design (colors, materials, shape, massing) and placement of the proposed antennas, dormers, and associated equipment.

PROJECT SITE

The project site is the roof and surrounding grounds of the Big Five Sporting Goods building located in the Kirkwood Plaza Shopping Center which is located on the south side of Campbell Avenue, west of San Tomas Aquino Road and east of Fulton Street (reference **Attachment 1**, Location Map). The Kirkwood Plaza Shopping Center is developed with a combination of one and two-story multi-tenant office and retail commercial buildings.

PROJECT DATA

General Plan Designation: Neighborhood Commercial
 Zoning District: C-1 (Neighborhood Commercial)

Facility Height	Existing	Proposed	Maximum Allowed
Top of Cupola Peak:	49-feet, 11-inches	No Change	N/A
Top of Proposed Dormers:	N/A	44-feet, 1-inch	N/A*

*: As a decorative rooftop element, not providing additional floor space may exceed the maximum height limit with Planning Commission approval.

Surrounding Uses

North: Campbell Avenue
 South: Residential
 East: S. San Tomas Aquino Road
 West: Fulton Street

DESCRIPTION

The proposed facility consists of twelve (12) antenna panels and supporting equipment concealed within new FRP (fiber reinforced plastic) dormers to be installed on each of the four sides of an existing cupola/tower located above and at the front of a two-story commercial building. The proposal also includes the installation of two smaller GPS antennas which will be mounted outside the dormers at the southwest and southwest corners of the cupola (carefully placed out of view), sixteen (16) RRU's completely integrated within the existing cupola, and the installation of seven louvers for ventilation around the cupola, and the use 240 square foot storage room at the rear and ground floor of an existing commercial tenant space (Big 5 Sporting Goods) for antenna cabinets and air conditioning units.

The proposed dormers will be made of a FRP (Fiber Reinforced Plastic) material which will be treated to match the material (metal), texture (smooth with seams), and color (blue) of the existing cupola. As the antennas would be housed entirely within the dormers, the antennas will not be visible from any angle (reference **Attachment 2** – Project Plans; Sheet A-3).

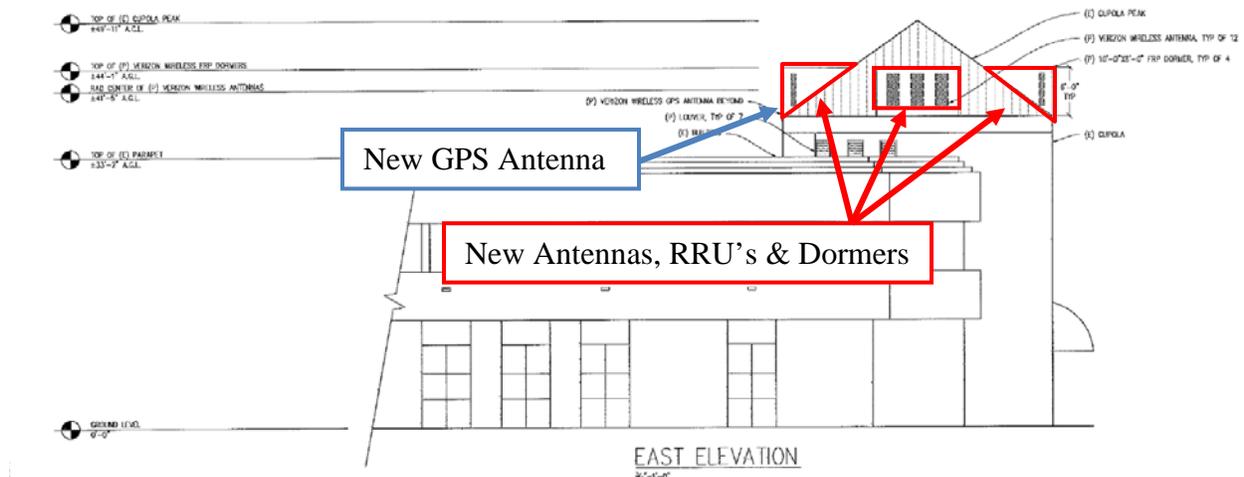


Exhibit 1 - Proposed Equipment

(Partial View; Eight additional antennas, one GPS antenna and ground floor equipment room not shown)

ANALYSIS

Location: The antennas will be located on the roof of a commercial property (zoned C-1), which is a preferred location for wireless telecommunication facilities pursuant to Campbell Municipal Code Section 21.34.070.A (Location of wireless telecommunications facilities.). Additionally, in accordance with the requirements specified by Section 21.34.080.C (Preferred antenna siting and mounting techniques) the proposed antennas will minimize the visual attention of the communications facility by being completely concealed in new dormers.

Height: Pursuant to CMC 21.18.050 (Exceptions to height provisions) parapet walls, steeples and other “similar structure(s)” as determined by the Planning Commission, may exceed the maximum height of any zoning district so long as they do not result in additional floor area.

While not explicitly called out in the code, the proposed dormers could be considered a “similar structure” as they would serve as an architectural embellishment of the existing cupola and do not result in new floor area.

Design: The proposed dormers are intended to match the existing color and appearance of the existing blue/metal cupola. The face of the dormers would be equipped with a heavy/wide gage louver, which would provide ventilation for the equipment and complement the metal seams of the roof as illustrated below. The SARC may wish to consider the best treatment for the sides of the dormers (such as recommending vertical seams complementary to the existing cupola) or the appropriate spacing/size of the louvers on the face of the dormers.



Exhibits 2 & 3 – Project Photosimulation and Example of a Louvered Dormer

Landscaping: No changes to existing landscaping are proposed.

STAFF RECOMMENDATION

Staff recommends that SARC find that the design will achieve consistency with the City’s Wireless Ordinance.

Attachments:

1. Location Map
2. Project Plans
3. Photosimulation



CENTRAL CAMPBELL
 1600 W CAMPBELL AVENUE, CAMPBELL, CA 95008
 LOCATION NUMBER: 255605

CENTRAL CAMPBELL
 255605
 1600 W CAMPBELL AVENUE
 CAMPBELL, CA 95008



VERIZON WIRELESS EQUIPMENT ENGINEER:		VERIZON WIRELESS REAL ESTATE:	
SIGNATURE	DATE	SIGNATURE	DATE
VERIZON WIRELESS CONSTRUCTION:		VERIZON WIRELESS RF ENGINEER:	
SIGNATURE	DATE	SIGNATURE	DATE
PROPERTY OWNER:		CORE DEVELOPMENT SERVICES - LEASING	
SIGNATURE	DATE	SIGNATURE	DATE
CORE DEVELOPMENT SERVICES - CONSTRUCTION		CORE DEVELOPMENT SERVICES - ZONING	
SIGNATURE	DATE	SIGNATURE	DATE

PROJECT DESCRIPTION

A (P) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF INSTALLING:

- (12) (P) ANTENNAS
- (16) (P) BRUS-12 UNITS W/ (16) (P) A2 MODULES
- (4) (P) RAYCAP 3315 SURGE SUPPRESSORS
- A (P) 11'-10"x19'-6" (231 SQ FT) EQUIPMENT LEASE AREA
- (2) (P) GPS ANTENNAS

PROJECT INFORMATION

SITE NAME:	CENTRAL CAMPBELL	SITE #:	255605
COUNTY:	SANTA CLARA	JURISDICTION:	CITY OF CAMPBELL
APN:	403-02-044	POWER:	PG&E
SITE ADDRESS:	1600 W CAMPBELL AVENUE CAMPBELL, CA 95008	TELEPHONE:	A:T&T
CURRENT ZONING:	C-1 (NEIGHBORHOOD COMMERCIAL)		
CONSTRUCTION TYPE:	V-B		
OCCUPANCY TYPE:	U, (UNMANNED COMMUNICATIONS FACILITY)		
PROPERTY OWNER:	RAMPY & RAMPY LLC 1630 W CAMPBELL AVENUE CAMPBELL, CA 95008 (408) 379-4547		
APPLICANT:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG 9 WALNUT CREEK, CA 94598		
SITE ACQUISITION COMPANY:	CORE DEVELOPMENT SERVICES, LLC 10 ROLLINS RD, STE #202 MILLBRAE, CA 94030		
LEASING CONTACT:	CORE DEVELOPMENT SERVICES, LLC ATTN: SHAMALA TAJ (714) 986-6276 STANDARD@CORE.US.COM		
ZONING CONTACT:	CORE DEVELOPMENT SERVICES, LLC ATTN: ASHLEY WOODS (714) 293-5075 AWOODS@CORE.US.COM		
CONSTRUCTION CONTACT:	ATTN: TSD (---)		

VICINITY MAP



DRIVING DIRECTIONS

FROM: 2785 MITCHELL DRIVE, BLDG 9, WALNUT CREEK, CA 94598
 TO: 1600 W CAMPBELL AVENUE, CAMPBELL, CA 95008

- START OUT GOING SOUTHWEST ON MITCHELL DR TOWARD N WIGET LN 0.2 MI
- TURN LEFT ONTO N WIGET LN 0.3 MI
- TAKE THE 2ND RIGHT ONTO YONACIO VALLEY RD 3.0 MI
- YONACIO VALLEY RD BECOMES HILLSIDE AVE 0.03 MI
- MERGE ONTO I-880 S VIA THE RAMP ON THE LEFT TOWARD SAN JOSE 33.7 MI
- TAKE THE MISSION BLVD W EXIT, EXIT 12, TOWARD I-880 / WARM SPRINGS DISTRICT / NORTHWESTERN POLYTECHNIC UNIVERSITY 0.5 MI
- MERGE ONTO MISSION BLVD / CA-262 0.6 MI
- MERGE ONTO I-880 S TOWARD SAN JOSE 13.0 MI
- I-880 S BECOMES CA-17 S 1.3 MI
- TAKE THE HAMILTON AVE EXIT, EXIT 25 0.2 MI
- KEEP RIGHT TO TAKE THE RAMP TOWARD J F K UNIVERSITY / DOWNTOWN CAMPBELL 0.06 MI
- MERGE ONTO E HAMILTON AVE 1.1 MI
- TURN LEFT ONTO SAN TOMAS EXPY / COUNTY HWY-04 0.5 MI
- TURN RIGHT ONTO W CAMPBELL AVE 0.5 MI
- 1600 W CAMPBELL AVE IS ON THE LEFT 1.0 MI

END AT: 1600 W CAMPBELL AVENUE, CAMPBELL, CA 95008
 ESTIMATED TIME: 1 HOUR 1 MINUTES ESTIMATED DISTANCE: 55.48 MILES

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2013 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
(2012 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
(2011 NATIONAL ELECTRICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
(2012 UNIFORM MECHANICAL CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
(2012 UNIFORM PLUMBING CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2013 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
(2012 INTERNATIONAL FIRE CODE AND 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2013 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
ANSI/ISA-1A-222-G

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B-203.4

SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	--
LS-1	SITE SURVEY	--
LS-2	SITE SURVEY	--
A-1	SITE PLAN	--
A-2	EQUIPMENT PLAN	--
A-3	ANTENNA PLAN & DETAILS	--
A-4	ELEVATIONS	--

Streamline Engineering
 civil design inc.
 6445 Sierra College Blvd, Suite E, Orinda, CA 94651
 E-Mail: lmy@streamlineeng.com Fax: 916-900-1841
 www.streamlineeng.com
 Streamline Engineering is an Equal Opportunity Employer. Minorities and women are encouraged to apply.

