

**PLANNING COMMISSION**  
City of Campbell, California

7:30 P.M.  
City Hall Council Chambers

May 24, 2016  
Tuesday

## **AGENDA**

### **ROLL CALL**

### **APPROVAL OF THE MINUTES**    May 10, 2016

### **COMMUNICATIONS**

### **AGENDA MODIFICATIONS OR POSTPONEMENTS**

### **ORAL REQUESTS**

This is the point on the agenda where members of the public may address the Commission on items of concern to the Community that are not listed on the agenda this evening. People may speak up to 5 minutes on any matter concerning the Commission.

### **PUBLIC HEARINGS**

- 1.    PLN2016-88**                      Public Hearing to consider the application of Leopold Vandeneynde for a Site and Architectural Review Permit (PLN2016-88) to allow a 77 square foot addition to an existing single-family residence on property located at **879 Sweetbriar Drive**. Staff is recommending that the project be deemed exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. *Project Planner: Naz Pouya, Staff Planner*
  
- 2.    PLN2016-46**                      Continued Public Hearing to consider the application of Velimir Sulic for a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision on property owned by Shahin Jahanbani located at **44 El Caminito Avenue** in the R-1-6 (Single-Family Residential) Zoning District. Staff is recommending that this project be deemed Categorically Exempt under CEQA. Planning Commission decision final unless appealed in writing to the City Clerk within 10 calendar days. *Project Planner: Stephen Rose, Associate Planner*

3. **PLN2016-115** Public Hearing to consider the City-Initiated Revocation (PLN2016-115) of a previously modified Site Approval (S 69-07) on property located at **665 E. McGlincy Lane** due to a lack of compliance with conditions of approval. Staff is recommending that the project be deemed exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. *Project Planner: Stephen Rose, Associate Planner*
  
4. **CIP2017-2021** Public Hearing to consider the **City of Campbell's 2017-2021 Capital Improvement Plan** for citywide projects for consistency with the City's General Plan. Staff is recommending that the project be deemed exempt under CEQA. Tentative City Council Meeting Date: June 7, 2016. *Project Planner: Cindy McCormick, Senior Planner*

### **REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR**

#### **ADJOURNMENT**

Adjourn to the next regularly scheduled Planning Commission meeting of **June 14, 2016**, at 7:30 p.m., in the City Hall Council Chambers, 70 North First Street, Campbell, California.

CITY OF CAMPBELL PLANNING COMMISSION  
MINUTES

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7:30 P.M.

TUESDAY

MAY 10, 2016  
CITY HALL COUNCIL CHAMBERS

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The Planning Commission meeting of May 10, 2016, was called to order at 7:30 p.m., in the Council Chambers, 70 North First Street, Campbell, California by Chair Dodd and the following proceedings were had, to wit:

**ROLL CALL**

Commissioners Present:	Chair:	Cynthia L. Dodd
	Commissioner:	Pamela Finch
	Commissioner:	Philip C. Reynolds, Jr.
	Commissioner:	Michael L. Rich
	Commissioner:	Donald C. Young
Commissioners Absent:	Vice Chair:	Yvonne Kendall
	Commissioner:	Ron Bonhagen
Staff Present:	Community Development Director:	Paul Kermoyan
	Senior Planner:	Cindy McCormick
	Associate Planner:	Daniel Fama
	Associate Planner:	Stephen Rose
	City Attorney:	William Seligmann
	Recording Secretary:	Corinne Shinn

**APPROVAL OF MINUTES**

**Motion: Upon motion by Commissioner Finch, seconded by Commissioner Reynolds, the Planning Commission minutes of the meeting of April 26, 2016, were approved as submitted. (3-0-2-2: Vice Chair Kendall and Commissioner Bonhagen were absent and Chair Dodd and Commissioner Young abstained)**

**COMMUNICATIONS**

Email from Marilyn Asplund, Shelley Ave, regarding Agenda Item 3 (180 Redding Road).

**AGENDA MODIFICATIONS OR POSTPONEMENTS**

None

**ORAL REQUESTS**

None

**CONSENT**

There were no consent items.

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**PUBLIC HEARINGS**

Chair Dodd read Agenda Item No. 1 into the record as follows:

1. **PLN2015-309** Public Hearing to consider the application of Arun Biessar for a Site and Architectural Review Permit (PLN2015-309) to allow the construction of a new (two-story) dwelling using portions of the original structure on property located at **881 Kenneth Avenue**. Staff is recommending that this project be deemed Categorically Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. *Project Planner: Daniel Fama*

Mr. Daniel Fama, Associate Planner, presented the staff report.

Chair Dodd asked if there were questions of staff. There were none

Commissioner Rich gave the Site and Architectural Review Committee report as follows:

- SARC reviewed this proposal on April 12<sup>th</sup> and was supportive with the revised plans.

Chair Dodd opened the Public Hearing for Agenda Item No. 1.

Chair Dodd closed the Public Hearing for Agenda Item No. 1.

Commissioner Finch said that she really likes this design. SARC did a nice job working with staff and the applicant. She is fully supportive of this request.

**Motion:** Upon motion of Commissioner Rich, seconded by Commissioner Finch, the Planning Commission adopted Resolution No. 4287 approving a Site and Architectural Review Permit (PLN2015-309) to allow the construction of a new (two-story) dwelling using portions of the original structure on property located at 881 Kenneth Avenue., subject to the conditions of approval, by the following roll call vote:

**AYES:** Dodd, Finch, Reynolds, Rich and Young  
**NOES:** None  
**ABSENT:** Bonhagen and Kendall  
**ABSTAIN:** None

Chair Dodd advised that this action is final unless appealed in writing to the City Clerk within 10 calendar days.

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Chair Dodd read Agenda Item No. 2 into the record as follows:

2. **PLN2015-268** Public Hearing to consider the application of Terry Pries for a Site and Architectural Review Permit (PLN2015-268) to allow the construction of a new single-family residence on property located at **773 Union Avenue**. Staff is recommending that this project be deemed Categorical Exempt under CEQA. Planning Commission action final unless appealed in writing to the City Clerk within 10 calendar days. *Project Planner: Cindy McCormick*

Ms. Cindy McCormick, Senior Planner, presented the staff report.

Chair Dodd asked if there were questions of staff. There were none.

Commissioner Rich provided the Site and Architectural Review Committee report as follows:

- SARC reviewed this project on April 26<sup>th</sup> and was supportive as presented.

Chair Dodd opened the Public Hearing for Agenda Item No. 2.

Chair Dodd closed the Public Hearing for Agenda Item No. 2.

Commissioner Reynolds said that this home is a beautiful addition to this neighborhood and the size of this lot can justify a home of this size.

**Motion:** Upon motion of Commissioner Rich, seconded by Commissioner Reynolds, the Planning Commission adopted Resolution No. 4288 approving a Site and Architectural Review Permit (PLN2015-268) to allow the construction of a new single-family residence on

**property located at 773 Union Avenue., subject to the conditions of approval, by the following roll call vote:**

**AYES: Dodd, Finch, Reynolds, Rich and Young**  
**NOES: None**  
**ABSENT: Bonhagen and Kendall**  
**ABSTAIN: None**

Chair Dodd advised that this action is final unless appealed in writing to the City Clerk within 10 calendar days.

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Chair Dodd read Agenda Item No. 3 into the record as follows:

- 3. **PLN2015-305** Public Hearing to consider the application of Mike Paydar for  
**PLN2015-306** Planned Development Permit (PLN2015-305) for the  
**PLN2015-307** approval of site configuration, architectural design and to  
**PLN2015-308** create lots which do not have frontage on a public street,  
**PLN2015-310** Tentative Subdivision Map (PLN2015-306) to create five  
**PLN2016-068** single family lots and one commonly owned lot, Zoning Map  
Amendment (PLN2015-307) to change the zoning from R-M  
(Multiple-Family Residential) to P-D (Planned Development),  
Parking Modification Permit (PLN2016-68) to allow  
uncovered parking in lieu of covered, and Tree Removal  
Permit (PLN2015-310) to allow the removal of protected  
trees on property located at **180 Redding Road**. Staff is  
recommending that a Mitigated Negative Declaration be  
adopted for this project. Tentative City Council Meeting  
Date: June 7, 2016. Project Planner: *Stephen Rose,*  
*Associate Planner*

Mr. Stephen Rose, Associate Planner, presented the staff report.

Chair Dodd asked if there were questions of staff.

Commissioner Finch asked about how parking would be prohibited in the fire turnaround area. Will it be painted? Will it be self-policed?

Planner Stephen Rose said that this project will have CC&R's that will prohibit any parking in the pavers area that serves as the fire turnaround.

Commissioner Reynolds asked about the reference on page 193 to the possibility of toxic contamination on an adjacent property and whether similar contamination is possible on this site as well.

Planner Stephen Rose explained that the Phase 1 environmental review includes the provision of a geotechnical report. A soils report is not required on a project of this size.

Chair Dodd thanked Planner Stephen Rose for his work with this applicant to get the project to this point.

Chair Dodd opened the Public Hearing for Agenda Item No. 3.

Liehting Tung, Resident on Shelley Ave:

- Asked that the best efforts be given to preserving a fairly large tree (Tree #12), which helps provide privacy screening.

Yong-Dian Jian, Resident on Shelley Ave:

- Stated that he is happy that additional trees will be retained.
- Questioned how the trees on adjacent properties whose canopies are inter-twined with trees to be removed will be dealt with.
- Asked that care be taken to protect the adjacent trees so they are not harmed.

Chair Dodd closed the Public Hearing for Agenda Item No. 3.

Commissioner Finch asked staff to verify that Tree #12 would be retained.

Planner Stephen Rose:

- Explained that with a friendly amendment to the motion, the developer is willing to do so.
- Said that additional amending language would require that care be taken when removing trees to respect neighboring property trees with inter-twined branches to those trees being removed so the neighboring trees are not damaged.

Commissioner Young:

- Reported that he had found the original footprint to be large.
- Added that the changes since made have solved the problem and this project fits better.
- Said that retention of Tree #12 would not interfere with this project.
- Stated that the applicant has done a good job taking the suggestions from the Planning Commission into account.
- Advised that he would be supportive of this request.

Chair Dodd expressed appreciation to the applicant for his work with City staff and giving consideration to the requests of his project site's neighbors.

**Motion:**            **Upon motion of Commissioner Finch, seconded by Commissioner Reynolds, the Planning Commission took the following actions:**

- **Adopted Resolution No. 4289 recommending that the City Council adopt a Mitigated Negative Declaration (PLN2015-308);**
- **Adopted Resolution No. 4290 recommending that the City Council approve a Zoning Map Amendment (PLN2015-307) to**

change the zoning district designation from R-M (Multiple-Family Residential) to P-D (Planned Development);

- Adopted Resolution No. 4291 recommending that the City Council approve a Tentative Subdivision Map (PLN2015-306) to create five single-family lots and one commonly owned lot, subject to the attached Conditions of Approval;
- Adopted Resolution No. 4292 recommending that the City Council approve a Planned Development Permit (PLN2015-305) for site configuration resulting in the development of five units, architectural design and creation of lots which do not have frontage on a public street;
- Adopted Resolution No. 4293 recommending that the City Council approve a Parking Modification Permit (PLN2016-68) to allow uncovered parking in lieu of covered parking; and
- Adopted Resolution No. 4294 recommending that the City Council approve a Tree Removal Permit (PLN2015-310) to allow for the removal of protected trees on property located at 180 Redding Road,

by the following roll call vote:

**AYES:** Dodd, Finch, Reynolds, Rich and Young  
**NOES:** None  
**ABSENT:** Bonhagen and Kendall  
**ABSTAIN:** None

Chair Dodd advised that this item would be forwarded on to the City Council for final consideration at its meeting on June 7, 2016.

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**REPORT OF THE COMMUNITY DEVELOPMENT DIRECTOR**

Director Paul Kermoyan added the following information to his written report:

- Advised that he forwarded an email to the members of the Commission earlier today with a link to the City’s website to direct them to the webcast of the meeting at which an application for 44 El Caminito was heard.
- Explained that that item (44 El Caminito) will come back before the Commission on May 24<sup>th</sup>.
- Said that in order for those members who were not at the first hearing, they are being asked to get up to speed on what occurred by reading the staff report and watching the meeting discussion.
- Added that a new staff report will be provided.
- Asked the Commissioners to be prepared to clearly articulate why this proposal either “meets” or “does not meet” the provisions of the City’s General Plan.

**ADJOURNMENT**

The Planning Commission meeting adjourned at 8:05 p.m. to the next Regular Planning Commission Meeting of **May 24, 2016**.

SUBMITTED BY: \_\_\_\_\_  
Corinne Shinn, Recording Secretary

APPROVED BY: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

## RESOLUTION NO. 4287

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A SITE AND ARCHITECTURAL REVIEW PERMIT (PLN2015-309) TO ALLOW THE CONSTRUCTION OF A NEW (TWO-STORY) DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE ON PROPERTY LOCATED AT **881 KENNETH AVENUE**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN2015-309:

1. The project site is zoned R-1-10 (Single Family Residential) on the City of Campbell Zoning Map.
2. The project site is designated Low Density Residential (3.5 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The project site is located at the Kenneth Avenue, south of Waldo Road, within the San Tomas Area, subject to the San Tomas Area Neighborhood Plan.
4. The proposed project consists of the construction of a new 3,681 square-foot two-story dwelling, using portions of the original structure, as defined by Campbell Municipal Code. Sec. 18.32.
5. The proposed project will result in a building coverage of 22% and a Floor Area Ratio (FAR) of .34, where a maximum 35% building coverage and .45 floor area ratio are allowed in the R-1-8 Zoning District.
6. Pursuant to the San Tomas Area Neighborhood Plan (STANP), construction of a single-family home on an "undeveloped lot" within the R-1-10 Zoning District requires approval of a Site and Architectural Permit review by the Planning Commission.
7. The proposed project will provide two covered spaces in the new attached garage, satisfying the applicable parking requirement.
8. The proposed project incorporates representative architectural features of homes in the San Tomas Neighborhood including simple rectangular shaped forms and gabled roofs.

Based upon the foregoing findings of fact and pursuant to CMC Section 21.42.020, the Planning Commission further finds and concludes that:

1. The project will be consistent with the General Plan;
2. The project will aid in the harmonious development of the immediate area; and
3. The project is consistent with applicable adopted design guidelines.

4. The project is Categorically Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to the construction of single-family dwellings.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Site and Architectural Review Permit (PLN2015-309) to allow the construction of a new (two-story) dwelling using portions of the original structure on property located at **881 Kenneth Avenue**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL**  
**Site and Architectural Review Permit (PLN2015-309)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Site and Architectural Review Permit (PLN2015-309) to allow the construction of a new two-story single-family dwelling using portions of the original structure on property located at **881 Kenneth Avenue**. The project shall substantially conform to the revised project plans as received by the Planning Division on April 29, 2016, respectively, except as may be modified by the Conditions of Approval herein.
2. Permit Expiration: The Site and Architectural Review Permit approval shall be valid for one year from the date of final approval (expiring May 20, 2017). Within this one-year period, an application for a building permit must be submitted. Failure to meet this deadline or expiration of an issued building permit will result in the Site and Architectural Review Permit being rendered void.
3. Planning Final Required: Planning Division clearance is required prior to final Building Permit clearance. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.
4. On-Site Lighting: On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director prior to installation of the lighting for compliance with all applicable Conditions of Approval, ordinances, laws and regulations. Lighting fixtures shall be of a decorative design to be compatible with the residential development and shall incorporate energy saving features.
5. Landscaping Plan: The construction drawings for a building permit shall include a landscaping plan prepared by a licensed landscape architect, including irrigation details and associated calculations, in compliance with Campbell Municipal Code Section 21.26.030 and with Chapter 2.7, Division 2, of Title 23 of the California Code of Regulations.