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**
 KEVIN R. SORENSEN
 54469

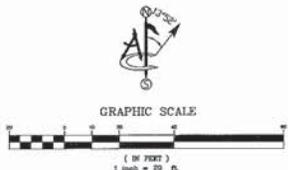
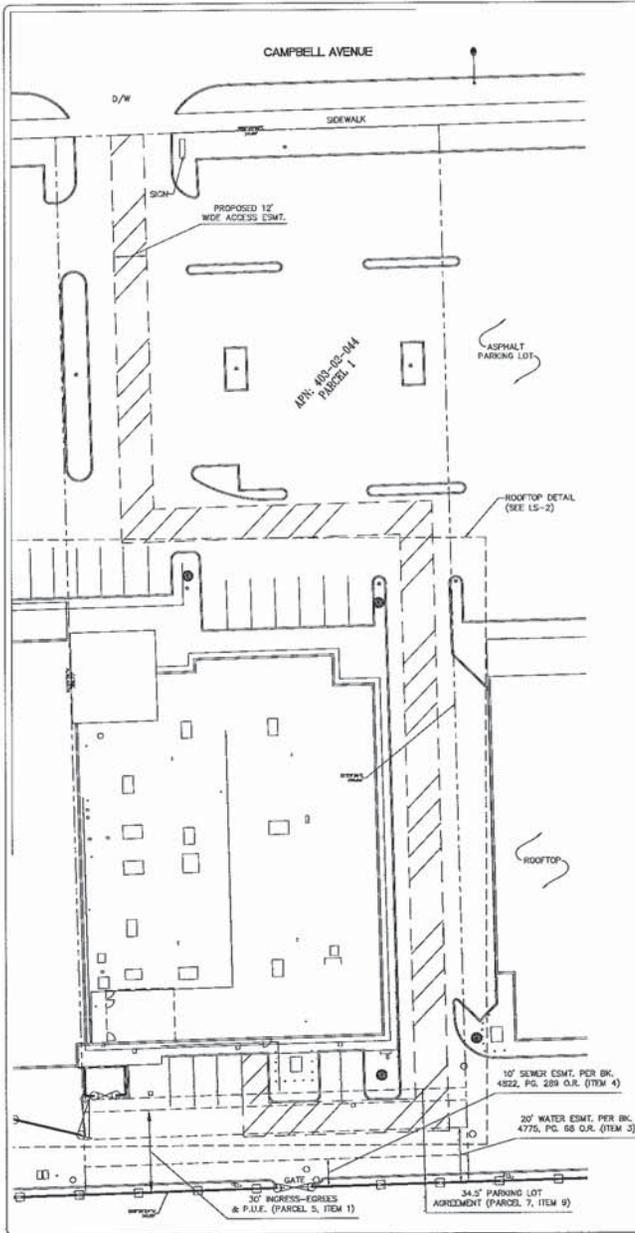
ISSUE STATUS

Δ	DATE	DESCRIPTION	REV
	01/27/16	2D 80%	M.D.
	02/12/16	2D 100%	M.D.

DRAWN BY: M. DI DIO
 CHECKED BY: L. HOLDBY
 APPROVED BY: --
 DATE: 02/12/16

SHEET TITLE:
 TITLE
 SHEET NUMBER:
 T-1

RECEIVED
 MAR 23 2016
 CITY OF CAMPBELL
 PLANNING DEPT.



DIRECTIONS TO SITE
 HEAD SOUTHWEST ON MITCHELL DR. TOWARD N. WOODST LN.;
 TURN LEFT ONTO N. WOODST LN.; TURN RIGHT ONTO YONACIO
 VALLEY RD.; TURN LEFT TO MERGE ONTO I-880 S. TOWARD
 SAN JOSE; TAKE EXIT 12 FOR MISSION BLVD./STATE ROUTE
 202 TOWARD I-880; KEEP RIGHT AT THE FORK; MERGE ONTO
 MISSION BLVD./STATE ROUTE 202 S.; KEEP LEFT AT THE
 FORK; MERGE ONTO I-880 S.; CONTINUE ONTO CA-17 S.;
 TAKE EXIT 25 FOR HAMILTON AVE.; KEEP RIGHT AT THE
 FORK; MERGE ONTO E. HAMILTON AVE.; TURN LEFT ONTO
 SAN TOMAS EXPY.; TURN RIGHT ONTO W. CAMPBELL AVE.;
 SITE WILL BE ON THE LEFT.

LESSOR'S LEGAL DESCRIPTION
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF
 SANTA CLARA, STATE
 OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: PARCEL 2, PARCEL MAP FILED FOR RECORD ON JULY 30,
 1991 IN BOOK 429 OF MAPS, PAGES 16 AND 17, SANTA CLARA
 COUNTY RECORDS.

PARCEL 2: AN ENCROACHMENT EASEMENT FOR INGRESS AND EGRESS
 FOR DOOR OPENING AND MARQUEE OVERHANGS, OVER A STRIP OF
 LAND 12.00 FEET IN WIDTH, THE EASTERLY LINE OF WHICH IS AS
 FOLLOWS, BEGINNING AT A POINT OF INTERSECTION OF THE SOUTHERLY
 LINE OF 12.774 ACRE TRACT DESCRIBED IN DEED TO CITY TITLE
 INSURANCE COMPANY, A CORPORATION, RECORDED IN BOOK 4345
 OFFICIAL RECORDS, PAGE 120, WITH THE WESTERLY LINE OF SAN
 TOMAS AQUINO ROAD (90.00 FEET IN WIDTH), AS ESTABLISHED BY
 DEED TO CITY OF CAMPBELL, RECORDED IN BOOK 4729 OFFICIAL
 RECORDS, PAGE 742; THENCE SOUTH 87°30'00" WEST ALONG THE
 SOUTHERLY LINE OF SAID 12.774 ACRE TRACT, 415.97 FEET; THENCE
 AT RIGHT ANGLES NORTH 2°30'00" WEST 179.8 FEET AND THE TRUE
 POINT OF BEGINNING OF THE EASEMENT TO BE DESCRIBED; THENCE
 CONTINUING NORTH 2°30'00" WEST 37.20 FEET TO THE TERMINUS OF
 SAID EASEMENT.

PARCEL 3: A BUILDING ENCROACHMENT EASEMENT, OVER A STRIP OF
 LAND 1.30 FEET IN WIDTH, THE EASTERLY LINE OF WHICH IS AS
 FOLLOWS, BEGINNING AT A POINT OF INTERSECTION OF THE SOUTHERLY
 LINE OF 12.774 ACRE TRACT DESCRIBED IN DEED TO CITY TITLE
 INSURANCE COMPANY, A CORPORATION, RECORDED IN BOOK 4345 OF
 OFFICIAL RECORDS, PAGE 120, WITH THE WESTERLY LINE OF SAN
 TOMAS AQUINO ROAD (90.00 FEET IN WIDTH), AS ESTABLISHED BY
 DEED TO CITY OF CAMPBELL, RECORDED IN BOOK 4729 OFFICIAL
 RECORDS, PAGE 742; THENCE SOUTH 87°30'00" WEST ALONG THE
 SOUTHERLY LINE OF SAID 12.774 ACRE TRACT, 415.97 FEET; THENCE
 AT RIGHT ANGLES NORTH 2°30'00" WEST 179.8 FEET AND THE TRUE
 POINT OF BEGINNING OF THE EASEMENT TO BE DESCRIBED; THENCE
 CONTINUING NORTH 2°30'00" WEST 22.10 FEET AND THE TERMINUS OF
 SAID EASEMENT.

PARCEL 4: AN ENCROACHMENT EASEMENT FOR INGRESS AND EGRESS
 FOR DOOR OPENING AND MARQUEE OVERHANGS, OVER A STRIP OF
 LAND 7.00 FEET IN WIDTH THE NORTHERLY LINE OF WHICH IS AS
 FOLLOWS, BEGINNING AT THE POINT OF INTERSECTION OF THE
 SOUTHERLY LINE OF 12.774 ACRE TRACT DESCRIBED IN DEED TO CITY
 TITLE INSURANCE COMPANY, A CORPORATION, RECORDED IN BOOK 4345
 OFFICIAL RECORDS, PAGE 120, WITH THE WESTERLY LINE OF SAN
 TOMAS AQUINO ROAD (90.00 FEET IN WIDTH), AS ESTABLISHED BY
 DEED TO CITY OF CAMPBELL, RECORDED IN BOOK 4729 OFFICIAL
 RECORDS, PAGE 742; THENCE SOUTH 87°30'00" WEST ALONG THE
 SOUTHERLY LINE OF SAID 12.774 ACRE TRACT, 274.97 FEET; THENCE
 AT RIGHT ANGLES NORTH 2°30'00" WEST 187.00 FEET AND THE TRUE
 POINT OF BEGINNING OF THE EASEMENT TO BE DESCRIBED; THENCE
 NORTH 87°30'00" EAST AND PARALLEL WITH THE SOUTHERLY LINE OF
 SAID 12.774 ACRE TRACT, 15.00 FEET AND THE TERMINUS OF SAID
 EASEMENT.

PARCEL 5: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS
 AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES
 OVER A STRIP OF LAND 30.00 FEET IN WIDTH, THE SOUTHERLY LINE
 OF WHICH IS AS FOLLOWS, BEGINNING AT A POINT OF INTERSECTION
 OF THE SOUTHERLY LINE OF 12.774 ACRE TRACT DESCRIBED IN DEED
 TO CITY TITLE INSURANCE COMPANY, A CORPORATION, RECORDED IN
 BOOK 4345 OFFICIAL RECORDS, PAGE 120, WITH THE WESTERLY LINE
 OF SAN TOMAS AQUINO ROAD (90.00 FEET IN WIDTH), AS ESTABLISHED
 BY DEED TO CAMPBELL, RECORDED IN BOOK 4729 OFFICIAL RECORDS,
 PAGE 742; THENCE SOUTH 87°30'00" WEST ALONG THE SOUTHERLY
 LINE OF SAID 12.774 ACRE TRACT, 341.47 FEET TO THE TERMINUS OF
 SAID EASEMENT.

PARCEL 6: THE EASEMENT DESCRIBED IN THE DOCUMENT ENTITLED
 "DECLARATION OF PROTECTIVE RESTRICTION AND GRANT OF
 EASEMENTS" EXECUTED BY MANFRED MARQUETTE, A CALIFORNIA
 CORPORATION, DATED AUGUST 30, 1960 AND RECORDED ON
 SEPTEMBER 16, 1960, IN BOOK 4916 OF OFFICIAL RECORDS, PAGE 492,
 SANTA CLARA COUNTY RECORDS.

PARCEL 7: THE EASEMENT DESCRIBED IN THE DOCUMENT ENTITLED,
 "PARKING LOT AGREEMENT, EXECUTED BY AND BETWEEN MARGUERITE
 KORNIGAL, JAMES T. SHAW, FRANCIS M. SHAW, AND DEWEY A.
 SHAW, DATED JULY 25, 1991 AND RECORDED ON JULY 31, 1991 IN
 BOOK 1908 OF OFFICIAL RECORDS, PAGE 537, SANTA CLARA COUNTY
 RECORDS.

SCHEDULE "B" NOTE
 REFERENCE IS MADE TO THE TITLE REPORT ORDER #00305836,
 ISSUED BY LAWYERS TITLE COMPANY, DATED MAY 25, 2012.
 ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT
 AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE
 HAVE BEEN PLOTTED.
 NOTE: ITEMS 1, 3, 4, AND 9 ARE AS SHOWN, ALL OTHER
 SCHEDULE "B" ITEMS ARE OTHER NOT PLOTTABLE, BLANKET IN
 NATURE, OR DO NOT EFFECT THE SUBJECT PARCEL.
 THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS
 PROVIDED BY SAID REPORT AFFECT THE PROPOSED VERIZON
 WIRELESS PREMISES SHOWN HEREOF.

SURVEYOR'S NOTES
 SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC
 RECORDS TO DETERMINE ANY DEFECT IN TITLE OTHER
 THAN THE BOUNDARY SHOWN HEREOF IS PLOTTED FROM
 RECORD INFORMATION AND DOES NOT CONSTITUTE A
 BOUNDARY SURVEY OF THE PROPERTY.
 NOTE: PARCEL 1, 5, AND 7 OF LESSOR'S LEGAL HAVE
 BEEN SHOWN, ALL OTHER PARCELS DO NOT EFFECT THE
 SUBJECT PARCEL.

UTILITY NOTES
 SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES
 ARE SHOWN OR THEIR LOCATIONS ARE EXACT. IT IS
 THE RESPONSIBILITY OF THE CONTRACTOR AND
 DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER
 INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO
 CONSTRUCTION, REMOVAL, RELOCATION AND/OR
 REPLACEMENT IS THE RESPONSIBILITY OF THE
 CONTRACTOR.

BENCHMARK
 PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED
 ORTHOMETRIC HEIGHTS BY APPLICATION OF MOST 10000
 OF MODELED SEPARATIONS TO ILLINOIS HEIGHTS
 DETERMINED BY RAW STATIC GPS DATA PROCESSED ON
 THE IGS ONLINE WEBSITE. ALL ELEVATIONS SHOWN
 HEREOF ARE REFERENCED TO NAVD83.

BASIS OF BEARING
 BEARINGS SHOWN HEREOF ARE BASED UPON U.S.
 STATE PLANE NA83 COORDINATE SYSTEM CALIFORNIA
 STATE PLANE COORDINATE ZONE THREE, DETERMINED
 BY GPS OBSERVATIONS.

SURVEY DATE
 08/21/12

REV	DATE/BY	DESCRIPTION
0	08/21/12	DA
1	08/21/12	FINAL SUBMITTAL
2	08/21/12	WF
3	08/21/12	REVISE GEODETIC COORDINATE 9
4	08/21/12	REVISE GEODETIC COORDINATE

ENGINEER / CONSULTANT

Ambit
 438 MAIN STREET SUITE 206
 HUNTINGTON BEACH, CA 92648 (802)463-0472

SITE BUILDER

verizon wireless
 15505 SAND CANYON AVENUE
 BLDG. 3, FIRST FLOOR
 IRVINE, CALIFORNIA 92618
 949.296.7000

A&E DEVELOPMENT

core
 DEVELOPMENT SERVICES
 A&E SERVICES
 2748 Saturn Street
 Irvine, California 92618
 (714)728-8404 (714)335-4441 fax
 www.core.us.com

APPROVALS

APPROVED BY	INITIALS	DATE
UNLSDSD		
VZM SITE ACQ		
ZONING		
VZM RF		
VZM INTERCONNECT		
VZM UTILITY		
VZM CONST.		
VZM PROJ. MGR.		

SITE NAME
CENTRAL CAMPBELL

SITE ADDRESS
 1600 WEST CAMPBELL AVENUE
 CAMPBELL, CALIFORNIA 95008

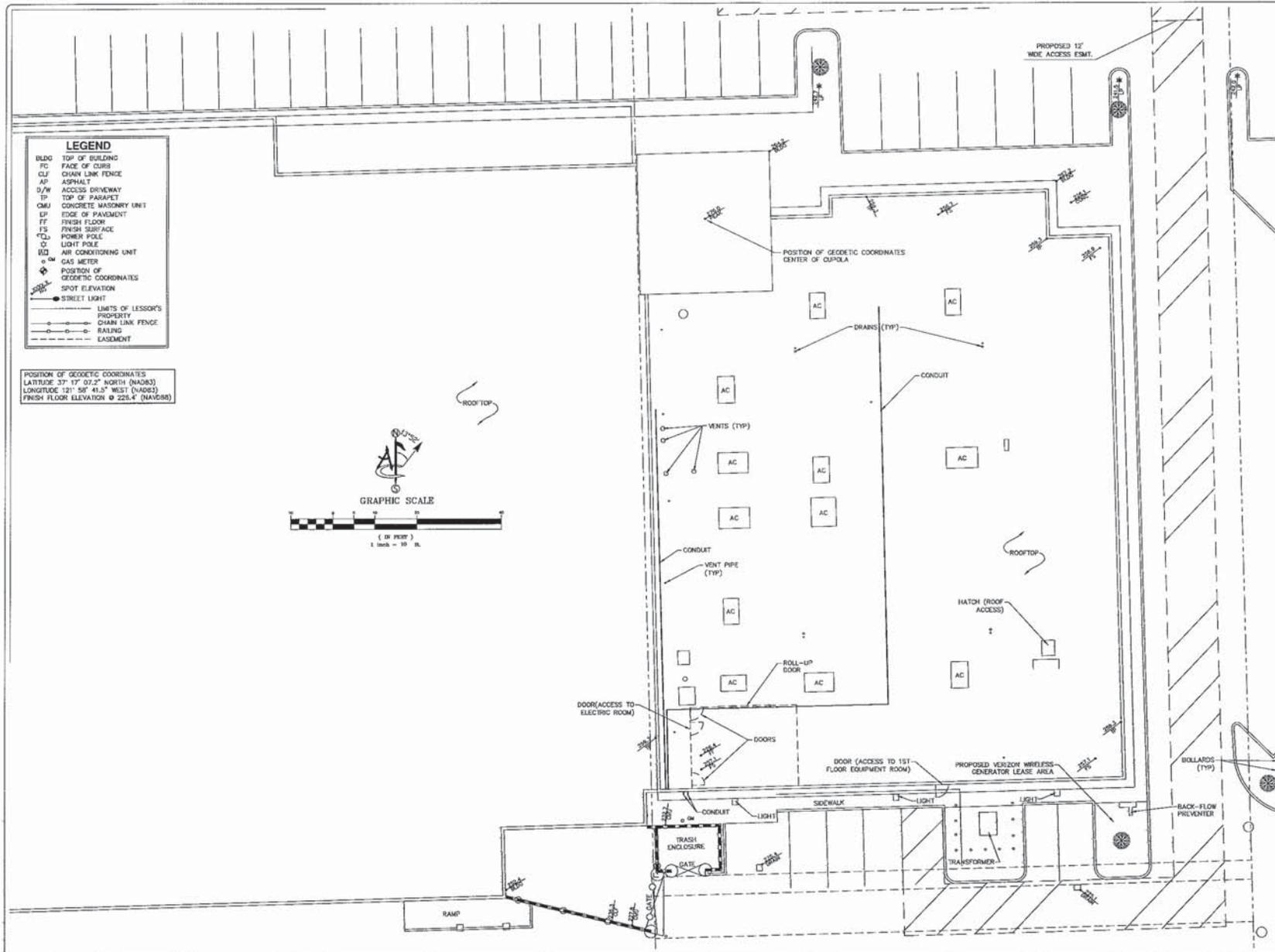
SANTA CLARA COUNTY
 SHEET TITLE

SITE SURVEY

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
DA	WF	08.28.2012

SHEET NUMBER
LS-1



REV	DATE/BY	DESCRIPTION
0	08/28/12	FINAL SUBMITTAL
1	08/07/13	MF LEASE AREA
2	01/11/15	REVISE GEODETIC COORDINATE 9
3	07/29/16	REVISE GEODETIC COORDINATE

ENGINEER / CONSULTANT



425 MAIN STREET SUITE 206
HUNTINGTON BEACH, CA 92648 (802)463-0472

SITE BUILDER



15005 SAND CANYON AVENUE
SUITE D, FIRST FLOOR
IRVINE, CALIFORNIA 92618
949.286.7000

ABE DEVELOPMENT



DEVELOPMENT SERVICES
ABE SERVICES

3748 SERRA STREET
IRVINE, CALIFORNIA 92618
(714)728-8404 (714)728-4411 FAX
WWW.CORE.OA.COM

APPROVALS

APPROVED BY	INITIALS	DATE
LANDING		
VOW SITE #23		
ZONING		
VOW RF		
VOW INTERCONNECT		
VOW UTILITY		
VOW CONST.		
VOW PROL. WGR.		

SITE INFORMATION

SITE NAME:
CENTRAL CAMPBELL

SITE ADDRESS:
1600 WEST CAMPBELL AVENUE
CAMPBELL, CALIFORNIA 95008

SANTA CLARA COUNTY

SHEET TITLE

SITE SURVEY

DRAWING INFORMATION

DRAWN BY	CHECKED BY	ISSUE DATE
DA	MF	08.28.2012

SHEET NUMBER

LS-2

CENTRAL CAMPBELL

255605
1600 W CAMPBELL AVENUE
CAMPBELL, CA 95008

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
Cant Design, Inc.

8446 Sierra College Blvd, Suite E Orinda, CA 94661
E-Mail: info@streamlineeng.com Fax: 916-932-1941

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF STREAMLINE ENGINEERING, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THESE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF STREAMLINE ENGINEERING, INC. IS STRICTLY PROHIBITED.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSON
54469

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	01/27/16	2D INK	M.D.
	02/12/16	2D 100%	M.D.
	-	-	-
	-	-	-
	-	-	-