6. Fences/Walls: Any newly proposed fencing and/or walls shall comply with Campbell Municipal Code Section 21.18.060 and shall be submitted for review and approval by the Community Development Department.
7. Contractor Contact Information Posting: The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
8. Construction Activities: The applicant shall abide by the following requirements during construction:
  - a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
  - b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
  - c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
  - d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
  - e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
  - f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.

### **Building Division**

9. Permits Required: A building permit application shall be required for the proposed new residential dwelling structure. The building permit shall include Electrical/ Plumbing Mechanical fees when such work is part of the permit.
10. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be “wet stamped” and signed by the qualifying professional person.
11. Construction Plans: The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
12. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.
13. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as

appropriate. Site plan shall also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as “natural grade” and intended for use to determine the height of the proposed structure.

14. Title 24 Energy Compliance: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. 8½ X 11 calculations shall be submitted as well.
15. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
16. The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24” X 36”) is available at the Building Division service counter.
17. Approvals Required: The project requires the following agency approval prior to issuance of the building permit:
  - West Valley Sanitation District (378-2407)
  - Santa Clara County Fire Department (378-4010)
  - Bay Area Air Quality Management District (Demolitions Only)
  - San Jose Water Company (279-7900)
  - School District:
    - Campbell Union School District (378-3405)
    - Campbell Union High School District (371-0960)
    - Moreland School District (379-1370)
    - Cambrian School District (377-2103)

**Note:** To determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.

18. P.G.& E.: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.
19. California Green Building Code: This project is subject to the mandatory requirements for new residential structures under the California Green Building Code, 2010 edition.
20. Construction Fencing: This project shall be properly enclosed with construction fencing to prevent unauthorized access to the site during construction. The construction site shall be secured to prevent vandalism and/or theft during hours when no work is being done. All protected trees shall be fenced to prevent damage to root systems.

21. Build It Green: Applicant shall complete and submit a “Build it Green” inventory of the proposed new single family project prior to issuance of building permit.
22. Fire Protection System: This project requires an Automatic Fire Sprinkler System in compliance with Section 903.2.8 California Building Code 2010 ed.
23. Storm Water Requirements: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.

## **PUBLIC WORKS DEPARTMENT**

24. Water Meter: The project has an existing water meter installed in the public right-of-way. If the water service is required to be upsized as part of the project (i.e. due to fire sprinklers), then the new water meter shall be installed on private property behind the public right-of-way line. If the existing water service is not required to be upgraded, then the Property Owner can avoid the cost of relocating the water meter by executing a Private Improvements Agreement as listed in the following condition.
25. Private Improvements Agreement: Prior to issuance of any grading or building permits for the project, the owner shall execute an “Agreement for Private Improvements in the Public Right of Way”. This agreement would be required to allow the existing water meter located in the public right of way along the frontage of this property to remain.
26. Water Meter(s) and Sewer Cleanout(s): If installing new water meter and/or sewer cleanout then it shall be installed on private property behind the public right-of-way line.
27. Utility Coordination Plan: Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
28. Pavement Restoration: Based on the utility coordination plan, the applicant shall prepare a pavement restoration plan for approval by the City Engineer prior to any utility installation or abandonment. The pavement restoration plan shall indicate how the street pavement shall be restored following the installation or abandonment of all utilities necessary for the project.
29. Utility Encroachment Permits: Separate City encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.

## **FIRE DEPARTMENT**

30. Formal Plan Review: Review of this development proposal is limited to accessibility of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Division all applicable construction permits.
31. Fire Sprinklers Required: An Automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. **Exception**: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. **NOTE**: Covered porches, patios, balconies, and attic spaces may require fire sprinkler coverage. **NOTE**: The owner(s), occupant(s), and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the this department for review and approval prior to beginning their work. R313.2 as adopted and amended by CBLMC.
32. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an applicant capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2007 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
33. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 14 and our Standard Detail and Specification SI-7.
34. Premises Identification: Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background. CFC Sec. 505.

## **RESOLUTION NO. 4288**

**BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A SITE AND ARCHITECTURAL REVIEW PERMIT (PLN2015-268) TO ALLOW THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE ON PROPERTY LOCATED AT 773 UNION AVENUE.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to file number PLN2015-268:

1. The project site is zoned R-1-8 (Single Family Residential) on the City of Campbell Zoning Map.
2. The project site is designated Low Density Residential (4.5 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The proposed project will be compatible with the R-1-8 (Single Family Residential) Zone District with approval of a Site and Architectural Review Permit.
4. The project site is located along Union Avenue.
5. The proposed home is similar in scale to the home immediately left of the subject property. The home will be located towards the front of the lot, thereby minimizing its impact on the smaller adjacent home which is situated towards the rear of the lot immediately right of the subject property. Given these circumstances, the proposed home should not have an adverse aesthetic impact upon existing adjoining properties and should complement the surrounding neighborhood.
6. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required Conditions of Approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact and pursuant to CMC Section 21.42.020, the Planning Commission further finds and concludes that:

1. The project will be consistent with the General Plan;
2. The project will aid in the harmonious development of the immediate area; and
3. Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to the construction of single-family dwellings.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Site and Architectural Review Permit (PLN2015-268) to allow the construction of a new single-family residence on property located at **773 Union Avenue**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL**  
**Site and Architectural Review Permit (PLN2015-268)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Site and Architectural Review Permit (PLN2016-041) to allow construction of a new two-story 3,586 square-foot residence and attached garage located at **773 Union Avenue**. The project shall substantially conform to the revised project plans stamped as received by the Planning Division on May 5, 2016, except as may be modified by the Conditions of Approval herein.
2. Permit Expiration: The Site and Architectural Review Permit approval shall be valid for one year from the date of final approval (expiring June 3, 2017). Within this one-year period, an application for a building permit must be submitted. Failure to meet this deadline will result in the Site and Architectural Review Permit being rendered void.
3. Planning Final Required: Planning Division clearance is required prior to Building Permit final. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.
4. On-Site Lighting: On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director prior to installation of the lighting for compliance with all applicable Conditions of Approval, ordinances, laws and regulations. Lighting fixtures shall be of a decorative design to be compatible with the residential development and shall incorporate energy saving features.
5. Landscaping Plan: The construction drawings submitted for a building permit shall include a front yard landscaping plan, including irrigation details and associated calculations, prepared in compliance with Campbell Municipal Code Chapter 21.26 (Landscaping Requirements) and with Chapter 2.7, Division 2, of Title 23 of the California Code of Regulations (Model Water Efficient Landscape Ordinance).
6. Construction Activities: The applicant shall abide by the following requirements during construction:

- a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.
- b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
- c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
- d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
- e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
- f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.

## **BUILDING DIVISION**

**Note:** No building code issue has been reviewed at Development Review Committee; it will be reviewed in the Building Permit process. Please be aware that building codes are changing constantly; plans submitted for building permit shall comply with the code in effect at that time. Submit permit application together with required documents to the Building Inspection Division to obtain a building permit. No construction can be commenced without an appropriate building permit. To the satisfaction of the building division manager/building official:

7. **PERMITS REQUIRED:** A building permit application shall be required for the proposed new dwelling structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
8. **PLAN PREPARATION:** This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be “wet stamped” and signed by the qualifying professional person.
9. **CONSTRUCTION PLANS:** The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
10. **SIZE OF PLANS:** The minimum size of construction plans submitted for building permits shall be 24 in. x 36 in.
11. **SOILS REPORT:** Two copies of a current soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations

shall be submitted with the building permit application. This report shall be prepared by a licensed engineer specializing in soils mechanics.

12. **SITE PLAN:** Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as “natural grade” and intended for use to determine the height of the proposed structure.
13. **FOUNDATION INSPECTIONS:** A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
  - a. pad elevation
  - b. finish floor elevation (first floor)
  - c. foundation corner locations
14. **SPECIAL INSPECTIONS:** When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
15. The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24” X 36”) is available at the Building Division service counter.
16. **APPROVALS REQUIRED:** The project requires the following agency approval or consultation prior to issuance of the building permit:
  - a. West Valley Sanitation District (378-2407)
  - b. Santa Clara County Fire Department (378-4010)
  - c. San Jose Water Company (408) 279-7900 (Customer Service)
  - d. School District:
    - i. Campbell Union School District (378-3405)
    - ii. Campbell Union High School District (371-0960)
    - iii. Moreland School District (379-1370)
    - iv. Cambrian School District (377-2103)
17. **P.G.& E.:** Applicant is advised that Secondary Dwelling Units on Residential lots are not able to have separate electrical and gas service. Gas and Electric service must be provided from the services associated with the main residential structure.

18. CALIFORNIA GREEN BUILDING CODE: This project is subject to the mandatory requirements for new residential structures (Chapter 4) under the California Green Building Code, 2013 edition.
19. CONSTRUCTION FENCING: This project shall be properly enclosed with construction fencing to prevent unauthorized access to the site during construction. The construction site shall be secured to prevent vandalism and/or theft during hours when no work is being done. All protected trees shall be fenced to prevent damage to root systems.
20. BUILD IT GREEN: Applicant shall complete and submit a “Build it Green” inventory of the proposed new single family project prior to issuance of building permit.
21. AUTOMATIC FIRE SPRINKLER SYSTEMS: This project shall comply with Section R313 of the California Residential building Code 2013 edition, and be equipped with a complying Fire Sprinkler system.
22. STORM WATER REQUIREMENTS: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.

## **PUBLIC WORKS DIVISION**

The scope of this project triggers the requirement for Frontage Improvements as required by Campbell Municipal Code 11.24.040. The existing driveway approaches are not ADA compliant, however an additional strip of sidewalk can be added behind the existing driveway approaches and existing sidewalk along the frontage to achieve ADA compliance and provide a wider sidewalk along this arterial street. The building permit will not be issued until all Public Works Conditions of Approval have been satisfied. These Conditions of Approval are a supplement to the Civil plans dated *December 10, 2015* prepared by TS/Civil Engineering, Inc.

23. Private Easements: Site plan to show storm drain and overland release easement to be created in support of subdivision at 739 Briarwood Way.
24. Sidewalk Easement: Prior to issuance of any building permits for the site, the applicant shall grant a sidewalk easement on private property contiguous with the public right-of-way along the Union Avenue frontage, unless otherwise approved by the City Engineer. The applicant shall cause all documents to be prepared by a registered civil engineer/land surveyor, as necessary, for the City’s review and recordation.
25. Storm Drain Area Fee: Prior to recordation of the Parcel Map, the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre.
26. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District

requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* (“CA BMP Handbook”) by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* (“Start at the Source”) by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* (“Using Site Design Techniques”) by BASMAA, 2003.

27. Utilities: All on-site utilities shall be installed underground per Section 21.18.140 of the Campbell Municipal Code for any new or remodeled buildings or additions. Applicant shall comply with all plan submittals, permitting, and fee requirements of the serving utility companies.
28. Water Meter(s) and Sewer Cleanout(s): Proposed water meter and sewer cleanout shall be installed on private property behind the public right-of-way line.
29. Utility Coordination Plan: Prior to recordation of the Parcel Map, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
30. Pavement Restoration: Based on the utility coordination plan, the applicant shall prepare a pavement restoration plan for approval by the City Engineer prior to any utility installation or abandonment. Streets that have been reconstructed or overlaid within the previous five years will require boring and jacking for all new utility installations. Union Avenue has not been reconstructed or overlaid in the last 5 years. The pavement restoration plan shall indicate how the street pavement shall be restored following the installation or abandonment of all utilities necessary for the project.
31. Street Improvement Agreements / Plans / Encroachment Permit / Fees / Deposits: Prior to recordation of the Parcel Map, the applicant shall execute a street improvement agreement, cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
  - a. Show location of all existing utilities within the new and existing public right of way.

- b. Installation of City approved sidewalk behind existing sidewalk and driveway approaches across entire frontage.
  - c. Installation of asphalt concrete overlay per street pavement restoration plan for utility installation and/or abandonment, as required by the City Engineer.
  - d. Installation of service laterals for water, sanitary and storm drain utilities.
  - e. Installation of traffic control, stripes and signs.
  - f. Construction of conforms to existing public and private improvements, as necessary.
  - g. Submit final plans in a digital format acceptable to the City.
32. Street Improvements Completed for Occupancy and Building Permit Final: Prior to occupancy, the applicant shall have the required street improvements and pavement restoration installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
33. Utility Encroachment Permit(s): Separate City encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility encroachment permits for sanitary sewer, gas, water, electric and all other utility work.
34. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.

## RESOLUTION NO. 4289

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING THE ADOPTION OF A MITIGATED NEGATIVE DECLARATION (PLN2015-308) FOR A ZONING MAP AMENDMENT (PLN2015-307); TENTATIVE SUBDIVISION MAP (PLN2015-306); PLANNED DEVELOPMENT PERMIT (PLN2015-305), PARKING MODIFICATION PERMIT (PLN2016-068); AND TREE REMOVAL PERMIT (PLN2015-310), TO ALLOW THE DEVELOPMENT OF FIVE UNITS ON PROPERTY LOCATED AT **180 REDDING ROAD**.

After notification and public hearing, as specified by law, and after presentation by the Community Development Director, proponents and opponents, the Planning Commission did determine that the adoption of a Mitigated Negative Declaration provides full and adequate environmental review for approval of a Zoning Map Amendment (PLN2015-307); Tentative Subdivision Map (PLN2015-306); Planned Development Permit (PLN2015-305); Parking Modification Permit (PLN2016-068); and Tree Removal Permit (PLN2015-310) to allow the development of five units on property located at **180 Redding Road**.

The Planning Commission finds as follows with regard to recommended adoption of a Mitigated Negative Declaration (PLN2015-308):

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create five residential lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-0307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) to allow uncovered parking in lieu of covered and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 sq. ft. gross) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The lot is currently developed with one single-family residence that will be demolished as part of the proposed subdivision.

4. Abutting land uses include a combination of two-unit and three-unit townhome rows to the north, two-unit townhome rows and single-family homes to the east, six-unit townhome rows to the south, and a single-family residence to the west.
5. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).
6. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.
7. The proposed residential land use, at a density of 12.6 units/gr. acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation.
8. The proposed Tentative Subdivision Map may be approved concurrently, and subject to a Planned Development Permit, and Zoning Map Amendment.
9. The project would be consistent with the following General Plan policies and strategies:
  - Policy LUT-3.1: Variety of Residential Densities: Provide land use categories for and maintenance of a variety of residential densities to offer existing and future residents of all income levels, age groups and special needs sufficient opportunities and choices for locating in Campbell.
  - Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.
  - Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.
  - Strategy LUT-17.1b: Landscaping: Ensure that new developments provide new tree plantings, shrubs, greenery and other landscaping materials, and preserve existing trees and shrubs.
10. The project proposes 15 parking spaces (10 covered, 5 uncovered), where 15 parking spaces (12.5 covered, 2.5 uncovered) are required which is allowed with the approval of the associated Parking Modification Permit (PLN2016-068) which allows for uncovered parking to be permitted in lieu of covered parking.