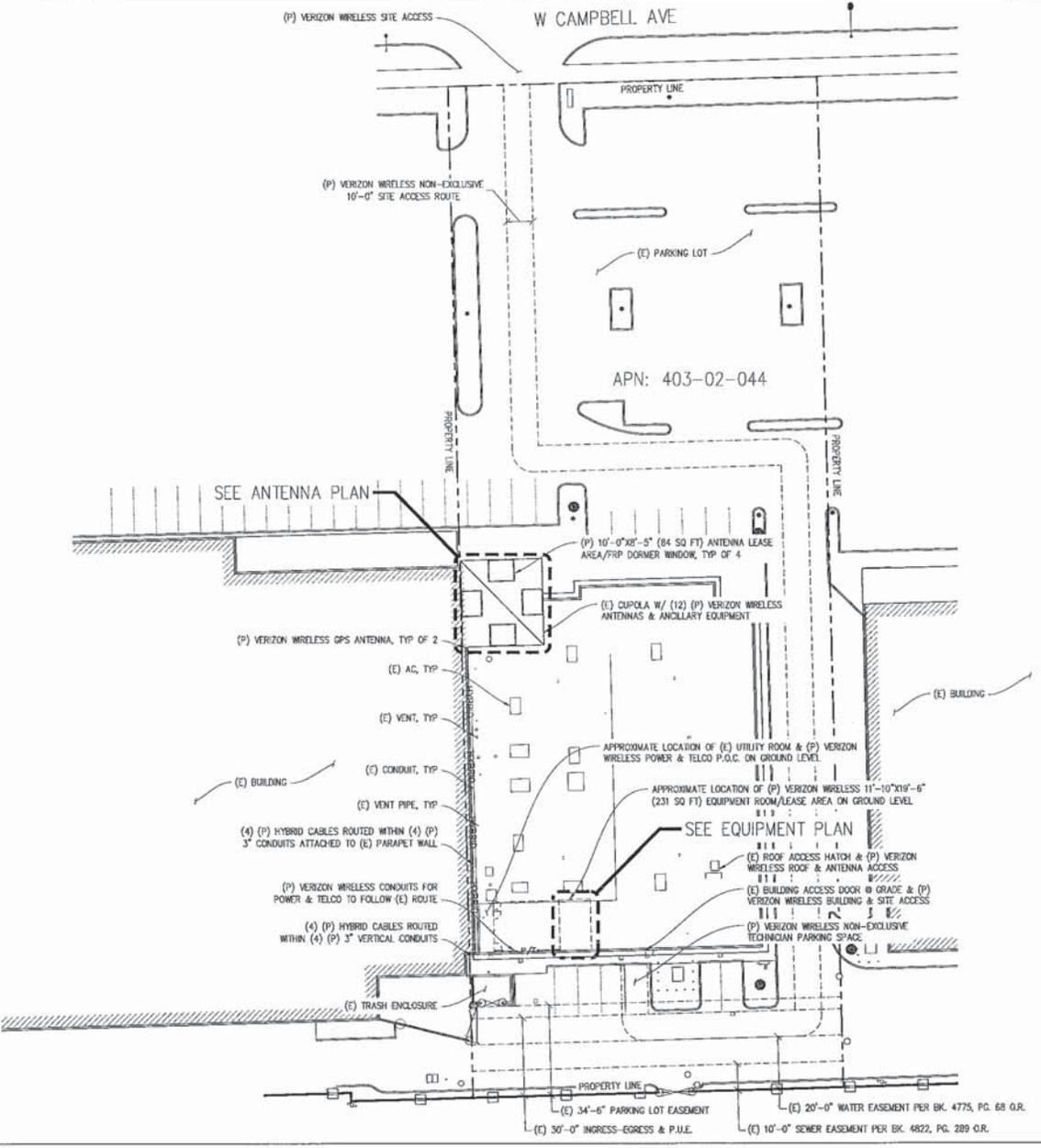
DRAWN BY: M. DI DIO
CHECKED BY: L. HOUGHTBY
APPROVED BY: -
DATE: 02/12/16

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1



CENTRAL CAMPBELL

255605
1600 W CAMPBELL AVENUE
CAMPBELL, CA 95008

verizon

2785 MITCHELL DRIVE BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering
Cam Design, Inc.

8445 Soma College Blvd, Suite E Orinda, CA 94661
E-Mail: larry@streamlineeng.com Fax: 916-860-1941

ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES HAVING JURISDICTION.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

KEVIN R. SORENSON
S4669

ISSUE STATUS

Δ	DATE	DESCRIPTION	REV.
	01/27/16	2D 80%	M.D.
	02/12/16	2D 100%	M.D.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: M. DI DIO

CHECKED BY: L. HOUGHTBY

APPROVED BY: -

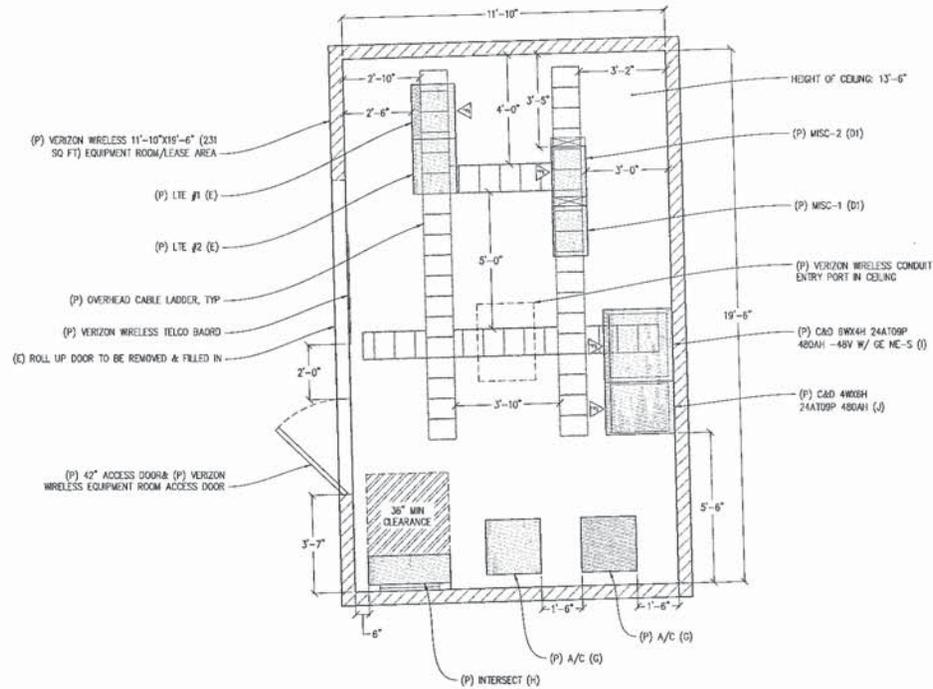
DATE: 02/12/16

SHEET TITLE:

EQUIPMENT PLAN

SHEET NUMBER:

A-2



SYM	WIDTH	DEPTH	HEIGHT
A	2'-2"	1'-9 1/2"	7'-0"
B	2'-1"	1'-3"	7'-0"
C	2'-0"	2'-0"	6'-2"
D	1'-8 1/2"	1'-3"	7'-0"
DI	2'-0 1/2"	1'-3"	7'-0"
E	2'-0"	1'-7"	4'-9"
F	2'-0"	2'-1 1/4"	7'-0"
G	2'-0"	2'-0"	7'-0"
H	2'-6"	3'-6"	7'-0"
I	2'-4"	2'-1 1/4"	7'-0"
J	1'-9"	2'-1 1/4"	5'-3"



EQUIPMENT PLAN

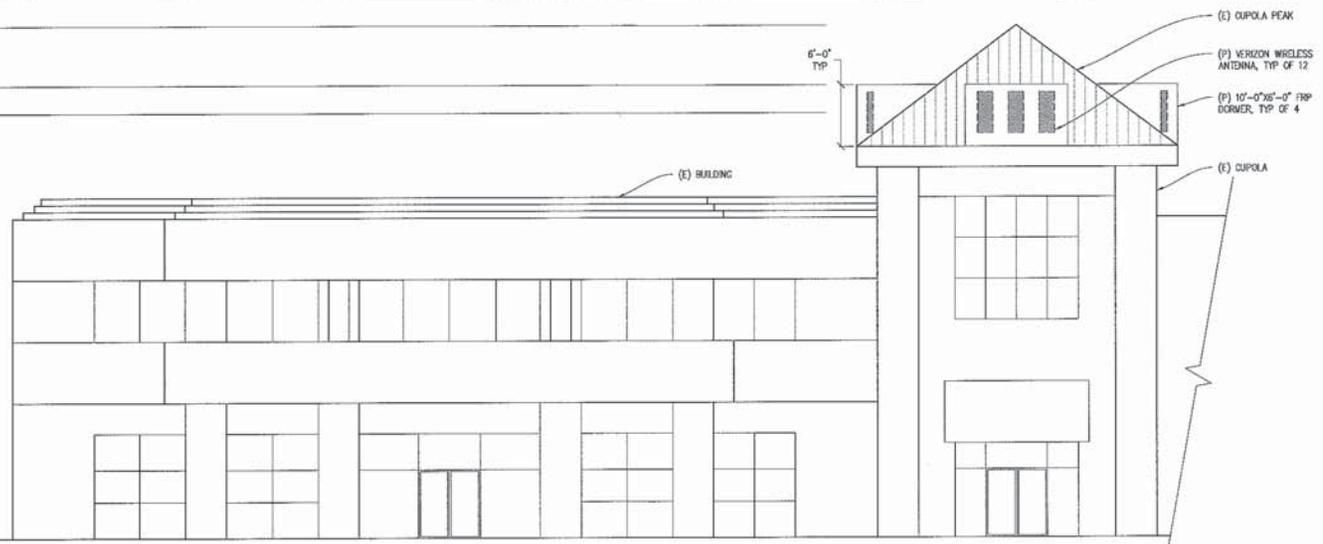
1/8"=1'-0"



- TOP OF (E) CUPOLA PEAK
±49'-11" A.G.L.
- TOP OF (P) VERIZON WIRELESS FRP DORMERS
±44'-1" A.G.L.
- RAD CENTER OF (P) VERIZON WIRELESS ANTENNAS
±41'-5" A.G.L.

- TOP OF (E) PARAPET
±33'-2" A.G.L.

- GROUND LEVEL
0'-0"

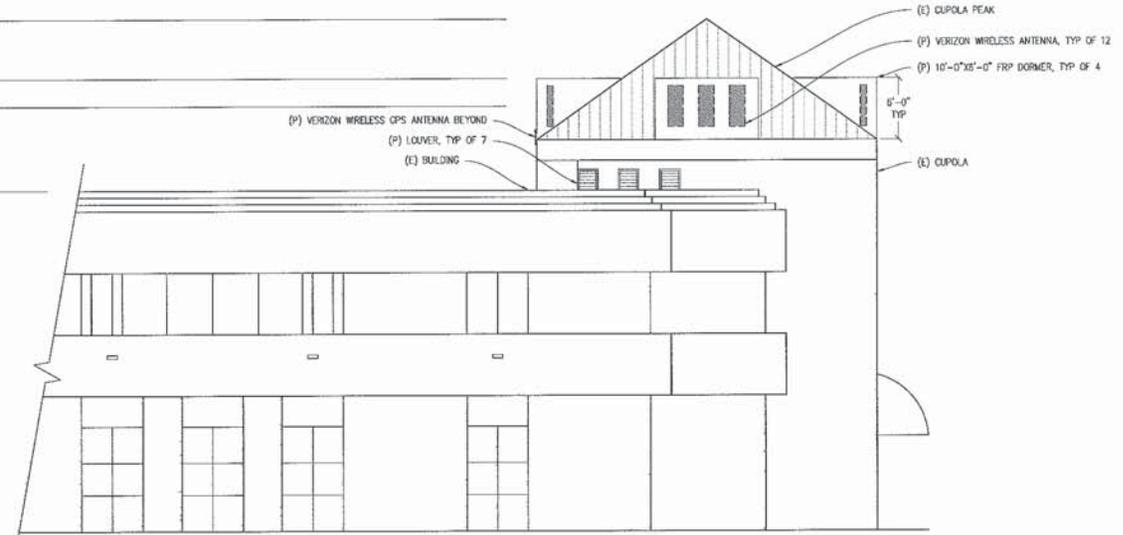


NORTH ELEVATION
3/8"=1'-0"

- TOP OF (E) CUPOLA PEAK
±49'-11" A.G.L.
- TOP OF (P) VERIZON WIRELESS FRP DORMERS
±44'-1" A.G.L.
- RAD CENTER OF (P) VERIZON WIRELESS ANTENNAS
±41'-5" A.G.L.

- TOP OF (E) PARAPET
±33'-2" A.G.L.

- GROUND LEVEL
0'-0"



EAST ELEVATION
3/8"=1'-0"

CENTRAL CAMPBELL

255605
1600 W CAMPBELL AVENUE
CAMPBELL, CA 95008

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

Streamline Engineering and Design, Inc.
8445 Sierra College Blvd, Suite 61 Granite Bay, CA 95661
Contact: Larry Houghtby Phone: 916-276-1101
E-Mail: larry@streamline-engineering.com Fax: 916-276-1101
Streamline Engineering and Design, Inc. is an Equal Opportunity Employer. Minorities and women are encouraged to apply. © 2016 Streamline Engineering and Design, Inc. All rights reserved.

PRELIMINARY:
NOT FOR
CONSTRUCTION

KEVIN R. SORENSEN
54469

ISSUE STATUS			
Δ	DATE	DESCRIPTION	REV.
	01/27/16	2D 3000	M.D.
	02/12/16	2D 1000	M.D.
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: M. DE DIDO
CHECKED BY: L. HOUGHTBY
APPROVED BY: -
DATE: 02/12/16

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4

Existing



Proposed



view from W Campbell Avenue looking south at site



255605 Central Campbell
1600 W Campbell, Campbell, CA
Photosims Produced 3-9-2016

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** May 24, 2016
From: Stephen Rose, Associate Planner
Via: Paul Kermoyan, Community Development Director *PK*
Application: Administrative Planned Development Permit (PLN2015-338)
Project Site: 2220 S. Winchester Blvd.

PROPOSAL

The applicant is requesting an Administrative Planned Development Permit (PLN2015-338) to reconfigure the existing parking lot, remove unpermitted additions and inactive air ductwork including vents and electrical panels on the building walls, remove windows on the south side of the building, and build a new trash enclosure. While these improvements are in anticipation of a future retail or office use, a subsequent Administrative Planned Development Permit will be required once a tenant has been formally identified.

As the applicant's proposal will substantially alter the on-site parking and circulation, resulting in vehicles existing directly onto S. Winchester Boulevard, and includes a request for an exception to an 8-foot rear yard setback required for parking spaces in the Winchester Boulevard Master Plan (WBMP), the applicant's proposal will require review and approval by the City Council.

PROJECT SITE

The project site is a single parcel, comprising approximately 9,924 square-feet, located at the northeast corner of South Winchester Boulevard and Sunnyside Avenue, abutting small-lot single-family residences to the east and a commercial property to the north (reference **Attachment 1** –Location Map). The project site is located within the Planned Development (P-D) Zoning District and has a General Plan land use designation of *Central Commercial*, and is located within the boundaries of the Winchester Boulevard Master Plan.

PROJECT DATA

Existing Net Lot Area:	9,924 square feet (.23 acre)
Proposed Net Lot Area:	9,524 square feet (after 400 sq. ft. dedication; 5-feet on Sunnyside Ave.)
Gross Lot Area:	18,850 square feet (.43 acre)
Zoning:	P-D (Planned Development)
General Plan:	<i>Central Commercial</i> (Winchester Boulevard Master Plan)
Building Coverage:	24.1% (2,302 sq. ft. building + 65 sq. ft. trash enclosure)
Floor Area Ratio (FAR):	23.4% (2,237 sq. ft. building)
Building Height:	15 Feet, 7 Inches
Maximum Height Allowed:	45 Feet (Winchester Boulevard Master Plan)
Building Setbacks:	2:1 Height to Setback Ratio on Rear

Parking Setback: 5 Feet Setback from Winchester Blvd. & Side Streets,
No Interior Side Setbacks
8 Feet from Rear Property Line

2:1 slope, 5-foot setbacks along Winchester Boulevard and side streets, no interior side setbacks, and an 8-foot setback from the rear parking lot as depicted

Parking:	<u>Parking Required</u>	<u>Parking Provided</u>
Retail:	11 ¹ (1 per 200 sq. ft. for speculative retail)	12

BACKGROUND

On January 25, 2016 a stop work notice was issued for the property which had started demolition work without permits, rendering the site unsafe to occupy. At this time, the site was also observed as having installed a new 7-foot+ redwood fence along the east property line without first obtaining approval of a fence exception permit. The site has remained unoccupied and in a state of partial demolition since that time.

On April 28, 2016 a Blackwood Acacia tree (21-inch diameter) was removed from the property without a tree removal permit, triggering a requirement to plant four (4) 24-inch box replacement trees on the property (or pay an in lieu fee if onsite locations are unable to be identified). A fine of \$1,831.27 was also assessed for the violation, which reflected the value of the tree and a citation for work without permits. A discussion of the tree replacement requirements has been outlined in the discussion on landscaping.

SCOPE OF REVIEW

As a developed site, conformance with applicable development standards (setbacks, building height, floor area ratio), and landscaping requirements (area, type, and size) should be provided to the greatest extent feasible taking into account existing conditions. Where complete conformance cannot be achieved due to conflicting requirements or existing buildings/site conditions, the SARC should seek to identify a 'best fit' plan based on the site constraints.

DISCUSSION

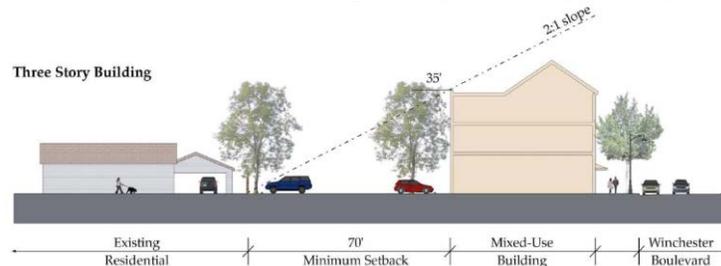
Planned Development Zoning District: The P-D Zoning District is intended to provide a degree of flexibility that is not available in other zoning districts so as to allow for a superior development, particularly related to the development's design and provision of open space. To aid in achieving this goal, the Zoning Code provides a listing of considerations that should be taken into account in review of this project which can be found in the in the Campbell Municipal Code and online as follows: [CMC 21.12.030.H.12](#).

Winchester Boulevard Master Plan: Review of physical characteristics of this project is largely governed by the Winchester Boulevard Master Plan² ("WBMP"). As envisioned by the General Plan, the goal of the WBMP is to transform Winchester Boulevard into a vibrant mixed-use, pedestrian-oriented district that can function as an extension of the Downtown. To this end, the WBMP encourages mixed-use development that fronts the street to provide a walkable atmosphere.

¹After rounding down in accordance with CMC21.28.040.F.

² The Winchester Boulevard Master Plan may be viewed online at <http://www.cityofcampbell.com/DocumentCenter/View/177>

Recognizing the differences in the land use pattern along the Winchester Boulevard corridor, the WBMP defines three distinct planning areas. The project site is located within Area 2, "Neighborhood Commercial Boulevard", which is subject to development standards that consider the proximity of single-family residences, including a maximum 45-foot (3-story) building height, a rear setback/height ratio defined by a 2:1 slope, 5-foot setbacks along Winchester Boulevard and side streets, no interior side setbacks, and an 8-foot setback from the rear parking lot as depicted by the following illustration:



As a developed site, the applicant's proposal should adhere to the requirements of the WBMP to the extent feasible. In evaluation of these requirements, the site would comply with all of the standards of the WBMP except for a questionable requirement to provide an 8-foot setback for the rear parking stalls. The plan includes an exhibit that states that a rear setback of 8-feet to parking or building be applied. Staff has reason to believe that an 8-foot setback is applicable for this project and intends to seek clarification of this standard should the project be processed as proposed. Nevertheless, an expanded discussion of this requirement, site constraints, and conflicting policy objectives has been provided under Site Configuration.

Site Configuration: The WBMP provides guidance for buildings to be sited at the street, and parking lots to be deemphasized by being placed at the rear. The applicant's proposal furthers this objective by retaining the building in its current position at the street and relocating onsite parking further behind the building. While this design furthers the plan's objective to deemphasize parking, the arrangement may conflict with the WBMP requirement to provide an 8-foot separation between onsite parking and the rear property line. As the lot is relatively shallow, and the proposal reflects the minimum stall dimensions and aisle clearance requirements permitted (18-foot stall depth & 25 foot drive aisle/backup), the SARC could consider this arrangement to represent the 'best fit' available, and consider whether additional landscaping, trees or fencing (see subsequent discussion) may serve to further the objective to buffer residential uses from commercial activity. Alternatively, the SARC could recommend building changes to accommodate parking, or for the parking arrangement to be reversed to place the driveway along the rear property line. A discussion point has been raised to determine if the parking layout should remain as presented, or if any changes to the arrangement would be warranted.

Architectural Design: The WBMP does not prescribe or preclude any particular architectural style (e.g., Spanish, modern, etc.). Instead, it provides design guidelines (Pg. 29) with reference to the 'ground level treatment' and 'façade treatment and massing', that are intended to address a building's "pedestrian's range of experience" as well as its "character and scale" as considered in context of the urban fabric of the Winchester Boulevard corridor.

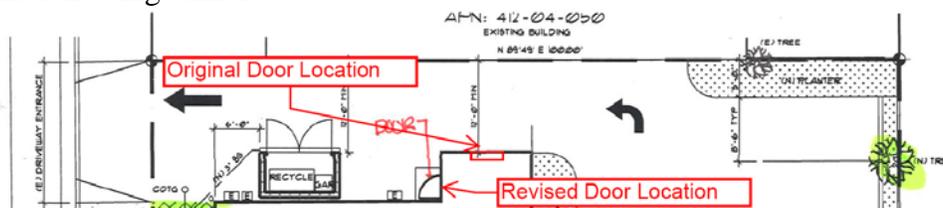
As a developed site, the applicant intends to retain the appearance of the existing building (white stucco walls, clay tile roof; the stockroom at rear of the building has vertical wood siding painted white) while removing unpermitted additions, inoperable ductwork and electrical equipment, and side

and rear windows which had been damaged and boarded up by the previous tenant. The proposal would retain all window glazing on the front façade of the building (fronting Winchester Boulevard), and install a new trash enclosure which would have CMU walls, and a metal roof. As the materials of the trash enclosure would not match the rest of the building, and would be visible from Winchester Boulevard, a discussion point has been raised to confirm whether or not stucco siding or a clay tile roof complementary to the primary building might be more appropriate, or if landscaping should be installed in front of this feature for enhanced screening.

Landscaping, Trees & Fencing: The proposed landscaping for the project reflects compliance with State-mandated water efficiency (drought tolerant vegetation) and stormwater management (infiltration plantings) standards. In consideration of the WBMP requirements to create a 15-foot wide sidewalk corridor, it should be noted that the landscaping along Winchester Boulevard will be required to be replaced with pervious pavers (reference **Attachment 4** – Enhanced Site Plan). Along the rear (east) property line, the applicant has proposed to install a two-foot wide landscaping strip (where vehicle parking spaces overhang the curb stop) and plant four new trees to replace the Blackwood Acacia tree which had been removed without permits (see discussion on Background). These trees, in combination with the 7-foot+ redwood fence (reference **Attachment 5** –Reconstructed Fence & Removed Tree), which had been installed without permits, could be considered to provide an adequate buffer for the residential uses to the east. While this fence is already in place, a discussion point has been raised to determine if the fence should be replaced with a masonry wall (which can be required to buffer commercial activities from residential uses), or reinforced at the base to protect against damage from vegetation or water. Further, as the trees would be planted in a two-foot wide landscaping strip which occurs between the wheel stop and the face of the fence, a further discussion point has been raised to determine if the five-foot wide planter at the northeast corner of the site should be carved into two 2½ feet wide parking lot finger islands and/or if the provision of landscape triangles between some of the stalls might be appropriate to provide an improved planting area for the roots of the trees.