11. A draft Mitigation Monitoring and Reporting Program has been provided demonstrating the responsible party and phase of the project that each Mitigation Measure shall be carried out.
12. There are no responsible agencies or trustee agencies responsible for resources affected by the project.
13. On the basis of the Initial Study, and as supported by substantial evidence, the project will not have a significant effect on the environment due to the application of uniformly applicable development policies, and incorporation of project-specific mitigation measures agreed to by the project proponent, as specified by the draft Mitigated Negative Declaration.
14. The City of Campbell provided a Notice of Intent to adopt a Mitigated Negative Declaration to the public via the Campbell Express, the County Clerk, and on the City website.
15. The City of Campbell provided a 20-day public review period of the Mitigated Negative Declaration pursuant to the California Environmental Quality Act Guidelines. The 20-day public review period was from March 23, 2016 to August 12, 2016.
16. The mitigation measures identified in the Mitigated Negative Declaration are included as Conditions of Approval of the Planned Development Permit and/or Tentative Subdivision Map.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed development will clearly result in a more desirable environment and use of the land than would be possible under any other zoning district classification.
2. The proposed development will be compatible with the General Plan of the City and will aid in the harmonious development of the immediate area.
3. The proposed development will not result in allowing more residential units than would be allowed by other residential zoning districts, which are consistent with the General Plan designation of the property.
4. The proposed development will not be detrimental to the health, safety or welfare of the neighborhood or the City as a whole.
5. There is a reasonable relationship and a rough proportionality between the conditions of approval and the impacts of the project.
6. There is a reasonable relationship between the use of the fees imposed upon the project and the type of development project.

7. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.
8. The Mitigated Negative Declaration reflects the independent judgment and analysis of the City Council upon recommendation of the Planning Commission.
9. The Custodian of the Record for the Mitigated Negative Declaration and Initial Study is the Community Development Department of the City of Campbell, located at 70 North First Street, Campbell, California.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends the adoption of a Mitigated Negative Declaration (PLN2015-308) (attached Exhibit "A") for a Zoning Map Amendment (PLN2015-307); Tentative Subdivision Map (PLN2015-306); Planned Development Permit (PLN2015-305); Parking Modification Permit (PLN2016-068); and Tree Removal Permit (PLN2015-310) to allow the development of five units on property located at **180 Redding Road**.

PASSED AND ADOPTED this 10h day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary



## RESOLUTION NO. 4290

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING APPROVAL OF A ZONING MAP AMENDMENT (PLN2015-307) TO CHANGE THE ZONING DISTRICT DESIGNATION FROM R-M (MULTIPLE-FAMILY RESIDENTIAL) TO P-D (PLANNED DEVELOPMENT) FOR THE PROJECT LOCATED AT **180 REDDING ROAD**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Planned Development Permit (PLN2015-307):

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a proposal for a Tentative Subdivision Map to allow subdivision of the project site into five single-family residential parcels, ranging from approximately 1,197 to 1,685 square feet in area. The project also includes a common lot consisting of a single private street and driveway for the subdivision, which takes access the south side of Redding Road. Required land use entitlements for the project include a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-0307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) (to allow uncovered parking in lieu of covered) and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 gross sq. ft.) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).
4. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.

5. The project site is bordered by Planned Development Zoning to the north, east and south, and further to the west with the exception of the abutting property to the west which has not yet been redeveloped.
6. The proposed residential project, at a density of 12.6 Units/Gr. Acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation and would be allowed in the P-D (Planned Development) Zoning District with the approval of a Planned Development Permit.
7. The proposed Planned Development Permit may be approved concurrently, and subject to, a Tentative Subdivision Map, and Zoning Map Amendment.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

8. The proposed amendment is consistent with the goals, policies, and actions of the General Plan.
9. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the city.
10. The proposed amendment is internally consistent with other applicable provisions of this Zoning Code.
11. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designation(s) and anticipated land uses/project.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends approval of a Zoning Map Amendment (PLN2015-307) to change the zoning district designation from R-M (Multiple-Family Residential) to P-D (Planned Development) for the project proposed at **180 Redding Road**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL**  
**Zoning Map Amendment (PLN2015-307)**

The applicant is hereby notified, as part of this application, that he/she is required to meet the following conditions in accordance with the ordinances of the City of Campbell and the State of California. Where approval by the Community Development Director, City Engineer, Public Works Director, City Attorney, or Fire Department is required, that review shall be for compliance with all applicable Conditions of Approval, adopted policies and guidelines, ordinances, laws and regulations, and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified:

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Permit: Approval is granted for a Zoning Map Amendment (PLN2015-307) to allow the property located at **180 Redding Road** to be rezoned from R-M (Residential Multiple-Family) to P-D (Planned Development). This permit shall be valid only in conjunction with approval of Planned Development Permit (PLN2015-305) and Tentative Subdivision Map (PLN2015-306).
2. Approval Expiration: The Zoning Map Amendment approval is valid for a period of two years from the date of final City Council approval unless an extension is granted prior to the expiration date.
3. Indemnity: If determined necessary by the Community Development Director, the applicant shall enter into an agreement satisfactory to the City Attorney to indemnify and defend the City of Campbell, its officers, officials, employees, and agents from any and all actions, liabilities, losses, and torts, including attorney's fees arising out of or connected unto any challenge to the decision of the City Council on this application. Such agreement shall be executed within the 30 days of the Community Development Director's decision to require it.

## RESOLUTION NO. 4291

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING APPROVAL OF A TENTATIVE SUBDIVISION MAP (PLN2015-306) TO CREATE FIVE SINGLE-FAMILY LOTS AND ONE COMMONLY-OWNED LOT ON PROPERTY LOCATED AT **180 REDDING ROAD**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Tentative Subdivision Map (PLN2015-306):

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a proposal for a Tentative Subdivision Map to allow subdivision of the project site into five single-family residential parcels, ranging from approximately 1,197 to 1,685 square feet in area. The project also includes a common lot consisting of a single private street and driveway for the subdivision, which takes access the south side of Redding Road. Required land use entitlements for the project include a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-0307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) (to allow uncovered parking in lieu of covered) and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 gross sq. ft.) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).
4. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.
5. The proposed residential project, at a density of 12.6 Units/Gr. Acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation and would be allowed in the P-D

(Planned Development) Zoning District with the approval of a Planned Development Permit.

6. The proposed Planned Development Permit may be approved concurrently, and subject to, a Tentative Subdivision Map, and Zoning Map Amendment.
7. The proposed Tentative Subdivision Map (PLN2015-306) may be approved concurrently, and subject to a Planned Development Permit (PLN2015-305), Zoning Map Amendment (PLN2015-307), and Tree Removal Permit (PLN2015-310).
8. The proposed Tentative Subdivision Map will allow creation of privately held parcels for fee title ownership as well as a common parcel to be improved with a private roadway, guest parking spaces, fire truck access, and landscaping.
9. The Tentative Subdivision Map has been distributed to local agencies, including Pacific Gas and Electric, West Valley Sanitation District, Santa Clara Valley Transportation Authority and the Santa Clara Valley Water District. As of the writing of this staff report, none of these agencies raised any concerns about providing services to the proposed lots.
10. The provisions of the Covenants, Conditions and Restrictions are necessary to ensure the long-term property maintenance and continued architectural integrity of the project.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed Tentative Subdivision Map is consistent with the General Plan and Zoning Ordinance of the City.
2. The proposed Tentative Subdivision Map does not impair the balance between the housing needs of the region and the public service needs of its residents and available fiscal and environmental resources.
3. The design of the Tentative Subdivision Map provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
4. The development and uses will be compatible with the General Plan of the City and will aid in the harmonious development of the immediate area.
5. There is a reasonable relationship and a rough proportionality between the Conditions of Approval and the impacts of the project.
6. There is a reasonable relationship between the use of the fees imposed upon the project and the type of development project.

7. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required Conditions of Approval, will have a significant adverse impact on the environment.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends approval of a Tentative Parcel Map (PLN2015-36) for the Project located at **1685 Bucknall Road**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL**  
**Tentative Subdivision Map (PLN2015-306)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Tentative Subdivision Map (PLN2015-306) to subdivide a parcel into five developable parcels and one common lot, subject to approval of a Zoning Map Amendment (PLN2015-307) to allow a P-D zoning designation, on property located at **180 Redding Road**. The project shall substantially conform to the Tentative Subdivision Map dated March 30, 2016 except as may be modified by the Conditions of Approval herein.
2. Approval Expiration: The Tentative Subdivision Map approval is valid for a period of two years from the date of final City Council approval unless an extension is granted prior to the expiration date. Recordation of a Tract Map must occur within this two-year period.
3. Tract Map: The Planned Development Permit approval is contingent upon recordation of the Tract Map to divide the subject property. The Tract Map shall be recorded prior to the issuance of building or grading permits.
4. Indemnity: If determined necessary by the Community Development Director, the applicant shall enter into an agreement satisfactory to the City Attorney to indemnify and defend the City of Campbell, its officers, officials, employees, and agents from any and all actions, liabilities, losses, and torts, including attorney's fees arising out of or connected unto any challenge to the decision of the City Council on this application. Such agreement shall be executed within the 30 days of the Community Development Director's decision to require it.
5. Planned Development Permit: The Tentative Subdivision Map is contingent upon approval of the Planned Development Permit (PLN2015-305). A Tract Map may not be recorded if the Planned Development Permit expires or is revoked by the City Council.
6. Park Impact Fee: A park impact fee is due upon development of the site, based on the development density ranging from 6 < 13 Units per Gross Acre (Low/Medium Density), less credit for one legally constructed unit. Prior to recordation of the Tract Map, 75% of this fee is due. The remaining 25% is due prior to issuance of a certificate of building occupancy. The fee is currently set at \$10,185 per unit. This fee is subject to change and the fee in effect at the time of payment shall be the fee due.

7. Planning Mitigation Monitoring Fee: Prior to issuance of a demolition permit, the applicant shall pay a **\$1,000.00** deposit to cover the actual staff cost to ensure compliance with the mitigation monitoring.
8. Equal Access: As codified within the project's CC&Rs, the Home Owners Association shall maintain equal access to all common facilities and amenities for all residents (renters and homeowners) of the project.
9. CEQA Mitigation Measures:

The following measures shall be implemented pursuant to the Mitigated Negative Declaration:

*Mitigation Measure AIR-1*: The project applicant shall ensure that construction plans include the BAAQMD Best Management Practices for fugitive dust control. The following will be required for all construction activities within the project area. These measures will reduce fugitive dust emissions primarily during soil movement, grading and demolition activities, but also during vehicle and equipment movement on unpaved project sites:

- a. Use dust-proof chutes for loading construction debris onto trucks.
- b. Water or cover stockpiles of debris, soil, and other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
- d. Sweep daily (with water sweepers) all paved access roads, parking areas, and staging areas at the construction site.
- e. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets, as directed by the City Engineer.
- f. Enclose, cover, water twice daily or, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- g. Install erosion control measures to prevent runoff from the project site.

*Mitigation Measure CUL-1*: If archaeological or paleontological resources are encountered during excavation or construction, construction personnel shall be instructed to immediately suspend all activity in the immediate vicinity of the suspected resources and the City and a licensed archeologist or paleontologist shall be contacted to evaluate the situation. A licensed archeologist or paleontologist shall be retained to inspect the discovery and make any necessary recommendations to evaluate the find under current CEQA guidelines prior to the submittal of a resource mitigation plan and monitoring program to the City for review and approval prior to the continuation of any on-site construction activity.

*Mitigation Measure GEO-1*: The applicant shall comply with the recommendations in the Geotechnical Investigation, dated January 7, 2016 by Wayne L. Ting C.E. (No. C46276) of Wayne Ting & Associates Incorporated. Such recommendations shall be incorporated into the project's final engineering design to minimize the

damage from seismic shaking, unsuitable fill, and other geological deficiencies. The project shall use standard engineering techniques and conform to the requirements of the International Building Code to reduce the potential for seismic damage and risk to future occupants.

*Mitigation Measure HAZ-1:* Prior to issuance of a demolition permit, a qualified contractor shall assess the property for presence of Lead-based paint (LBP) and Asbestos containing building materials (ACBM), and if present, prepare a plan, to the satisfaction of the Building Official, to properly manage and dispose of such materials.

10. Utility Boxes and Back-Flow Preventers: The applicant shall submit a plan prior to installation of the underground PG&E utility (transformer) boxes and San Jose Water Company back-flow preventers, indicating the location of the boxes for approval by the Community Development Director.
11. Pad Certification: Following site grading and prior to preparation of individual building pad forms, the following improvements shall be certified by a licensed land surveyor and reviewed by the Community Development Director to determine consistency with the approved plan (grade, pad and drainage).
12. Residential Address Identification: The applicant shall submit a detail sheet showing uniform residential address identification material type and location on the building wall for review and approval by the Community Development prior to the issuance of Building Permits. In order to obtain approval, numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Additionally, number material and color is required to contrast with their background.
13. Property Maintenance: The property is to be maintained free of any combustible trash, debris, and weeds until the time that actual construction commences. Any vacant existing structures shall be secured, by having windows boarded up and doors sealed shut, or be demolished or removed from the property (California Fire Code, 2013 Edition).
14. Stormwater and Grading Requirements: The project shall comply with City stormwater and grading requirements (CMC Sec. 20.80.020, 21.16.100, and 14.02), as more specifically itemized in the Public Works Department Conditions of Approval for the Tentative Subdivision Map.
15. Construction Activity: The following standards shall apply to construction of the project:
  - *Construction Hours (CMC 18.04.052):* Construction activity shall be limited to the hours of eight a.m. and five p.m. daily, Monday through Friday. Saturday hours of construction shall be nine a.m. and four p.m. There shall be no construction activity on Sundays or National Holidays.

- *Construction Noise (CMC 18.04.052)*: No loud environmentally disruptive noise over fifty dbs., such as air compressors without mufflers, continuously running motors or generators, loud playing musical instruments or radios will be allowed during the authorized hours of construction, Monday through Saturday, where such noise may be a nuisance to adjacent residential neighbors. Such nuisances shall be discontinued.
- *Contractor Contact Information Posting*: The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to issuance of building permits.

## **PUBLIC WORKS DEPARTMENT**

16. Subdivision Map: Prior to issuance of any grading or building permits for the project, the applicant shall submit a Subdivision Map for recordation upon approval by the City, pay various fees/deposits and submit the map in a digital format acceptable to the City.
17. Vacation of Public Easement: Tract Map No. 179 which created this lot also created a 25 foot "Building Line" to enforce building setbacks when this property was still in the County. If it is the applicant's intent to take advantage of the less restrictive R-1-6 20 foot front setback, then the existing Building Line needs to be vacated / abandoned by City Council. Prior to issuance of any grading or building permits for the site, the applicant would need to fully complete the street vacation process, including approval by the City Council.
18. Monumentation for Subdivision Map: Prior to recordation of the Subdivision Map, the applicant shall provide a cash deposit (100% of the monument estimate) for setting all monuments shown on the map. Monuments shall be set per section 20.76.010 of the Campbell Municipal Code including but not limited to setting permanent pipe monuments (three-fourths inch galvanized steel pipe two feet long approximately six inches below finished grade) at each boundary of all lot corners within a subdivision, along the exterior boundary lines at intervals of approximately five hundred feet and at all beginning of curves and ending of curves on property lines, and monument boxes at intersections of all street monument line tangents.
19. Demolition: Prior to recordation of the Subdivision Map, the applicant shall obtain a demolition permit and remove any nonconforming structures.
20. Soils Report: Upon submittal of the Subdivision Map, applicant shall provide a soils report prepared by a registered geotechnical or civil engineer.
21. Grading and Drainage Plan: Prior to recordation of the Subdivision Map, the applicant shall conduct hydrology studies based on a ten-year storm frequency, prepare an engineered grading and drainage plan, and pay fees required to obtain necessary grading permits. Prior to occupancy, the design engineer shall provide written

certification that the development has been built per the engineered grading and drainage plans.

22. Storm Drain Area Fee: Prior to recordation of the Subdivision Map, the applicant shall pay the required Storm Drain Area fee, currently set at **\$2,120.00** per net acre, which is **\$721.00**.

23. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* ("Using Site Design Techniques") by BASMAA, 2003.

24. Tree Removals: To accommodate the required street improvements one street tree will be removed as part of this project. A new street tree will be installed to replace the tree removed.

25. Utilities: Utility locations shall not cause damage to any existing street trees. Where there are utility conflicts due to established tree roots or where a new tree will be installed, alternate locations for utilities shall be explored. Include utility trench details where necessary.

26. Water Meters and Sewer Cleanouts: Existing and proposed water meters and sewer cleanouts shall be relocated or installed on private property behind the public right-of-way line.

27. Utility Coordination Plan: Prior to recordation of the Subdivision Map, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.

28. Pavement Restoration: Based on the utility coordination plan, the applicant shall prepare a pavement restoration plan for approval by the City Engineer prior to any utility installation or abandonment. Streets that have been reconstructed or overlaid within the

previous five years will require boring and jacking for all new utility installations. El Caminito Avenue has not been reconstructed or overlaid in the last 5 years. The pavement restoration plan shall indicate how the street pavement shall be restored following the installation or abandonment of all utilities necessary for the project.

29. Street Improvement Agreements / Plans / Encroachment Permit / Fees / Deposits: Prior to recordation of the Subdivision Map, the applicant shall execute a street improvement agreement, cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
- a. Show location of all existing utilities within the new and existing public right of way.
  - b. Removal of existing driveway approach and necessary sidewalk, curb and gutter.
  - c. Installation of City approved street trees at 30 feet on center.
  - d. Installation of City standard curb, gutter, sidewalk and ADA compliant driveway approach. Installation of engineered structural pavement section to centerline, as required by the City Engineer.
  - e. Installation of asphalt concrete overlay per street pavement restoration plan for utility installation and/or abandonment, as required by the City Engineer.
  - f. Installation of service laterals for water, sanitary and storm drain utilities.
  - g. Installation of traffic control, stripes and signs.
  - h. Construction of conforms to existing public and private improvements, as necessary.
  - i. Submit final plans in a digital format acceptable to the City.
30. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy of the last unit, the applicant shall have the required street improvements and pavement restoration installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
31. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to: trees, lawn, plantings, irrigation, etc. Trees shall not be pruned in a manner that would not allow the tree to grow to a mature height.
32. Utility Encroachment Permit(s): Separate City encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility encroachment permits for sanitary sewer, gas, water, electric and all other utility work.

33. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.

## RESOLUTION NO. 4292

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING APPROVAL OF A PLANNED DEVELOPMENT PERMIT (PLN2015-305) FOR SITE CONFIGURATION RESULTING IN THE DEVELOPMENT OF FIVE UNITS, ARCHITECTURAL DESIGN, AND CREATION OF LOTS WHICH DO NOT HAVE FRONTAGE ON A PUBLIC STREET ON PROPERTY LOCATED AT **180 REDDING ROAD**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the recommended approval of a Planned Development Permit (PLN2015-305):

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create five residential lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) to allow uncovered parking in lieu of covered and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 sq. ft. gross) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The lot is currently developed with one single-family residence that will be demolished as part of the proposed subdivision.
4. Abutting land uses include a combination of two-unit and three-unit townhome rows to the north, two-unit townhome rows and single-family homes to the east, six-unit townhome rows to the south, and a single-family residence to the west.
5. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).
6. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.

7. The proposed residential land use, at a density of 12.6 units/gr. acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation.
8. The proposed Planned Development Permit may be approved concurrently, and subject to, a Tentative Subdivision Map, and Zoning Map Amendment.
9. The project would be consistent with the following General Plan policies and strategies:
  - Policy LUT-3.1: Variety of Residential Densities: Provide land use categories for and maintenance of a variety of residential densities to offer existing and future residents of all income levels, age groups and special needs sufficient opportunities and choices for locating in Campbell.
  - Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.
  - Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.
  - Strategy LUT-17.1b: Landscaping: Ensure that new developments provide new tree plantings, shrubs, greenery and other landscaping materials, and preserve existing trees and shrubs.
10. The project proposes 15 parking spaces (10 covered, 5 uncovered), where 15 parking spaces (12.5 covered, 2.5 uncovered) are required which is allowed with the approval of the associated Parking Modification Permit (PLN2016-068) which allows for uncovered parking to be permitted in lieu of covered parking.
11. A draft Mitigation Monitoring and Reporting Program has been provided demonstrating the responsible party and phase of the project that each Mitigation Measure shall be carried out.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed development will clearly result in a more desirable environment and use of the land than would be possible under any other zoning district classification.
2. The proposed development will be compatible with the General Plan of the City and will aid in the harmonious development of the immediate area.
3. The proposed development will not result in allowing more residential units than would be allowed by other residential zoning districts, which are consistent with the General Plan designation of the property.
4. The proposed development will not be detrimental to the health, safety or welfare of the neighborhood or the City as a whole.
5. There is a reasonable relationship and a rough proportionality between the Conditions of Approval and the impacts of the project.
6. There is a reasonable relationship between the use of the fees imposed upon the project and the type of development project.
7. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends approval of a Planned Development Permit (PLN2015-305) for the Project located at **180 Redding Road**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL  
Planned Development Permit (PLN2015-305)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Planned Development Permit (PLN2015-305) approving site configuration, architectural design, and the creation of five residential lots/units which do not have frontage on a public street, in conjunction with and subject to a Zoning Map Amendment (PLN2015-307) to allow a P-D zoning designation, Tentative Subdivision Map (PLN2015-306), Parking Modification Permit (PLN2016-068), and Tree Removal Permit (PLN2015-310) on property located at **180 Redding Road**. The project shall substantially conform to the Project Plans dated March 30, 2016 except as may be modified by the Conditions of Approval herein.
2. Planning Final Required: Planning Division clearance is required prior to Building Permit final.
3. Permit Expiration: The Planned Development Permit is valid for a period of two years from the date of final City Council approval. A building permit must be obtained within this two-year period or the Planned Development Permit shall be void.
4. Tract Map: The Planned Development Permit approval is contingent upon recordation of the Tract Map to divide the subject property. The Tract Map shall be recorded prior to the issuance of building or grading permits.
5. Indemnity: If determined necessary by the Community Development Director, the applicant shall enter into an agreement satisfactory to the City Attorney to indemnify and defend the City of Campbell, its officers, officials, employees, and agents from any and all actions, liabilities, losses, and torts, including attorney's fees arising out of or connected unto any challenge to the decision of the City Council on this application. Such agreement shall be executed within the 30 days of the Community Development Director's decision to require it.
6. Planned Development Permit: The Planned Development Permit (PLN2015-305) is contingent upon approval of the Tentative Subdivision Map (PLN2015-306). A Tract Map may not be recorded if the Planned Development Permit expires or is revoked by the City Council.

7. CEQA Mitigation Measures:

The following measures shall be implemented pursuant to the Mitigated Negative Declaration:

*Mitigation Measure AIR-1:* The project applicant shall ensure that construction plans include the BAAQMD Best Management Practices for fugitive dust control. The following will be required for all construction activities within the project area. These measures will reduce fugitive dust emissions primarily during soil movement, grading and demolition activities, but also during vehicle and equipment movement on unpaved project sites:

- a. Use dust-proof chutes for loading construction debris onto trucks.
- b. Water or cover stockpiles of debris, soil, and other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
- d. Sweep daily (with water sweepers) all paved access roads, parking areas, and staging areas at the construction site.
- e. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets, as directed by the City Engineer.
- f. Enclose, cover, water twice daily or, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- g. Install erosion control measures to prevent runoff from the project site.

*Mitigation Measure CUL-1:* If archaeological or paleontological resources are encountered during excavation or construction, construction personnel shall be instructed to immediately suspend all activity in the immediate vicinity of the suspected resources and the City and a licensed archeologist or paleontologist shall be contacted to evaluate the situation. A licensed archeologist or paleontologist shall be retained to inspect the discovery and make any necessary recommendations to evaluate the find under current CEQA guidelines prior to the submittal of a resource mitigation plan and monitoring program to the City for review and approval prior to the continuation of any on-site construction activity.

*Mitigation Measure GEO-1:* The applicant shall comply with the recommendations in the Geotechnical Investigation, dated January 7, 2016 by Wayne L. Ting C.E. (No. C46276) of Wayne Ting & Associates Incorporated. Such recommendations shall be incorporated into the project's final engineering design to minimize the damage from seismic shaking, unsuitable fill, and other geological deficiencies. The project shall use standard engineering techniques and conform to the requirements of the International Building Code to reduce the potential for seismic damage and risk to future occupants.

*Mitigation Measure HAZ-1:* Prior to issuance of a demolition permit, a qualified contractor shall assess the property for presence of Lead-based paint (LBP) and

Asbestos containing building materials (ACBM), and if present, prepare a plan, to the satisfaction of the Building Official, to properly manage and dispose of such materials.

8. Utility Boxes and Back-Flow Preventers: The applicant shall submit a plan prior to installation of the underground PG&E utility (transformer) boxes and San Jose Water Company back-flow preventers, indicating the location of the boxes for approval by the Community Development Director.
9. Pad Certification: Following site grading and prior to preparation of individual building pad forms, the following improvements shall be certified by a licensed land surveyor and reviewed by the Community Development Director to determine consistency with the approved plan (grade, pad and drainage).
10. Residential Address Identification: The applicant shall submit a detail sheet showing uniform residential address identification material type and location on the building wall for review and approval by the Community Development prior to the issuance of Building Permits. In order to obtain approval, numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Additionally, number material and color is required to contrast with their background.
11. Property Maintenance: The property is to be maintained free of any combustible trash, debris, and weeds until the time that actual construction commences. Any vacant existing structures shall be secured, by having windows boarded up and doors sealed shut, or be demolished or removed from the property (California Fire Code, 2013 Edition).
12. Stormwater and Grading Requirements: The project shall comply with City stormwater and grading requirements (CMC Sec. 20.80.020, 21.16.100, and 14.02), as more specifically itemized in the Public Works Department Conditions of Approval for the Tentative Subdivision Map.
13. Construction Activity: The following standards shall apply to construction of the project:
  - *Construction Hours (CMC 18.04.052)*: Construction activity shall be limited to the hours of eight a.m. and five p.m. daily, Monday through Friday. Saturday hours of construction shall be nine a.m. and four p.m. There shall be no construction activity on Sundays or National Holidays.
  - *Construction Noise (CMC 18.04.052)*: No loud environmentally disruptive noise over fifty dbs., such as air compressors without mufflers, continuously running motors or generators, loud playing musical instruments or radios will be allowed during the authorized hours of construction, Monday through Saturday, where such noise may be a nuisance to adjacent residential neighbors. Such nuisances shall be discontinued.

- *Contractor Contact Information Posting*: The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to issuance of building permits.

## **Building Division**

14. Permits Required: A building permit application shall be required for each proposed new dwelling structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
15. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be “wet stamped” and signed by the qualifying professional person.
16. Construction Plans: The Conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
17. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 inches by 36 inches.
18. Soils Report: Two copies of a current soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the building permit application. This report shall be prepared by a licensed engineer specializing in soils mechanics.
19. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as “natural grade” and those that are “finished grade” and intended for use to determine the height of the proposed structure.
20. Foundation Inspections: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
  - a. pad elevation
  - b. finish floor elevation (first floor)
  - c. foundation corner locations

21. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Appendix 1, Section 106. Please obtain City of Campbell Special Inspection forms from the Building Inspection Division Counter.
22. Non-Point Source Pollution Control: The City of Campbell standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
23. Approvals Required: The project requires the following agency approval prior to issuance of the building permit:
- d. West Valley Sanitation District (378-2407)
  - e. Santa Clara County Fire Department (378-4010)
  - f. San Jose Water Company (408) 279-7900 (Customer Service)
  - g. Bay Area Air Quality Management District (Demolitions Only)
  - h. School District:
    - i. Campbell Union School District (378-3405)
    - ii. Campbell Union High School District (371-0960)
    - iii. Moreland School District (379-1370)
    - iv. Cambrian School District (377-2103)
- Note: To determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.*
24. P.G. & E.: The applicant is advised to contact P.G. &E. as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. The applicant should also consult with P.G. & E. concerning utility easements, distribution pole locations and required conductor clearances.
25. California Green Building Code: This project is subject to the mandatory requirements for new residential structures (Chapter 4) under the California Green Building Code, 2013 edition.
26. Construction Fencing: This project shall be properly enclosed with construction fencing to prevent unauthorized access to the site during construction. The construction site shall be secured to prevent vandalism and/or theft during hours when no work is being done. All protected trees shall be fenced to prevent damage to root systems.
27. Build it Green: Applicant shall complete and submit a "Build it Green" inventory of the proposed new single family project prior to issuance of building permit.

28. Automatic Fire Sprinkler Systems: This project shall comply with Section R313 of the California Residential building Code 2013 edition, and be equipped with a complying Fire Sprinkler system.
29. Storm Water Requirements: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.
30. Title 24 Energy Compliance: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. 8½ X 11 calculations shall be submitted as well.

## RESOLUTION NO. 4293

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL RECOMMENDING APPROVAL OF A PARKING MODIFICATION PERMIT (PLN2016-68) TO ALLOW UNCOVERED PARKING IN LIEU OF COVERED ON PROPERTY LOCATED AT **180 REDDING ROAD**.

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to File No. PLN2016-68:

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create five residential lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) to allow uncovered parking in lieu of covered and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 sq. ft. gross) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The lot is currently developed with one single-family residence that will be demolished as part of the proposed subdivision.
4. Abutting land uses include a combination of two-unit and three-unit townhome rows to the north, two-unit townhome rows and single-family homes to the east, six-unit townhome rows to the south, and a single-family residence to the west.
5. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).

6. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.
7. The proposed residential land use, at a density of 12.6 units/gr. acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation.
8. The proposed Parking Modification Permit, may be approved concurrently, and subject to, a Tentative Subdivision Map, Planned Development Permit and Zoning Map Amendment.
9. The project would be consistent with the following General Plan policies and strategies:
  - Policy LUT-3.1: Variety of Residential Densities: Provide land use categories for and maintenance of a variety of residential densities to offer existing and future residents of all income levels, age groups and special needs sufficient opportunities and choices for locating in Campbell.
  - Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.
  - Strategy LUT-9.3e: Building Materials: Encourage the use of long-lasting, high quality building materials on all buildings to ensure the long-term quality of the built environment.
  - Strategy LUT-17.1b: Landscaping: Ensure that new developments provide new tree plantings, shrubs, greenery and other landscaping materials, and preserve existing trees and shrubs.
10. The project proposes 15 parking spaces (10 covered, 5 uncovered), where 15 parking spaces (12.5 covered, 2.5 uncovered) are required which is allowed with the approval of the associated Parking Modification Permit (PLN2016-068) which allows for uncovered parking to be permitted in lieu of covered parking.
11. The distribution of parking spaces by type (covered/uncovered) results in a more functional shared use of space for the five units and a more consistent single-family residential look and feel than would otherwise be achieved by a detached covered garage.

- 12. A draft Mitigation Monitoring and Reporting Program has been provided demonstrating the responsible party and phase of the project that each Mitigation Measure shall be carried out.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

- 1. Due to the unique nature and circumstances of the project, or special development features, the anticipated number (type) of parking spaces necessary to serve the use or structure is less than that required by the applicable off-street parking standards, and would be satisfied by the proposed number (type) of parking spaces.
- 2. Conditions of approval have been incorporated into the project to ensure the long-term adequacy of the provided off-street parking.
- 3. Approval of the parking modification permit will further the purpose of Campbell Municipal Code Chapter 21.28 (Parking and Loading).
- 4. There is a reasonable relationship and a rough proportionality between the Conditions of Approval and the impacts of the project.
- 5. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

THEREFORE, BE IT RESOLVED that the Planning Commission recommends approval of a Parking Modification Permit (PLN2016-68) to allow uncovered parking in lieu of covered, subject to the attached recommended Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 10<sup>th</sup> day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**RECOMMENDED CONDITIONS OF APPROVAL  
Parking Modification Permit (PLN2016-68)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Parking Modification Permit (PLN2016-068) to allow uncovered parking in lieu of covered, in conjunction with and subject to a Planned Development Permit (PLN2015-305) approving site configuration, architectural design, and the creation of five residential lots/units which do not have frontage on a public street, in conjunction with and subject to a Zoning Map Amendment (PLN2015-307) to allow a P-D zoning designation, Tentative Subdivision Map (PLN2015-306), and Tree Removal Permit (PLN2015-310) on property located at **180 Redding Road**. The project shall substantially conform to the Project Plans dated March 30, 2016 except as may be modified by the Conditions of Approval herein.
2. Planning Final Required: Planning Division clearance is required prior to Building Permit final.
3. Approval Expiration: The Parking Modification Permit approval is valid for a period of two years from the date of final City Council approval unless an extension is granted prior to the expiration date. A building permit must be obtained within this two-year period or the Parking Modification Permit shall be void.
4. Parking: Prior to occupancy, fifteen (ten covered and five uncovered) residential parking spaces shall be provided. Uncovered parking spaces shall be adequately striped in the locations shown on the Project Plans, and employ signage to indicate adequate signage to signify the total number and availability to guests of all units at all times to the satisfaction of the Director of Community Development.

## RESOLUTION NO. 4294

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A TREE REMOVAL PERMIT (PLN2015-310) TO ALLOW FOR THE REMOVAL OF PROTECTED TREES ON PROPERTY LOCATED AT **180 REDDING ROAD.**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

### Environmental Finding

1. An Initial Study has been prepared for the project which provides documentation for the factual basis for concluding that a Mitigated Negative Declaration may be adopted since no substantial evidence exists, in light of the whole record, that the project may have a significant effect on the environment as conditioned.

### Evidentiary Findings

1. The proposed project ("project") includes a Planned Development Permit (PLN2015-305) for the approval of site configuration, architectural design and to create five residential lots which do not have frontage on a public street, Tentative Subdivision Map (PLN2015-0306) to create five single family lots and one commonly owned lot, Zoning Map Amendment (PLN2015-0307) to change the zoning from R-M (Multiple-Family Residential) to P-D (Planned Development), Parking Modification Permit (PLN2016-068) to allow uncovered parking in lieu of covered and Tree Removal Permit (PLN2015-310) to allow removal of protected trees.
2. The project site consists of a single rectangular parcel (15,470 sq. ft. net / 17,270 sq. ft. gross) located on Redding Road between White Oaks Road and S. Bascom Avenue.
3. The lot is currently developed with one single-family residence that will be demolished as part of the proposed subdivision.
4. Abutting land uses include a combination of two-unit and three-unit townhome rows to the north, two-unit townhome rows and single-family homes to the east, six-unit townhome rows to the south, and a single-family residence to the west.
5. The project site is zoned R-M (Residential Multifamily) as shown on the Campbell Zoning Map and will be rezoned to P-D (Planned Development).
6. The project site is designated Low-Medium Density Residential (6-13 Units / Gr. Acre) as shown on the Campbell General Plan Map.

7. The proposed residential land use, at a density of 12.6 units/gr. acre, is consistent with the allowable land use and maximum density permitted by the Low-Medium Density Residential General Plan land use designation.
8. The proposed Planned Development Permit may be approved concurrently, and subject to, a Tentative Subdivision Map, and Zoning Map Amendment.
9. The proposed tree removal request would be consistent with the following General Plan strategy:

Strategy LUT-17.1b:        Landscaping: Ensure that new developments provide new tree plantings, shrubs, greenery and other landscaping materials, and preserve existing trees and shrubs.

10. The project proposes 15 parking spaces (10 covered, 5 uncovered), where 15 parking spaces (12.5 covered, 2.5 uncovered) are required which is allowed with the approval of the associated Parking Modification Permit (PLN2016-068) which allows for uncovered parking to be permitted in lieu of covered parking.
11. A draft Mitigation Monitoring and Reporting Program has been provided demonstrating the responsible party and phase of the project that each Mitigation Measure shall be carried out.
12. A tree survey was prepared for the project by Monarch Consulting Arborists LLC (Certified Arborist; WC 4341B). The project applicant's Arborist has provided an inventory of 15 trees located on the site, including four (4) trees protected by City Code.
13. The project includes demolition of all structures and re-grading of the property to the extent that retention of the majority of the existing trees would not be feasible or practical. As a result, removal of all but the three largest oak trees (#1, #10, & #11 on the Arborist Report) is necessary to accommodate the demolition and re-grading of the property and construction of the proposed buildings, driveways, parking spaces, and onsite improvements.
14. A total of twelve (12) trees are proposed for removal (one protected tree) and will be replaced with seventeen (17) new trees in compliance with the City's Tree Preservation Ordinance.
15. Removal of protected trees greater than 12-inches in diameter requires a Tree Removal Permit under the City's Tree Protection requirements (CMC 21.32).
16. The proposed replacement trees will be a sufficient replacement for the trees to be removed and will continue the diversity of tree species found in the community.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The retention of the trees restricts the economic enjoyment of the property and creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly zoned and situated properties, and the applicant has demonstrated to the satisfaction of the Planning Commission that there are no reasonable alternatives to preserve the trees due to the number of site constraints of the infill site.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Tree Removal Permit (PLN2015-310), subject to the attached Conditions of Approval (attached **Exhibit A**).

PASSED AND ADOPTED this 10th day of May, 2016, by the following roll call vote:

AYES:	Commissioners:	Dodd, Finch, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Bonhagen and Kendall
ABSTAIN:	Commissioners:	None

APPROVED: \_\_\_\_\_  
Cynthia Dodd, Chair

ATTEST: \_\_\_\_\_  
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL**  
**Tree Removal Permit – 180 Redding Road (PLN2015-310)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Permit: Approval is granted for a Tree Removal Permit (PLN2015-310) to allow the removal of twelve trees (one protected), as provided on page L1 of the project plans. This permit shall be valid only in conjunction with, and subject to the approved Planned Development Permit (PLN2015-305), Tentative Subdivision Map (PLN2015-306), and Zoning Map Amendment (PLN2015-307).
2. Time of Removal: The trees may only be removed in conjunction with demolition of existing on-site structures, subject to the conditions of approval for the Planned Development Permit, Zoning Map Amendment, and Tentative Subdivision Map.
3. Replacement Trees: All protected tree(s) shall be replaced at a minimum of a one-to-one ratio in accordance with CMC 21.32.100, Table 3-5 (Replacement Tree Requirements) to be noted with the project's "final" landscaping plan. Furthermore, where the project plans note the planting of dwarf and ultra-dwarf trees, these trees shall be of an evergreen variety. The trees species selected shall not be a "fruit tree" or "eucalyptus tree" as defined in the Campbell Municipal Code.
4. Tree Removal Permit Required: The removal of any tree, irrespective of species or size, which is shown on the approved project plans, shall require review and approval through a Tree Removal Permit.



**CITY OF CAMPBELL • PLANNING COMMISSION**  
**Staff Report • May 24, 2016**

**PLN2016-88** Public Hearing to consider the application of Leopold Vandeneynde for a **Vandeneynde, L.** Site and Architectural Review Permit (PLN2016-88) to allow a 77 square foot addition to an existing single family residence on property located at **879 Sweetbriar Drive** in the R-1-8 (Single-Family Residential) Zoning District.

**STAFF RECOMMENDATION**

That the Planning Commission take the following action:

1. **Adopt a Resolution**, incorporating the attached findings, approving a Site and Architectural Review Permit to allow an addition to an existing single family residence, subject to the attached Conditions of Approval.

**ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find that this project is Categorical Exempt under Section 15301, Class 1 of the California Environmental Quality Act (CEQA), pertaining to additions to existing structures.

**PROJECT DATA**

Zoning Designation:	R-1-8 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	10,000 sq. ft.	
Building Height:	13 feet	35 feet Maximum Allowed
Building Square Footage:		
Existing Living Area:	1,776 square-feet	
Existing Garage:	424 square feet	
Proposed Living Area:	<u>77 square-feet</u>	
	2,277 square-feet	
Floor Area Ratio (FAR):	.23	.45 Maximum Allowed
Building (Lot) Coverage:	24%	40% Maximum Allowed
Setbacks	<u>Proposed</u>	<u>Required</u>
Front (west):	45 feet	20 feet
Side (north):	10 feet	5 feet or half the wall height
Side (south):	8 feet	5 feet or half the wall height
Rear (east):	28 feet	5 feet or half the wall height
Garage (west):	25 feet	25 feet

## DISCUSSION

Project Location: The project site is located within the Cambrian 36 annexed area, commonly known as "Campbell Village," along Sweetbriar Drive, south of Cambrian Drive (reference **Attachment 3** – Location Map).

Project Description: The applicant is seeking approval of a Site and Architectural Review Permit to allow a one-story 77 square-foot addition to the side of an existing one-story, 2,866 square-foot single-family residence, to expand an existing bedroom and bathroom and create a laundry room, mud room, and closet (reference **Attachment 4** – Project Plans).

## ANALYSIS

Zoning District: The project site was pre-zoned prior to annexation to the R-1-8 (Single-Family Residential) Zoning District. This zoning district maintains the same development standards (height, setbacks, FAR, etc.) of the more common R-1-6 Zoning District, with the exception of the minimum lot size required (8,000 square-feet). However, due to larger lots sizes—and the potential for larger homes with greater neighborhood impacts—new homes and additions to existing homes require approval of Site and Architectural Review Permit by the Planning Commission. As indicated under 'Project Data', the proposed addition conforms to applicable development standards.

General Plan: The General Plan land use designation for the project site is Low Density Residential (less than 4.5 units per gross acre). The proposed residence would be consistent with the following General Plan Land Use Strategy:

Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics

Design: Review of the Site and Architectural Review Permit application is governed by the [\*City's Design Guidelines for Additions to Single-Family Homes\*](#). This document provides design guidance in terms of architectural compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for ensuring that additions to homes are compatible with both the existing structure and surrounding neighborhood.

The proposed 77 square-foot addition would match the existing residence's materials and colors, incorporating composition roofing and cement plaster walls (reference **Attachment 5** – Color/Material Sheet). It would extend from the side of the residence behind the existing garage, terminating at a gabled end. As the addition would be consistent with the existing residence in terms of materials, height, and form, it can be found consistent with the *Guidelines*.

Site Layout: The single-story residence is located on a large lot and incorporates larger than required front, side, and rear yard setbacks.

Landscaping: Whenever a building is expanded, the City may require conformance to the City's landscaping requirements (CMC 21.26.030). The property's front yard is already landscaped; however new landscaping will replace a portion of an existing second driveway installed within

the last year. The new second driveway does not comply with CMC Section 21.28.090(A)(1) which requires driveways to provide a 5 foot setback from side property lines. Therefore the pavement width will be reduced and replaced with landscaping to create a pathway instead. Note the main driveway does not provide the required 5 foot setback but was constructed prior to the property's annexation into Campbell and is therefore considered legal nonconforming.

Site and Architectural Review Committee: The Site and Architectural Review Committee (SARC) reviewed this application at its meeting of May 10, 2016. The Committee was supportive of the project as presented.

Attachments:

1. Findings for Approval of File No.: PLN2016-88
2. Conditions of Approval of File No.: PLN2016-88
3. Location Map
4. Project Plans
5. Color/Material Sheet
6. Site Photographs

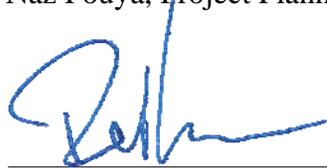
Prepared by:



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Naz Pouya, Project Planner

Approved by:



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Paul Kermoyan, Community Development Director

## **FINDINGS FOR APPROVAL OF FILE NO. PLN2016-88**

SITE ADDRESS: 879 Sweetbriar Dr.  
APPLICANT: Leopold Vandeneynde  
OWNER: Kyla and Brian Meidinger  
P.C. MEETING: May 24, 2016

### Findings for Approval of a Site and Architectural Review Permit to allow an addition to an existing single family residence:

The Planning Commission finds as follows with regard to file number PLN2016-88:

1. The project site is zoned R-1-8 (Single Family Residential) on the City of Campbell Zoning Map.
2. The project site is designated Low Density Residential (4.5 units/gr. acre) on the City of Campbell General Plan Land Use diagram.
3. The proposed project will be compatible with the R-1-8 (Single Family Residential) Zone District with approval of a Site and Architectural Review Permit.
4. The project site is located along Sweetbriar Drive.
5. The application is subject to design review under the City of Campbell Design Guidelines for Additions to Single Family Homes.
6. The project is compatible with the architecture of the existing home and the adjacent neighborhood in that the project utilizes simple architectural design that matches existing materials and colors of existing residence, with a design not out of conformance with the surrounding community.
7. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required Conditions of Approval, will have a significant adverse impact on the environment.

Based upon the foregoing findings of fact and pursuant to CMC Section 21.42.020, the Planning Commission further finds and concludes that:

1. The project will be consistent with the General Plan;
2. The project will aid in the harmonious development of the immediate area; and
3. The project is consistent with applicable adopted design guidelines.
4. Staff recommends that the Planning Commission find that this project is Categorically Exempt under Section 15303, Class 3 of the California Environmental Quality Act (CEQA), pertaining to the construction of single-family dwellings.

**CONDITIONS OF APPROVAL FOR FILE NO. PLN2016-88**

SITE ADDRESS: 879 Sweetbriar Dr.  
APPLICANT: Leopold Vandeneynde  
OWNER: Kyla and Brian Meidinger  
P.C. MEETING: May 24, 2016

The applicant is hereby notified, as part of this application, that he/she is required to meet the following conditions in accordance with the ordinances of the City of Campbell and the State of California. Where approval by the Community Development Director, City Engineer, Public Works Director, City Attorney, or Fire Department is required, that review shall be for compliance with all applicable Conditions of Approval, adopted policies and guidelines, ordinances, laws and regulations, and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified:

**COMMUNITY DEVELOPMENT DEPARTMENT****Planning Division**

1. Approved Project: Approval is granted for a Site and Architectural Review Permit (PLN2016-88) to allow a 77 square-foot addition to an existing single-family residence located at **879 Sweetbriar Dr.** The project shall substantially conform to the revised project plans stamped as received by the Planning Division on April 8, 2016, except as may be modified by the Conditions of Approval herein.
2. Permit Expiration: The Site and Architectural Review Permit approval shall be valid for one year from the date of final approval (expiring May 24, 2017). Within this one-year period, an application for a building permit must be submitted. Failure to meet this deadline will result in the Site and Architectural Review Permit being rendered void.
3. Planning Final Required: Planning Division clearance is required prior to Building Permit final. Construction not in substantial compliance with the approved project plans shall not be approved without prior authorization of the necessary approving body.
4. On-Site Lighting: On-site lighting shall be shielded away from adjacent properties and directed on site. The design and type of lighting fixtures and lighting intensity of any proposed exterior lighting for the project shall be reviewed and approved by the Community Development Director prior to installation of the lighting for compliance with all applicable Conditions of Approval, ordinances, laws and regulations. Lighting fixtures shall be of a decorative design to be compatible with the residential development and shall incorporate energy saving features.
5. Construction Activities: The applicant shall abide by the following requirements during construction:
  - a. The project site shall be posted with the name and contact number of the lead contractor in a location visible from the public street prior to the issuance of building permits.