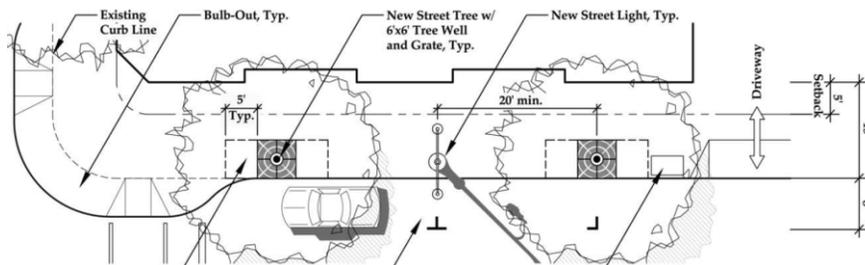
Lighting: New site lighting is subject to the City’s Lighting Design Standards (CMC 21.18.090). The most pertinent standard is the requirement for lighting fixtures to be shielded and for lighting not to emit across property lines. Whereas the applicant is not proposing new light fixtures, a discussion point has been raised to evaluate if additional lighting for the parking lot should be required.

Circulation: As part of the preliminary application review, the City's Traffic Engineer reviewed onsite and offsite circulation, including the driveway exit onto Winchester Boulevard. In that the site design narrows the driveway apron on Sunnyside, and creates an opportunity for vehicles to exit the site in two directions moving forward (rather than backing up over Sunnyside Avenue) the proposal is considered to reflect a significant improvement over the existing condition for motorists, bicyclists, and pedestrians. As the new driveway exiting onto Winchester Blvd. could conflict with an exit door of the stockroom, the applicant has proposed to relocate this door to the west elevation of the building as reflected in the following exhibit.



Off-Site Improvements: The proposed project will require public improvements (new sidewalk and street trees) to achieve the streetscape treatment provided for by the WBMP (illustrated in the diagram

below). The intent is to create a 15-foot wide sidewalk corridor—measured from building wall to the curb-line—comprised of 10-feet of right-of-way and the building's 5-foot front setback. Although the WBMP identifies Winchester and Sunnyside as potentially accommodating a "bulb-out" at the corner, the Traffic Engineering Division has indicated that bulb-outs are generally reserved for signalized intersections, and therefore will not be required.



In addition to applying the frontage improvements required by the WBMP, the applicant will be replacing the existing curb ramp at the intersection of Winchester Blvd. and Sunnyside with an accessible curb ramp, dedicating 5-feet of right-of-way along Sunnyside Avenue, and reconstructing the curb, gutter and sidewalk along Sunnyside Avenue to install a 25-foot wide driveway consistent with City Standards.

Historic Preservation: On August 19, 2015 the Historic Preservation Board (HPB) evaluated the historic significance of the subject building. While the HPB noted that the building was constructed around 1920, and located near the Alice Avenue Historic District, the Board determined the structure had little to no architectural integrity and did not warrant further discussion or evaluation for preservation.

Signage: While no new signs are proposed in conjunction with the subject application, a discussion point has been raised to confirm that the 'Michi Sushi' sign, which is painted on the south building wall, should be painted over with white paint and to evaluate whether a new private stop sign should be installed at the end of the driveway exiting onto Winchester Boulevard.

SUMMARY

If the SARC believes that the applicant has adequately addressed the considerations for review of a Planned Development Permit, as specified by CMC 21.12.030.5, it could recommend approval to the Planning Commission as proposed or subject to revisions. The following questions are meant to facilitate the SARC's discussion of the application:

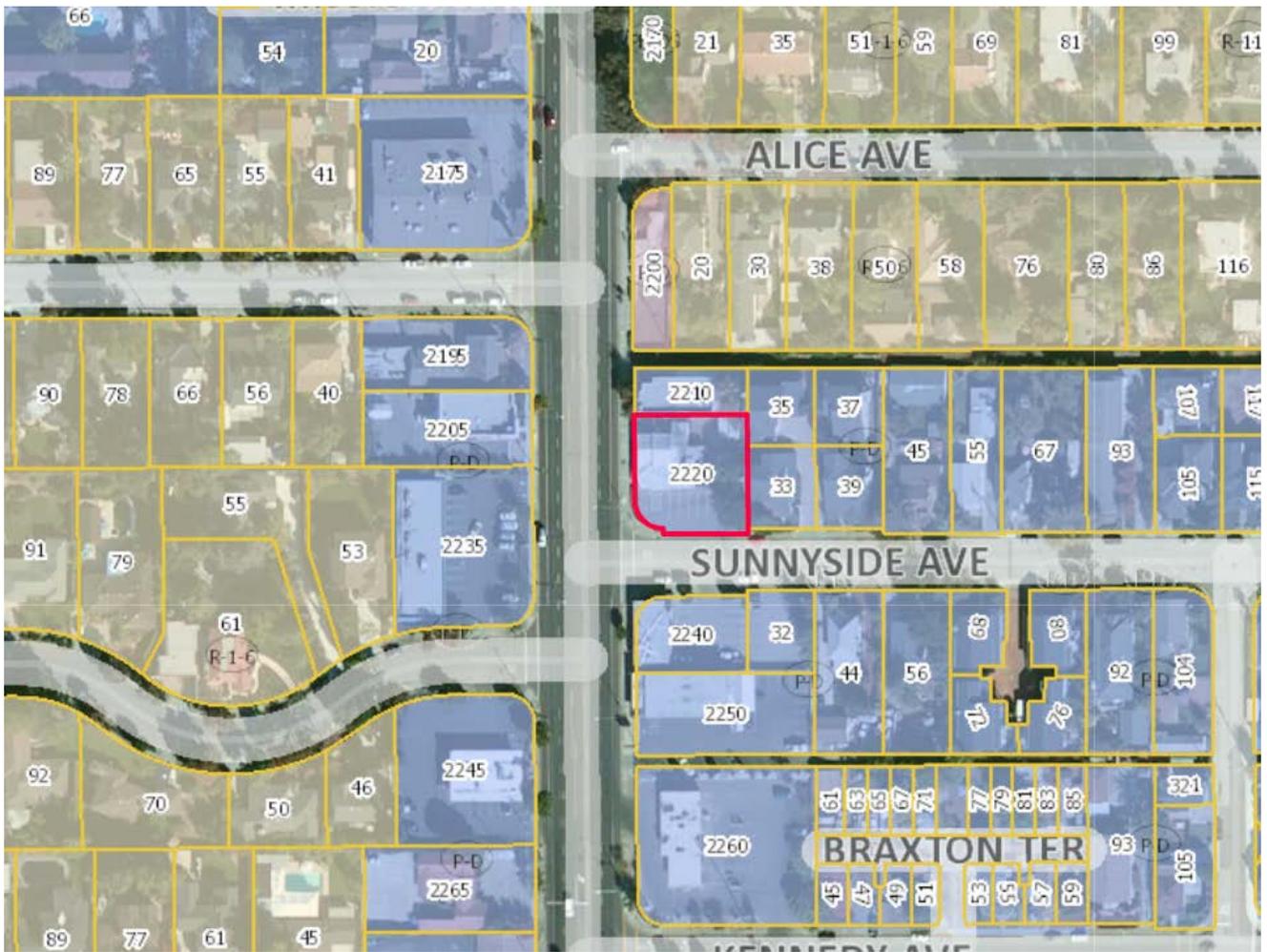
- **Trash Enclosure:** Should the trash enclosure be fabricated in stucco, or have a clay tile roof similar to the existing building? Alternatively, should the CMU block face be painted white and the metal roof painted a clay tile color to simulate the colors and materials of the building? Should landscaping be installed in front of the trash enclosure to help screen the structure?
- **Landscape Finger:** Should the project relocate the 5-foot landscaping strip that occurs at the northeast corner of the project site (rear parking lot) to a location between the fourth and fifth parking space along the rear property line to break-up the long row of parking and provide room for a new tree where the previous tree had been removed? Alternatively, should the 5-foot wide landscaping strip be divided into two smaller 2½-foot wide landscape strips occurring both at a location between the fourth and fifth parking stall, and at the northeast corner of the property?

- **Parking Lot Design:** Should the parking lot layout remain as presented, or should the building be reduced in size at the rear, and/or the parking arrangement reversed to place the driveway along the rear property line?
- **Landscape Triangles:** Would landscape triangles between some of the stalls be more appropriate to provide an improved planting area for the trees?
- **Fencing:** Should the fence between the commercial property and residential uses (which was built without permits) be reconstructed as a masonry wall? Should the base be reinforced to protect against damage from landscaping or water?
- **Parking Lot Lighting:** Should parking lot lighting be included with the revised parking lot design.
- **Mishi Sushi & Stop Sign:** Should the Michi Sushi Sign be painted over with white paint as a condition of approval? Should a new private stop sign be installed at the new Winchester Blvd. exit driveway?

Attachments:

1. Location Map
2. Project Plans
3. Existing Conditions
4. Enhanced Site Plan
5. Reconstructed Fencing & Removed Tree

Location Map



GRADING AND DRAINAGE NOTES

- CALIFORNIA BUILDING CODE**
ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL (SOILS) REPORT PREPARED BY _____ DATED _____ PROJECT NO. _____
- SPECIFICATIONS AND OBSERVATIONS**
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY 866-2150 SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**
EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- UTILITY ELEVATION VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATION AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD LOCATIONS OF EXISTING STORM DRAIN CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**
THE CONTRACTOR SHALL DISCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY WORKING CONSTRUCTION IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. ON-SITE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGULATE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 5 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 1%.
- GRADED SITE ELEVATIONS**
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET CUTTER AT POINT OF DISCHARGE OR THE INLET OF ANY APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 2 PERCENT. THE BUILDING OFFICER MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**
THE PERMITTEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, OIL OR GREASE OR OTHER SUBSTANCES SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**
THE TOPOGRAPHY SURVEY MADE BY: ALVAREZ & ASSOCIATES ON DEC. 2015 (608) 272-7529, SHEET 2 OF XX
- TREE REMOVAL AND PRESERVATION**
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.
- PROJECT PLANS**
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENLY**
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTING OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OR TITRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS, PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- WELL LOCATIONS**
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INQUIRED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.
- ELEVATION ADJUSTMENTS**
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE _____
- CONTRACTOR RESPONSIBILITIES**
THE SOILS ENGINEER AND/OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS WORKMANS ACCOMPLISHING WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- HEAT AND CLEAN PREMISES**
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS, DIRT, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNDESIRABLE ACCUMULATION OF RUBBISH

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 2220 WINCHESER BLVD

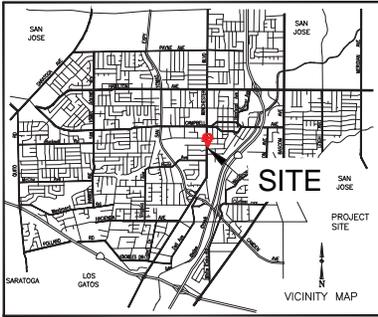
BUILDING PERMIT NO. 20__ -

ASSESSORS PARCEL NO. 412-04-049

TRACT NO. __ / PARCEL MAP



CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS



AGENCY INDEX

- | | |
|------------------------------------|----------------|
| SANTA CLARA COUNTY FIRE DEPARTMENT | (408) 378-4010 |
| CITY OF CAMPBELL - PUBLIC WORKS | (408) 866-2150 |
| CITY OF CAMPBELL - POLICE | (408) 866-2121 |
| SBC TELEPHONE | (408) 811-3900 |
| PACIFIC GAS & ELECTRIC | (408) 973-8980 |
| SAN JOSE WATER COMPANY | (408) 278-7900 |
| SANTA CLARA VALLEY WATER DISTRICT | (408) 265-2600 |
| COMCAST CABLE TELEVISION | (408) 452-9100 |
| WEST VALLEY SANITATION DISTRICT | (408) 378-2407 |

- ANY ABANDONED UNDERGROUND PIPES**
ANY ABANDONED UNDERGROUND PIPES EXPOSED DURING CONSTRUCTION SHALL BE REMOVED ACCORDING TO THE REQUIREMENTS OF BOTH IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CAMPBELL BUILDING DIVISION.
- HUMAN REMAINS**
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION, UNLESS THE CORONER HAS NOTIFIED THE PERMITTEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITTEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN SEVEN (7) DAYS OF THE DATE ON WHICH THE PERMITTEE NOTIFIED THE CORONER AND SHALL STATE THAT THE CORONER HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.
- MAINTENANCE PROCEDURES**
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.
- DUST CONTROL**
ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS READILY VISIBLE IN THE AIR, STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONSTRUCTION AREA AND THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.
- CONSTRUCTION MITIGATION MEASURE**
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.
- CONSTRUCTION PERMITTER RETENTION WALLS**
ALL PERMITTER RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.
- STORMWATER TREATMENT FACILITIES**
ALL STORMWATER TREATMENT FACILITIES REQUIRE PUBLIC WORKS INSPECTIONS. CALL 408-866-2150 TO SCHEDULE INSPECTIONS 48-HOURS PRIOR.