- b. Construction activities shall be limited to weekdays between 8:00 a.m. and 5:00 p.m. and Saturdays between 9:00 a.m. and 4:00 p.m. No construction shall take place on Sundays or holidays unless an exception is granted by the Building Official.
- c. All construction equipment with internal combustion engines used on the project site shall be properly muffled and maintained in good working condition.
- d. Unnecessary idling of internal combustion engines shall be strictly prohibited.
- e. All stationary noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as possible from noise-sensitive receptors such as existing residences and businesses.
- f. Use standard dust and erosion control measures that comply with the adopted Best Management Practices for the City of Campbell.

### **Building Division**

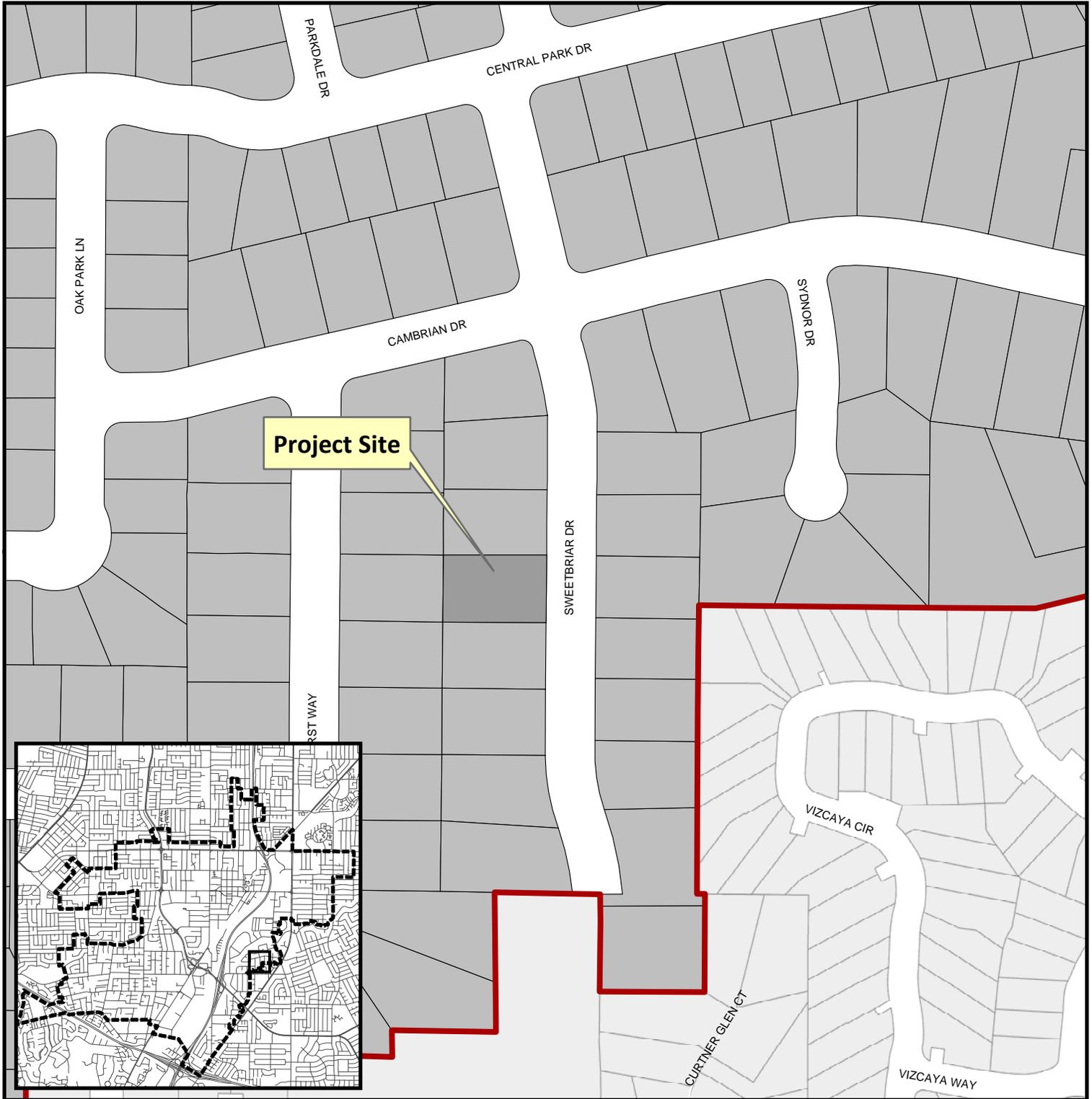
- 6. Permits Required: A building permit application shall be required for the proposed addition to and remodeling of the existing structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
- 7. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be “wet stamped” and signed by the qualifying professional person.
- 8. Construction Plans: The Conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
- 9. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.
- 10. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Elevation bench marks shall be called out at all locations that are identified as “natural grade” and intended for use to determine the height of the proposed structure.
- 11. Title 24 Energy Compliance: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. Compliance with the Standards shall be demonstrated for conditioning of the building envelope and lighting of the building.
- 12. Special Inspections: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Appendix Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.

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13. Non-point Pollution Control Program: The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
  14. Approvals Required: The project requires the following agency approval prior to issuance of the building permit:
    - a. West Valley Sanitation District (378-2407)
    - b. Santa Clara County Fire Department (378-4010)
    - c. San Jose Water Company (279-7900)
    - d. Bay Area Air Quality Management District (Demolitions Only)
  15. P.G.&E: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.
  16. Intent to Occupy During Construction: Owners shall declare their intent to occupy the dwelling during construction. The Building Inspection Division may require the premises to be vacated during portions of construction because of substandard and unsafe living conditions created by construction.
  17. CA Green Building Code: This project is subject to the mandatory requirements for new residential structures (Chapter 4) under the California Green Building Code, 2013 edition.
  18. Build it Green: Applicant shall complete and submit a "Build it Green" inventory of the proposed new single family project prior to the issuance of a building permit.
  19. Stormwater Requirements: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.

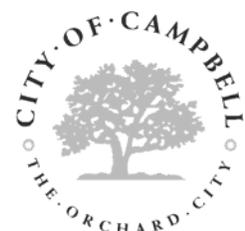
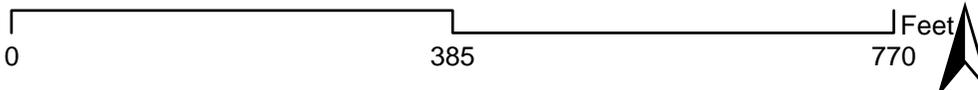
### **Public Works**

20. Storm Drain Area Fee: Prior to issuance of any grading or building permits for the site, the applicant shall pay the required Storm Drain Area fee, currently set at \$2,120.00 per net acre, which is \$487.00
21. Encroachment Permit/Fees/Deposits: The applicant shall obtain an encroachment permit (including fees, surety and insurance) for construction of the following standard public street improvements:
  - a. Modification of existing second driveway approach to convert it to a pathway.

# Project Location Map



**Project Location:** 879 Sweetbriar Drive  
**Application Type:** Site and Arc. Review Permit  
**Planning File No.:** PLN2016-88



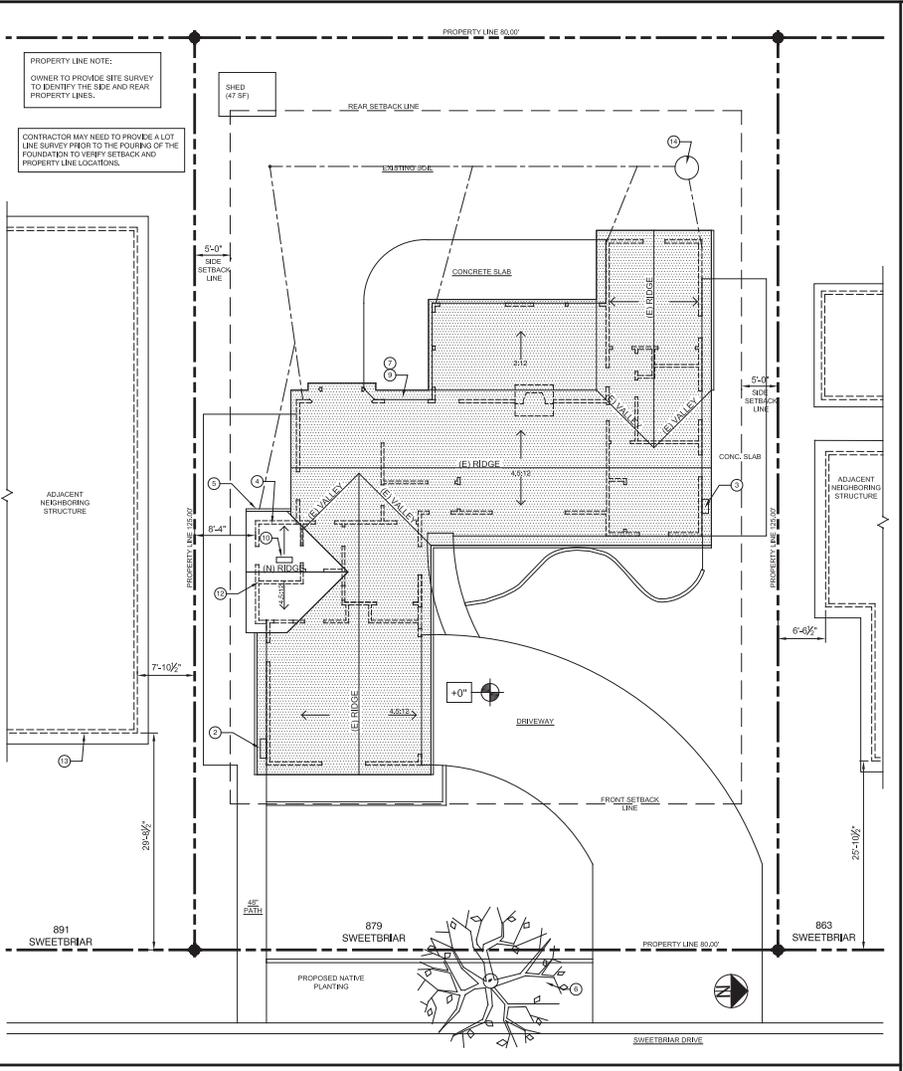
Community Development Department  
Planning Division



- ### CAL GREEN NOTES
- A. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)
  - B. PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
  - C. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.304.1)
  - D. ADHESIVES, SEALANTS AND CALKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
  - E. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
  - F. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED HAP LIMITS FOR ROG AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
  - G. A MINIMUM OF 50% OF THE NON-HABERDASHER CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFF-SITE RECYCLE, DIVERSION, OR SALVAGE FACILITY (4.408)
  - H. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DEPARTMENT, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS (4.504.2.3)
  - I. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.3)
  - J. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM (702.1)
  - K. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)
  - L. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE.

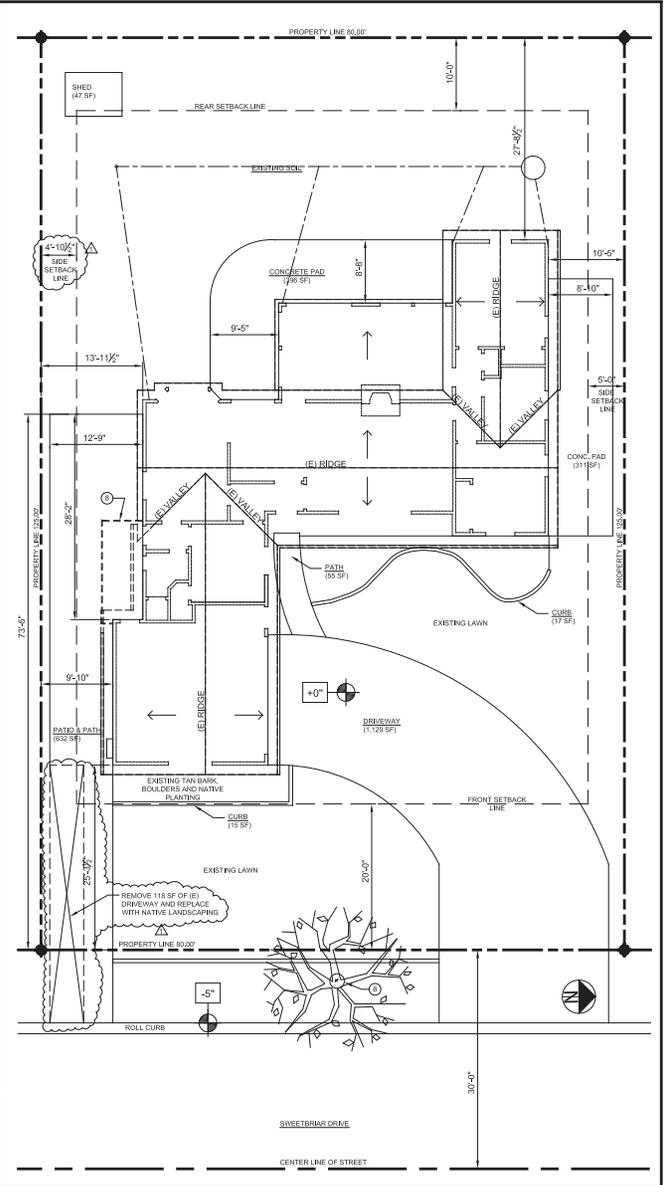
- ### GENERAL NOTES
- A. THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
  - B. ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED CALIFORNIA BUILDING CODE AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES.
  - C. THE PLANS INDICATE THE GENERAL EXTENT OF CONSTRUCTION NECESSARY FOR THE WORK, BUT NOT INTENDED TO BE ALL INCLUSIVE. ALL WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS SHALL BE INCLUDED, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR CONFLICTS IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - D. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SET CONDITIONS. EACH SUB-CONTRACTOR SHALL INSPECT AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL PILES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY SEEN BY INSPECTION.
  - E. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF ANY PORTION OF THE BUILDING AFFECTED BY THE WORK.
  - F. PROTECT ALL FINISHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN WET WEATHER IS ANTICIPATED.
  - G. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS IN OR OUTSIDE THE JOB.

**DRAWINGS PREPARED BY:**  
LEOPOLD DESIGN  
LEOPOLD VANDENYEYNDE, ARCHITECT  
777 ENRIGHT AVENUE, SANTA CLARA,  
CA 95059  
650-224-6852



PROJECT DATA	
Project Address:	879 SWEETBRIAR DR, CAMPBELL, CA 95008
Governing Jurisdiction:	CAMPBELL BUILDING AND PLANNING DEPTS.
APN:	412-40-031
Lot Size:	10,000 SF
Construction Type:	1B
Occupancy:	R-3U
Fire Sprinklers:	NO
Required Setbacks:	Front 20' Rear 10' MIN. Side 5' each side
Allowable:	NOT TO EXCEED 40% 4,000 SF
Existing 1st Floor Area:	2,200 SF
Proposed 1st Floor Area:	77 SF
Total Prop. Floor Area:	2,277 SF
ALL WORK SHALL BE IN ACCORDANCE WITH TITLE 2013 CBC, CMC, CPC, AND CEC.	

- ### KEY NOTES
- (1) EXISTING TREE TO REMAIN
  - (2) EXISTING ELECTRICAL PANEL AND SERVICE
  - (3) EXISTING GAS METER AND SERVICE
  - (4) (N) CLASS "B" MIN. COMPOSITION ROOF TO MATCH (E)
  - (5) ROOF WATER LOADERS LEAD TO DOWNSPOUTS THAT ARE CONNECTED TO UNDERGROUND PERFORATED PIPES THAT LEAD TO AN EXISTING DRAINAGE OBSERVATION WELL IN THE REAR YARD. SLOPE 2% AWAY FROM FOUNDATION AREA.
  - (6) EXISTING MAPLE TREE TO REMAIN
  - (7) HATCHED AREA INDICATES EXISTING ROOF STRUCTURE
  - (8) HEAVY DASHED LINE INDICATES ADDITION AREA
  - (E) COMPOSITION ROOF
  - (9) NEW ROOF VENTS PER VENTILATION CALCULATIONS, DISTRIBUTE EQUALLY.
  - (10) PROVIDE A MIN. 3" CLEAR VENTS ALONG 2 SIDES, PER THE VENTILATION CALCS. THIS SHEET. (NO VENTS ALONG SIDE YARD SETBACK AREA).
  - (11) CONTRACTOR TO ENSURE THAT NO EAVE PROJECTIONS ARE WITHIN 2'-0" OF THE SIDE PROPERTY LINES.
  - (12) APPROXIMATE LOCATION OF ADJACENT NEIGHBORING STRUCTURE
  - (13) EXISTING DISSIPATION DRAINAGE WELL



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Leopold Vandenyende, A.I.A. t. 650-224-6852  
**Leopold Design**  
 777 ENRIGHT AVE., SANTA CLARA, CA 95050



MODIFICATIONS TO THE HOME OF:  
**KYLA & BRIAN MEIDINGER**  
 879 SWEETBRIAR DRIVE, CAMPBELL, CA 95008

SITE/ROOF PLAN  
 PROJECT DATA  
 EXISTING FLOOR PLAN

JOB NO. 879\_15  
 DRAWN BY LV  
 DATE: MARCH 7, 2016

REVISIONS  
 CITY PLANNING DEPT. 04/05/16

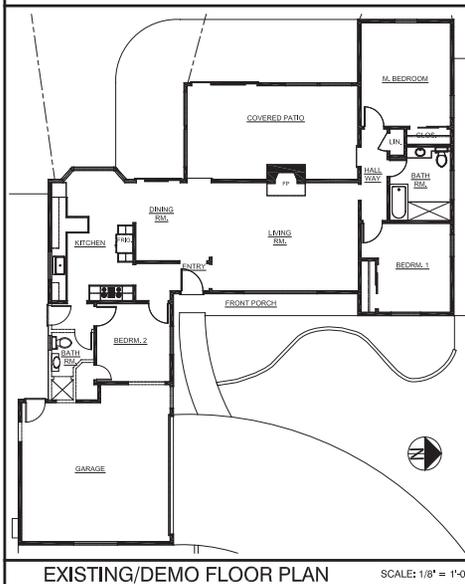
SHEET NO. **A0.00**  
 OF: 1 of 4

SYMBOL LEGEND	
	DIMENSION POINT TO CENTER OF FRAMING OPENING
	DIMENSION POINT TO FACE OF FRAMING
	DIMENSION POINT TO FACE OF MATERIAL OR FINISH
	WARM AIR REGISTER - WALL
	WARM AIR REGISTER - CEILING
	DUPLEX RECEPTACLE
	WATER PROTECTED WITH GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE WITH ARC FAULT INTERRUPTER
	MOTION SENSOR WALL MOUNTED LIGHT FIXT. (FLOOR, OR LED)
	HIGH EFFICACY WALL MOUNTED LIGHT FIXT. (FLOOR, OR LED)
	CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
	DUPLEX RECEPTACLE WITH ONE PLUG SWITCHED
	SINGLE POLE SWITCH +48" U.L.O.
	TWO WAY, THREE WAY SWITCH
	SWITCH WITH DIMMER
	HOSE BIBB
	GAS CONNECTION
	LED STRIP FIXT. UNDER CTR.
	CEILING LIGHT FIXTURE - RECESSED
	CEILING LIGHT FIXTURE - RECESSED, DIRECTIONAL
	WALL MOUNTED FIXTURE
	HIGH EFFICACY RECESSED CLG. FIXT. (FLOOR, OR LED)
	PHOTOELECTRIC SMOKE ALARM, SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, EQUIPPED WITH BATTERY BACK-UP AND INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. DUAL SENSOR (PHOTON) ALARMS SHALL BE USED IF LOCATED NOT LESS THAN 20' FROM KITCHEN, FIREPLACE, OR WOOD BURNING STOVE AND AT THE TOP & BOT. OF THE INTERIOR STAIRCASE.

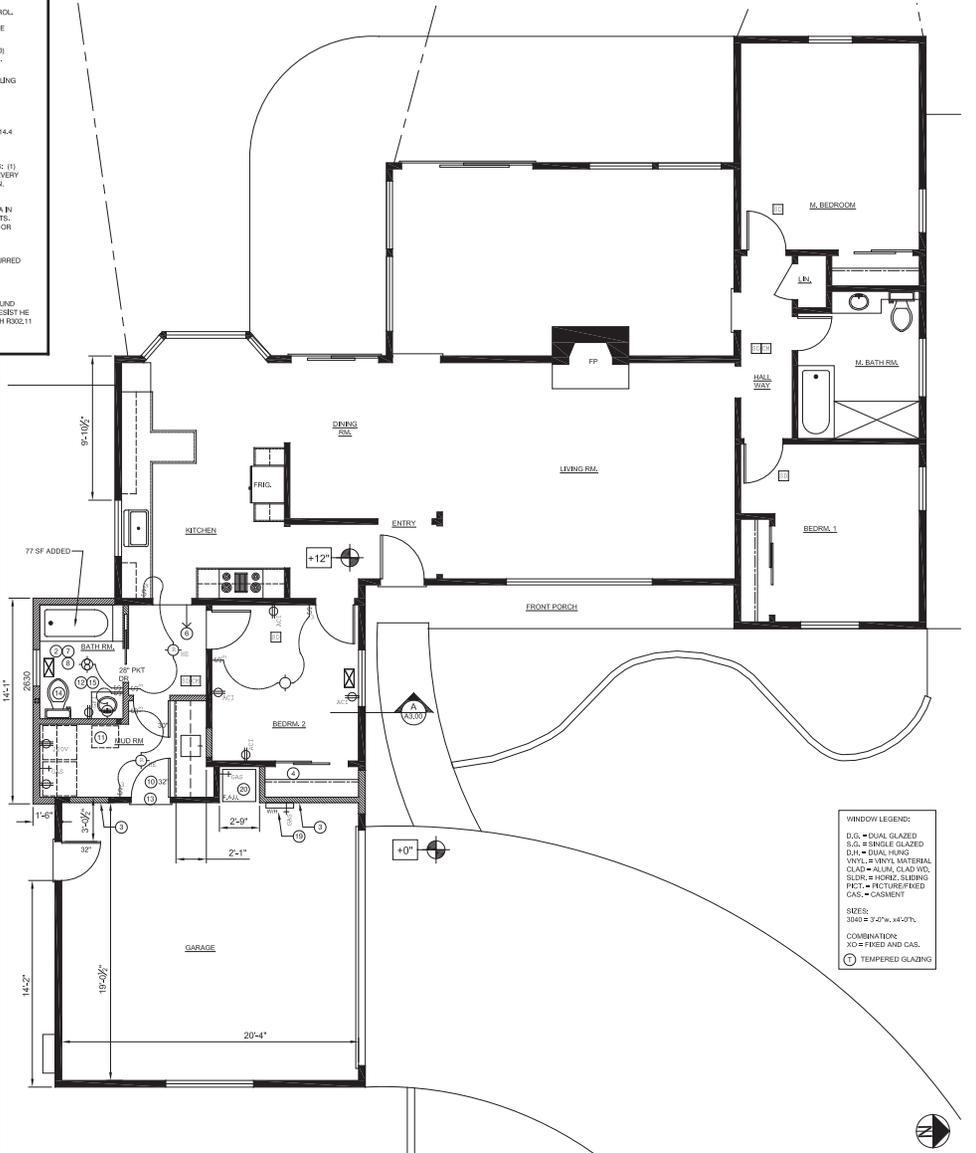
CODE NOTES	
* EVERY CNTR. SPACE 12" OR MORE IN WIDTH SHALL HAVE AN ELECT. RECEPTACLE. RECEPTACLES SHALL BE INSTALLED NO MORE THAN 18" IN CENTER AND THERE SHALL NOT BE MORE THAN 24" TO A CNTR. RECEPTACLE FROM ANY POINT ON THE CNTR. NO EQUIPMENT (SUCH AS DISHWASHERS, GARBAGE DISPOSALS, OR VENTS) SHALL BE CONNECTED TO THE (2) 20amp COUNTER CIRCUITS.	
* (2) 20amp BREAKER CIRCUITS FOR COUNTER RECEPTACLES.	
* ALL NEW RECEPTACLES TO BE TAMPER RESISTANT AND COUNTER RECEPTACLES MUST BE GFCI PROTECTED.	
* ALL NEW HARDWIRED LIGHTING IN THE REMODELED PORTION MUST BE HIGH EFFICACY WITH THE FOLLOWING EXCEPTIONS:	
A. ALTERNATE OPTION BY ALL OTHER INTERIOR ROOMS (HALLWAY, FAMILY RM, BEDRMS, ETC.); MANUAL-ON OCCUPANCY SENSOR OR DIMMER.	
B. ALTERNATE OPTION IN OUTDOOR LIGHTING ATTACHED TO BUILDINGS: MOTION SENSOR PLUS PHOTO CONTROL.	
* ALL RECESSED LIGHT FIXTURES SHALL BE INSTALLED IN INSULATING CEILING APPROVED FOR ZERO-CANDORANCE INSULATION COVER (IC) AND CERTIFIED AIR TIGHT.	
* AT LEAST 2% THE LIGHTING WATTS INSTALLED IN A KITCHEN MUST BE CONSUMED BY HIGH EFFICACY (FLUORESCENT) LUMINAIRES. ALL LIGHTING THAT IS NOT HIGH EFFICACY IS REQUIRED TO BE CONTROLLED BY A DIMMER SWITCH.	
* AFCI FAULT CIRCUIT INTERRUPTER RECEPTACLES: ALL 120VOLTS, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, BREAKFAST ROOMS, BEDROOMS, SUIT ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROVIDED BY A LISTED AFCI-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.	
* ALL NEW SMOKE ALARMS ARE 110V WITH BATTERY BACKUP, AND ARE AUDIBLE IN ALL SLEEPING AREAS. CRC R314.4 CONTRACTOR MUST VERIFY THAT THE SMOKE ALARMS ARE VERIFIED OPERATIONAL AND WILL BE REPAIRED OR REPLACED AS NECESSARY.	
* CONTRACTOR TO VERIFY EXISTING PHOTOELECTRIC SMOKE ALARMS INSTALLED AT THE FOLLOWING LOCATIONS: (1) ALL BEDROOMS; (2) HALLWAYS LEADING TO BEDROOMS; (3) ABOVE TOPS OF STAIRS; AND (4) AT LEAST ONE AT EVERY LEVEL. DUAL SENSOR (PHOTON) ALARMS SHALL BE USED IF LOCATED NOT LESS THAN 20' FROM A KITCHEN.	
* FIREPLACE OR WOOD-BURNING STOVE. CRC R314.3	
CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CRC R315.2 CONTRACTOR MUST VERIFY THAT THE ALARMS ARE VERIFIED OPERATIONAL AND WILL BE REPAIRED OR REPLACED AS NECESSARY.	
* FIREPROOFING NOTE: FIREPROOFING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING PURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: 1. VERTICALLY AT THE CEILING AND FLOOR EVELS 2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.	
AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES; CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION, ALL FIRESTOP MATERIALS SHALL COMPLY WITH R302.11 OF THE CRC.	

WALL LEGEND	
	NEW WALL
	EXISTING WALL
	REMOVE EXISTING WALL

KEY NOTES	
1. ALL NEW WINDOWS TO BE WHITE VINYL DUAL GLAZED, LOW-E WINDOWS.	
2. NEW VANITY, FAUCET, CABINET, MIRROR, AND LIGHTS, (TO BE SELECTED BY OWNER).	
3. TYPE-X FIRE RATED GYPSUM, AT GARAGE WALL.	
4. WHITE METAL POLE & PAINTED WOOD SHELF, UNLESS OTHERWISE DIRECTED BY OWNER.	
5. TO (E) LIGHT FIXTURES.	
6. NEW TILE FLOORING, SEE OWNER FOR MATERIAL.	
7. IN BATHROOMS ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 30' OF EACH SPAK.	
8. PROVIDE EXHAUST FANS IN ALL BATHROOMS CONTAINING BATHTUBS & SHOWERS.	
9. 20"X24" MIN. UNDER-FLR. ACCESS, DBL. FRMS., AT FLR. OPENING	
10. 20 MIN. OR 1 3/8" SOLID CORE DOOR W SELF CLOSURE DEVICE, & FULLY GASKETED DAMBS.	
11. NEW 22" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALF. FRAMED AREA.	
12. SHOWER & TUB NOTES:	
A. TEMP. GL. AT SHOWER ENCLOSURE, DOOR, AND ADJACENT WINDOWS, SHWR. DOOR SHALL NOT OPEN INTO THE SHOWER AND BE A MIN. 22" WIDE, GLASS COLOR AND FASTENERS TO BE DECIDED BY OWNER.	
B. SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.	
C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1004 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30" SQUARE CIRCLES.	
D. LIGHTS OVER TUB AND SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION.	
E. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER RESISTANT GYP. BACKING IS TO BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2	
F. SHOWER HEADS:	
1). SINGLE SHOWER HEAD - MAX. FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERWISE SPECIFICATION FOR SHOWERHEADS.	
2). MULTIPLE SHOWER HEADS - THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80PSI OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.	
RISERS ON STEPS SHALL NOT BE GREATER THAN 7 7/8" AND NO LESS THAN 4" HIGH. THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 2". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 2". PROVIDE 30" MIN. DEEP LANDING AT EXTERIOR ACCESS. IF COVERING IS TO BE OVER LANDING - PROVIDE 12" WALK HEIGHT DIFFERENTIAL BETWEEN FIN. FLR. AND EXTERIOR LANDING.	
13. WATER CLOSETS TO HAVE A MIN. CLEAR STALL SPACES OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT AND 12" GALLONS PER FLUSH MAX.	
14. FAUCETS:	
1). RESIDENTIAL LAVATORY FAUCETS FLOW RATE SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80PSI. THE MINIMUM FLOW RATE SHALL NOT BE LESS THAN 0.5 GALLONS PER MINUTE AT 20PSI.	
2). KITCHEN FAUCETS FLOW RATE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 80PSI AND MUST RETURN TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80PSI. NOTE: WHERE COMPILING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.	
3). 60" TYPE-X GYPSUM BOARD ON THE GARAGE SIDE ADJACENT TO THE LIVING SPACE AND ON THE GARAGE SIDE SHALL EXTEND UP TO ROOF SHEATHING. PROVIDE BLOCCING AS REQUIRED BY R302.11 CRC.	
PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER RESISTANT GYP. BACKING IS TO BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2	
15. PROVIDE THE FOLLOWING IN THE LAUNDRY AREA: A) P.V.C. DRAIN BOX BEHIND WASHER, B) SILENT MET. DRAIN PAN UNDER WASHER, C) WATER SHUT-OFF VALVES IN ACCESSIBLE LOCATION, D) DRYER VENT TO BE A MINIMUM OF 30" TO BUILDING OPENINGS.	
16. NEW TANKLESS WATER HEATER	
17. RELOCATE (E) FORCED AIR UNIT INTO ALCOVE.	
18. EGRESS WINDOWS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. WITH A NET CLEAR HEIGHT OF 24". A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OFF THE FLOOR (CRC R310.1)	