ABBREVIATIONS

AB	AGGREGATE BASE	LOL	LAYOUT LINE
AC	ASPHALT CONCRETE	MAX	MAXIMUM
BC	BEGIN CURB	MH	MANHOLE
BCR	BEGIN CURB RETURN	MIN	MINIMUM
CL	CLASS	OG	ORIGINAL GRADE
DIA	DIAMETER	PB	PULL BOX
DWY	DRIVEWAY	PCC	PORTLAND CEMENT CONCRETE
EC	END CURVE	PVC	POLYVINYL CHLORIDE
ECR	END CURB RETURN	R	RADIUS
ED	EDGE DRAIN	RCP	REINFORCED CONCRETE PIPE
EX	EXISTING	R/W	RIGHT-OF-WAY
FC	FACE OF CURB	STA	STATION
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
INV	INVERT	TEMP	TEMPORARY
IRR	IRRIGATION	TYP	TYPICAL

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE

PLANNING CHECK # _____
APPROVED BY _____
DATE _____

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE DISTRICT AND STATE REQUIREMENTS OF THE CONSTRUCTION ACTIVATION REPORT ON _____ IN CAMPBELL, CALIFORNIA, PROJECT NO. _____, DATED _____, PREPARED BY _____

DATE _____

BY _____ DATE _____

Earthwork Quantities

FILL:	CY
CUT:	CY
IMPORT:	CY
EXPORT:	CY

CITY OF CAMPBELL
PUBLIC WORKS DEPARTMENT CLEARANCE

DATE _____

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA CODES AND THE CURRENT REGULATIONS. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE BUILDING DEPARTMENT AND THE COUNTY OF SAN JOSE. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE BUILDING DEPARTMENT AND THE COUNTY OF SAN JOSE. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE BUILDING DEPARTMENT AND THE COUNTY OF SAN JOSE.

BY _____ DATE _____

INDEX OF DRAWINGS

TITLE	SHEET
TITLE SHEET	1
TOPOGRAPHIC SURVEY AND DEMOLITION PLAN	2
GRADING AND DRAINAGE PLAN	3
COMPOSITE UTILITY PLAN	4
STORM WATER MANAGEMENT PLAN	5
DETAILS	6
EROSION CONTROL PLAN	7
BLUE PRINT FOR A CLEAN BAY	8

LEGEND

EXISTING	PROPOSED
SIDEWALK CURB AND GUTTER	
CENTER LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
DRIVEWAY	
PCC OR AC REMOVAL	
STANDARD CITY MONUMENT	
BENCH MARK	
MANHOLE	
STORM DRAIN INLET	
WATER METER	
VALVE	
FIRE HYDRANT	
STREET LIGHT	
POWER POLE	
PULL BOX	
CABLE TELEVISION LINE	
ELECTRICAL LINE	
IRRIGATION LINE	
NATURAL GAS LINE	
OVERHEAD LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
TELEPHONE LINE	
WATER LINE	
TRAFFIC SIGNAL CONDUIT	
LIGHTING CONDUIT	
ROADSIDE SIGN & SIGN CODE	
FENCE	
TREE/SHRUB	

BENCHMARK

ELEVATION: REFERENCED TOPOGRAPHIC MAP
LOCATION: PROVIDED BY ALVAREZ & ASSOCIATES (608) 272-7529, SHEET 3 OF XX
DESCRIPTION:

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 0501 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOW FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOW FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT BELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

SIGNATURE _____ P.E.

PRINT: ARMEN SHAMALIAN

FIRM: A.S. ASSOCIATES INC.

ADDRESS: 142 DILLON AVE. BLDG D, CAMPBELL, CA 95008

TELEPHONE: (408) 666-9933

DATE: 2016.04.03
DRAWN BY: MUE
DESIGNED BY: AHS

A.S. Associates
ENGINEERS & PLANNERS
142 DILLON AVENUE, BLDG D
CAMPBELL, CALIFORNIA 95008
(408) 666-9933

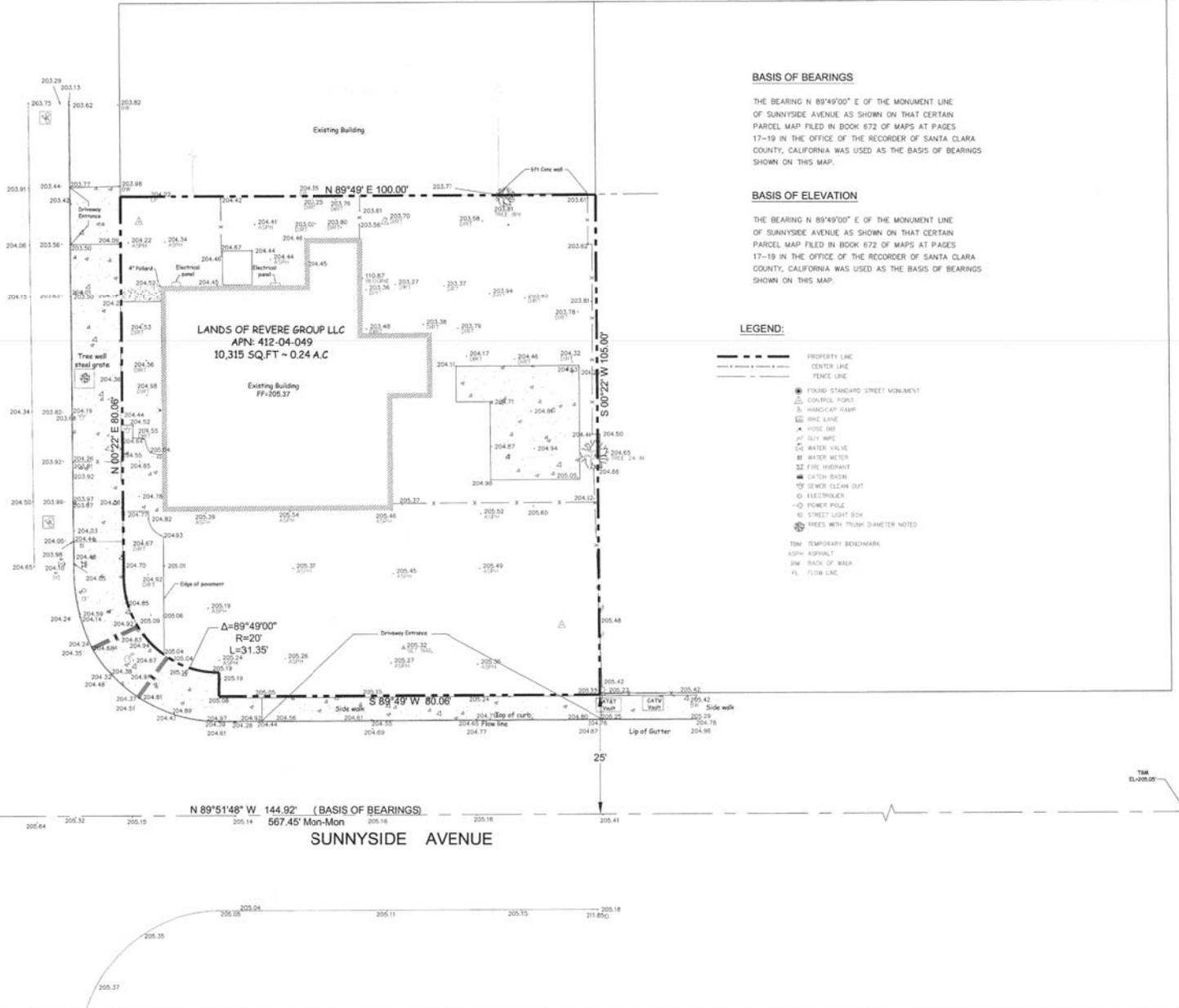
TITLE SHEET
COMMERCIAL LOT
REVEAL GROUP LLC
2220 WINCHESER BLVD
CAMPBELL, CA 95008

PROJECT: 016004
SHEET: T-0

SCALE: N.T.S.
SHEET: 3

SCALE 1 INCH = 10 FEET

WINCHESTER BLVD
N 00°22' E 80.06'



BASIS OF BEARINGS

THE BEARING N 89°49'00" E OF THE MONUMENT LINE OF SUNNYSIDE AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 672 OF MAPS AT PAGES 17-19 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, CALIFORNIA WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION

THE BEARING N 89°49'00" E OF THE MONUMENT LINE OF SUNNYSIDE AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 672 OF MAPS AT PAGES 17-19 IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, CALIFORNIA WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

LEGEND:

- PROPERTY LINE
- - - CENTER LINE
- - - FENCE LINE
- FOUND STANDARD STREET MONUMENT
- △ CONTROL POINT
- ♿ HINDCAP RAMP
- SINE LINE
- ▲ HOSE END
- ▽ GUY WIRE
- WATER VALVE
- ⊕ WATER METER
- ⊞ FIRE HYDRANT
- CATCH BASIN
- ⊙ SEWER CLEAN OUT
- ELECTRICAL
- ⊕ POWER POLE
- ⊕ STREET LIGHT BOX
- ⊕ TREES WITH TRUNK DIAMETER NOTED
- TM TEMPORARY BENCHMARK
- ASPH ASPHALT
- BBW BACK OF BACK
- FL FLOW LINE

REVISIONS	BY

ALVAREZ & ASSOCIATES
 828 CAPITOL AVE.
 SAN JOSE, CA 95127
 (408) 272-7529

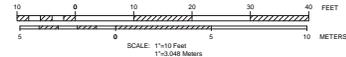
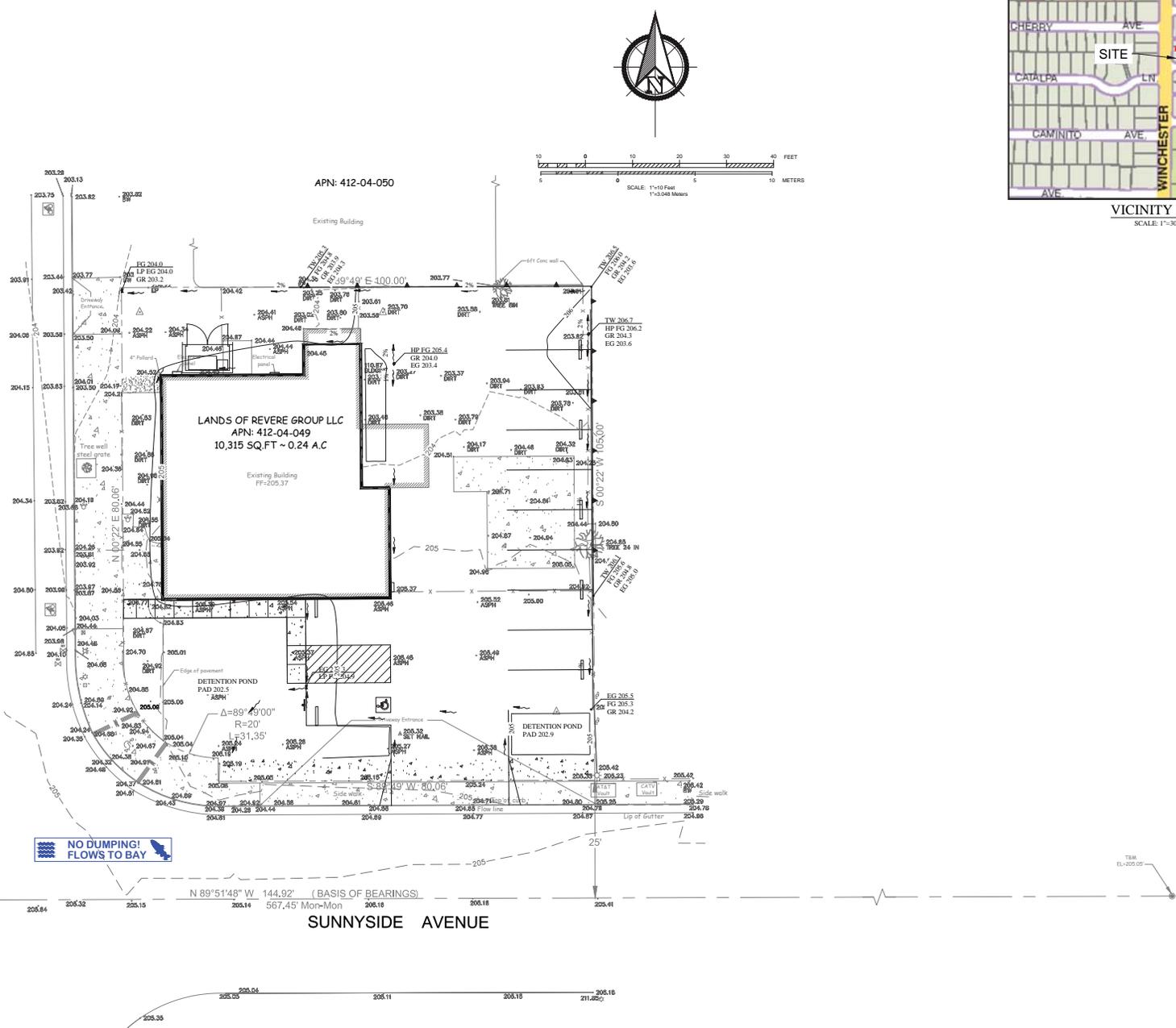
TOPOGRAPHIC SURVEY
 2220 WINCHESTER BLVD
 CAMPBELL, CA



DECEMBER 07, 2015
 JOB # = 15-148
 MAP SCALE 1"=10'
 DRAWN BY = TP
 FIELD SURVEY BY = HA
 APN = 412-04-049

MapInfo, Inc. May 07, 2015 1:10 PM C:\Users\jcs21\Documents\Projects\016004\016004.dwg

WINCHESTER BLVD
WINCHESTER BLVD

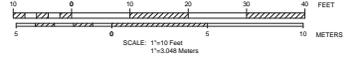
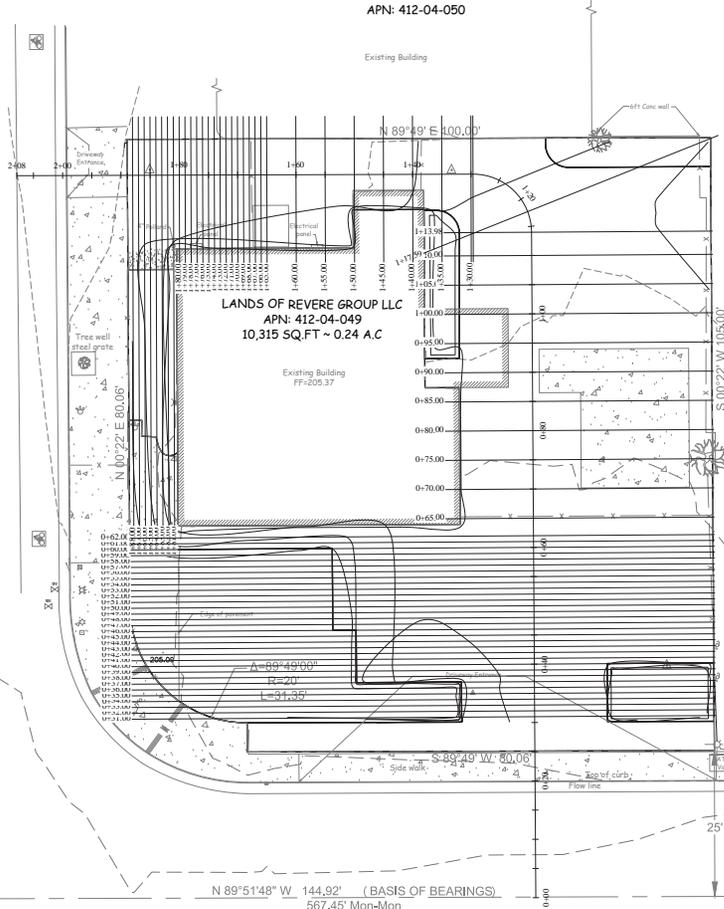


No.	Revision	Date	By	Check
Date: 2016-03-03 Drawn By: MJE Designed By: AHS				
GRADING PLAN COMMERCIAL LOT REVERE GROUP LLC 1332 WINCHESTER BLVD CAMPBELL, CA 95008				
PROJECT: 016004C SHEET: C-0				
SCALE: 1"=10' SHEET: 5				

MapInfo, Inc. May 07, 2015 1:52 PM C:\Users\jcs31\Desktop\Drawings\Drawings\412-04-049\412-04-049.dwg

WINCHESTER BLVD
N 00°22' E 80.06'

N 00°22' E 80.06'



N 89°51'48" W 144.92' (BASIS OF BEARINGS)
567.45' Mon-Mon
SUNNYSIDE AVENUE



CROSS SECTION A-A
COMMERCIAL LOT
REVERE GROUP LLC
2323 WINCHESTER BLVD
CAMPBELL, CA 95008



Date: 2016.05.03
Drawn By: MJE
Designed By: AJS

No.	Revision	Date	By	Check

PROJECT: 016004C
SHEET: X-0



SCALE: 1"=10'
SHEET: 8

APN: 412-04-050
EXISTING BUILDING
N 09'49" E 100.00'

APN: 412-04-049
EXISTING BUILDING
FF+209.31
2231 SF.

WINCHESTER BLVD

PERVIOUS
PAVERS

PERVIOUS
PAVERS

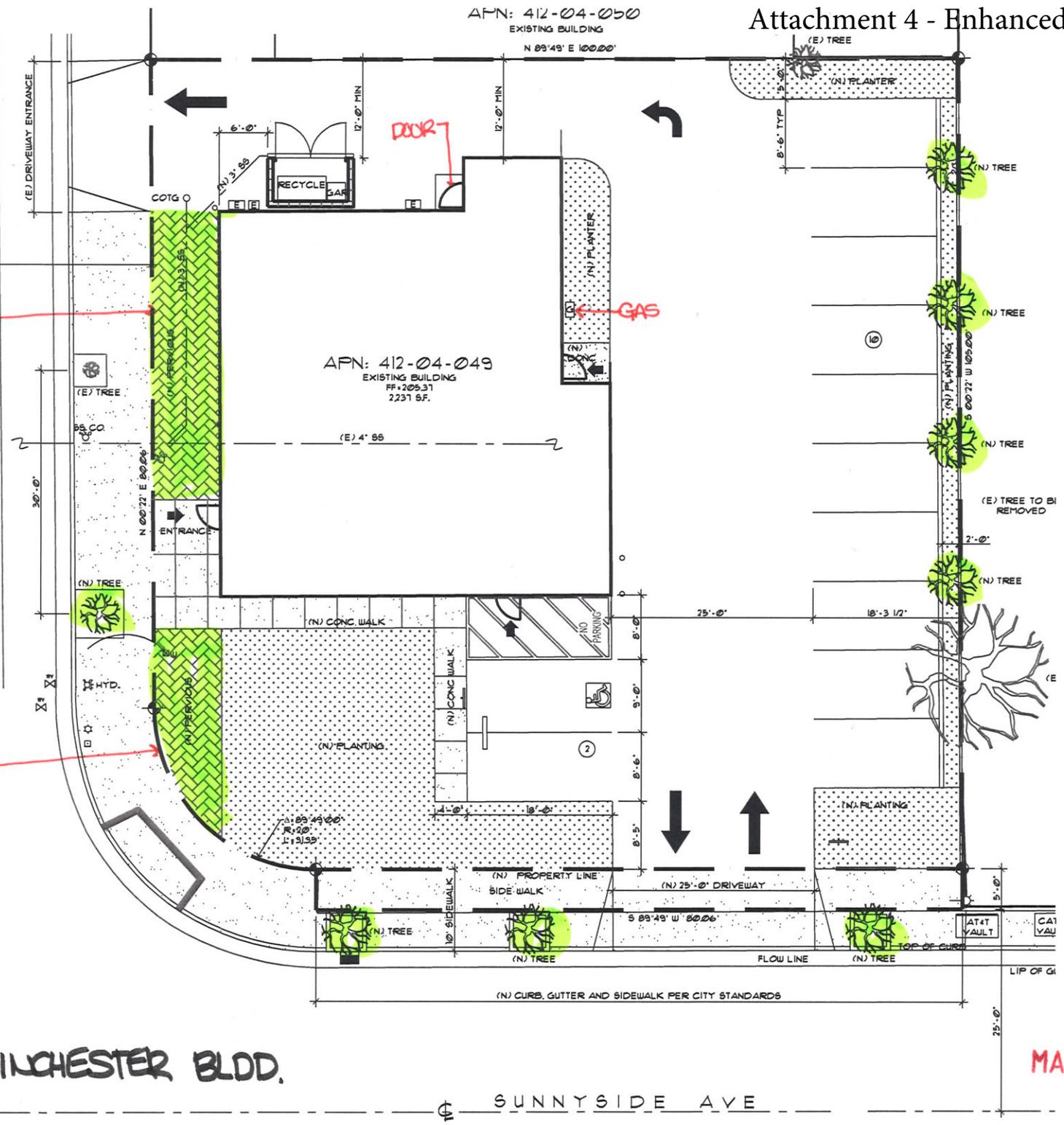
DOOR 7

GAS

2220 WINCHESTER BLDD.

MAY 10 2016

SUNNYSIDE AVE



Reconstructed Fencing & Removed Tree