EXISTING/DEMO FLOOR PLAN SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN SCALE: 1/4" = 1'-0"

Leopold Vandenberg, A.I.A. t. 650-224-6852  
**Leopold Design**  
 777 ENRIGHT AVE., SANTA CLARA, CA 95050

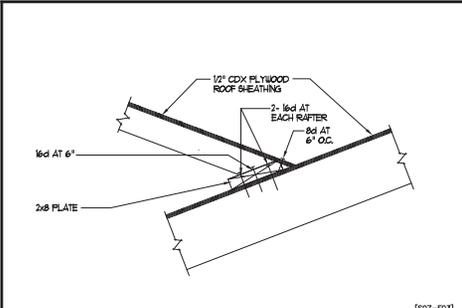
MODIFICATIONS TO THE HOME OF:  
**KYLA & BRIAN MEIDINGER**  
 879 SWEETBRIAR DRIVE, CAMPBELL, CA 95008

SITEROOF PLAN  
 PROJECT DATA  
 EXISTING FLOOR PLAN

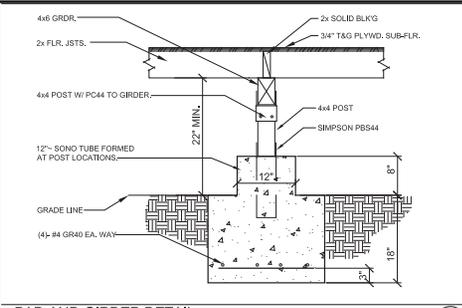
JOB NO. 879\_15 DRAWN BY LV  
 DATE: MARCH 7, 2016

REVISIONS

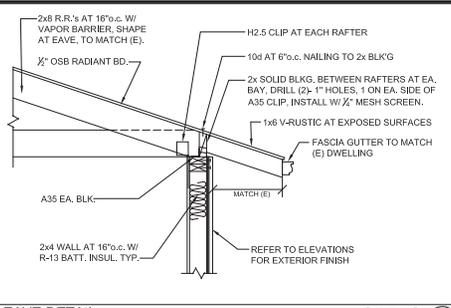
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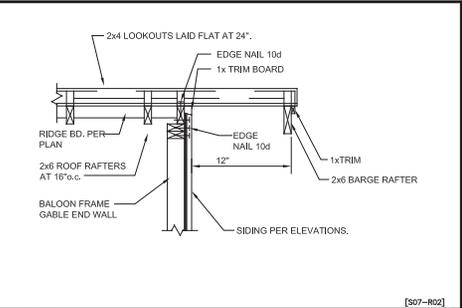
CALIFORNIA ROOF FRAMING DETAIL SCALE: 1/2" = 1'-0" 1



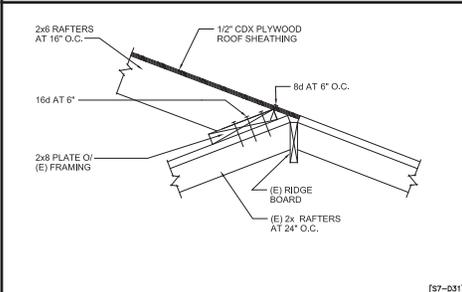
PAD AND GIRDER DETAIL (PAD & GRDR) SCALE: 1" = 1'-0" 2



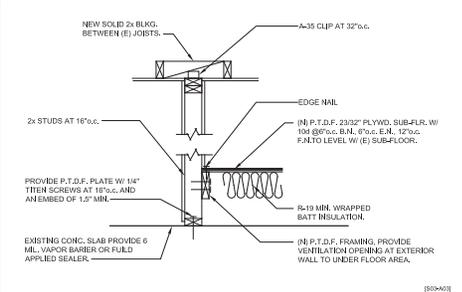
EAVE DETAIL SCALE: 1" = 1'-0" 3



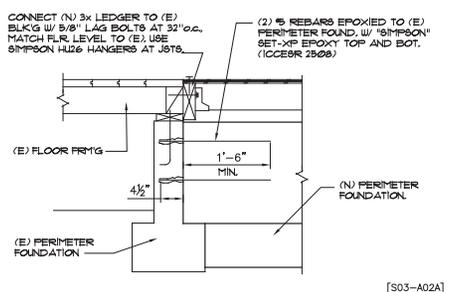
RAKE DETAIL SCALE: 1" = 1'-0" 4



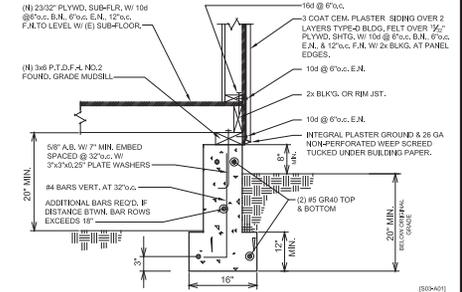
NEW TO (E) ROOF DETAIL SCALE: 1 1/2" = 1'-0" 5



(N) FRAMING DETAIL AT (E) SLAB SCALE: 1 1/2" = 1'-0" 6



(N) TO (E) FOUNDATION DETAIL SCALE: 1" = 1'-0" 7



TYPICAL PERIMETER FTG. SCALE: 1" = 1'-0" 8

CONCRETE NOTES

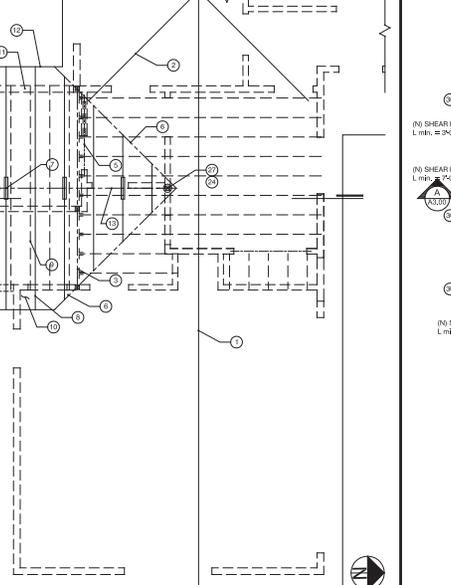
- VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE FOUNDATION DESIGN IS BASED ON VALUES PROVIDED BY OTHERS. THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS.
- CONCRETE STRENGTH TO BE 2500 PSI UNLESS OTHERWISE NOTED. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE 2010 CBC.
- AGGREGATE FOR THE CONCRETE MIX SHALL CONFORM TO ASTM C33 AND SHALL HAVE A MINIMUM BULK OF 34". CEMENT SHALL CONFORM TO ASTM C150 TYPE I.
- STEEL REINFORCING BAR SHALL CONFORM TO ASTM A615 AND GR40 OR GR60 AS NOTED ON THE PLANS.
- BOTTOMS OF ALL FOOTINGS TO BE LEVEL AND REST ON UNDISTURBED SOIL. REGARDLESS OF ELEVATIONS SHOWN ON THE PLANS.
- LAP ALL CORNER REINFORCEMENT 16" IN EACH DIRECTION.
- SPLICES IN DEFORMED BARS TO BE: #4 BAR 24" / #5 BAR 24" / #6 BAR 30"
- SPLICES SHALL BE STAGGERED AT LEAST 24".
- MINIMUM OF 3" CLEARANCE REQUIRED BETWEEN SOIL AND ALL REINFORCING STEEL.
- UNLESS OTHERWISE SHOWN, EXCAVATION SHALL FOLLOW AS NEARLY AS POSSIBLE THE NEAT LINES REQUIRED BY THE SECS AND SHAPES OF THE FOOTINGS.
- ALL FOOTING DEPTHS SHOWN ARE MINIMUM. FOOTINGS SHALL BE FOUNDED OVER FIRM AND NATIVE SUBSOILS. INCREASE DEPTHS OF FOOTINGS AS REQUIRED.
- PROVIDE 18" MIN. BY 24" MIN. ACCESS TO ALL FOUNDATION SPACES. PROVIDE 1 ACCESS WITHIN 20' OF BATHROOM AND KITCHEN PLUMBING.

KEY NOTES

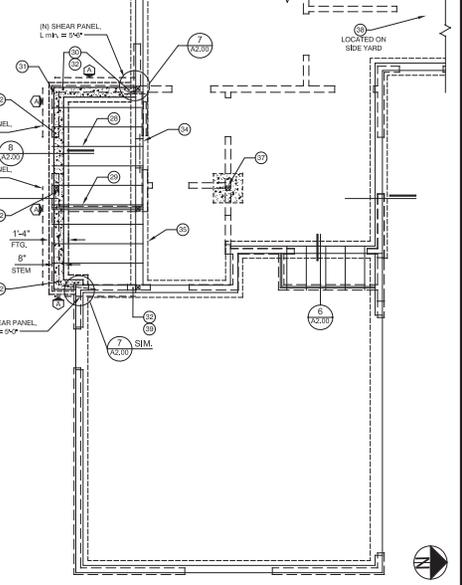
- EXISTING 1x OR 2x RIDGE BOARD
- EXISTING 2x HIP OR VALLEY RAFTER
- #4 D.F., NO. 1 BEAM W/ LUS 26 HANGERS AT CLG. JSTS.
- #48 FASCIA AT RAKE
- #48 D.F.L. NO. 2 HDR. AT NEW DOOR OPENINGS
- #48 D.F., NO. 1 HP & VALLEY BEAM, TYP.
- LST15 STRAP ACROSS RIDGE AT 48" C.C., TYP. AT ROOF RAFTERS
- 2x6 ROOF RAFTERS AT 24" C.C. D.F., NO. 2 (WITH 2x4 TAIL)S
- 2x6 CEILING JOISTS AT 16" C.C. D.F., NO. 2
- NEW 7/2" OSB RADIANT BD. W/ 10x16 NAILS AT 6" O.C. BOUNDARY NAILING, 6" O.C. EDGE NAILING, AND 12" O.C. FIELD NAILING W/ 2x BLKG AT ALL UNSUPPORTED EDGES, TYP.
- USE AS3 AT 16" FROM WALL TO TOP PLATE TO 2x BLOCKING.
- GUTTER AND DOWNSPOUTS TO MATCH (E).
- #48 D.O., NO. 1 RIDGE BEAM, TYP.
- LST15 STRAP, CENTER BETWEEN PLATE SPLICE, FROM NEW TO (E) TOP PLATES.
- UNGRADED EAVE AND RAKE SHEATHING W/ 10x16 NAILS AT 12" O.C. EAVE AND 12" O.C. F.A. PROVIDE DEL ROOF RAFTERS LOCATED ABOVE GABLE END RAKE WALL. PROVIDE ROOF SHEATHING EDGE NAILING TO DEL RAFTERS. PROVIDE AS3 CLIPS AT 16" O.C. FROM DEL RAFTERS TO TOP PLATE OF WALL.
- (N) #4 D.F.L., NO. 1 POST UNDER RIDGE BEAM, VALLEY, OR HIP
- #410 D.F.L. NO. 2 HDR. MIN. AT NEW DOOR OPENINGS AT EXT. WALLS
- AT HIP/RIDGE CONNECTION USE HRC CONNECTOR. FOR RIDGE BEAM EXTENDING BEYOND HIP MATTERS, USE L500 CLIPS.
- RING POST: MATCH WIDTH / DEPTH OF BEAM ABOVE & BELOW WITH PC2ZPC2 AT DF-BEAMS, AND EQCECOO AT PARALLAM BEAMS.
- (N) #6 FLR. JSTS. AT 16" C.C.
- DEL. FLR. FRMG. AT (N) WALLS. ADD SOLID BLKG. UNDER WALLS BTWN. BAYS.
- #10x10 TO 2x2 STUDS S/SYSTEM
- 3/4" P.T.D.F. SILL W/ 5/8" dia. 1/2" BOLTS AT 24" C.C. WITH 7" MIN. EMBEDMENT AND 3" SQ. @ 24" WASHERS, TYP.
- NEW DOUBLE 2x4 STUDS WITH HDG EPDM HOLDINGS
- (N) #4 D.F., NO. 2 LEDGER W/ 2x6 @ 16" LONG LAG SCREWS INTO EXISTING RM. JOIST OR BLOCKING AT 16" C.C.
- PROVIDE 18" MIN. BY 24" MIN. ACCESS TO ALL FOUNDATION SPACES.
- EXISTING FOUNDATION AND FLOOR FRAMING TO REMAIN.
- PROVIDE GRAV. SPACE ACCESS MIN. SEE F 18" @ 24" THROUGH (E) STEM WALL. DRILL HOLES BETWEEN JOIST BLOCKING TO ALLOW FOR CROSS VENTILATION; PROVIDE (1) FOUNDATION #414 SCREEN VENT.
- UNDER RIDGE BEAM - POST AND FOOTING: (N) #44 D.F.L. NO. 1 POST W/ EPDM AT BEAM AND HP SQUARE BY 1/4" DEEP FOOTING WITH (4) #4 REINFORCING BARS EACH WAY AT THE BOTTOM, NEW 3x BLOCKING UNDER NEW POSTS. LCB44 AT #44. EMBEDDED STRAP, #4 BAR PASSED THRU STRAP.
- #8x24" MIN. UNDER-FLR. ACCESS, DEL. FRMG. AT FLR. OPENING
- EPDM ON PRIME 5/8" dia. EPOXY ANCHORS AT 16" C.C. WITH 7" MIN. EMBEDMENT. USE SIMPSON SET-XP (ICC ESR-2608) EPOXY SYSTEM.

FRAMING, SHEAR, SHT'G. NOTES

- SHEATH BOTH ROOFS IN REGIONS OF CALIFORNIA FRAMING AND PROVIDE VENTILATION ACCESS BETWEEN SPACES.
- IF WALLS TO BE REMOVED CONTAIN PLYWOOD SHEATHING OR DIRECTLY SUPPORT ROOF FRAMING, CONTACT ARCHITECT PRIOR TO THEIR REMOVAL.
- NEW SHEAR PANELS SHALL BE 1/2" CDX SHEATHING WITH 1/4" AT 4" o.c. EDGES, 12" o.c. FIELD NAILING, UNLESS NOTED OTHERWISE. USE AS3 AT 16" FROM WALL TO TOP PLATE TO 2x BLOCKING. ALL SHEARWALL PANELS ARE BRICKED WALL PANELS.
- USE HDG HOLD-DOWN TO 2x POSTS INTERNAL. W/ 10x16 ANCH. LAG STH. (ANCHOR BOLTS AT EACH END OF SHEAR PANELS, UNLESS NOTED OTHERWISE, MAY REPLACE 5/8" dia. ALL-THREADED ANCHOR WITH CONUPLER NUTS).
- USE SIMPSON A35 CLIP EACH BAY TO TOP PLATE CONNECTION.
- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- RAFTERS, CEILING JOISTS ARE TO BE LATERALLY SUPPORTED/BLOCKED TO PREVENT ROTATION.
- ALL FRAMING MATERIAL TO BE #2 DOUGLAS FIR MINIMUM, UNLESS NOTED OTHERWISE
- ALL TOP PLATES TO BE LAPPED 48" MINIMUM WITH 2x16 PER LAP, TYPICAL.
- ALL NAILS IN DOWNSPOUTS AND SHEAR WALLS TO BE COMMON WIRE NAILS, LING CO.
- USE SIMPSON SET-XP EPOXY ICC ESR 2608. REPORT TO BE ON SITE DURING SPECIAL INSPECTION.
- AT DF-BEAMS, USE HU OR HUC HANGERS, AT MICROLAM OR PARALLAM BEAMS, USE HHU OR HGS HANGERS.
- LVL (F) = 2600 pH, Fv = 285 psi, E = 2.0 x 10<sup>6</sup> psi AND PSL (F) = 2500 pH, Fv = 280 psi, E = 2.2 x 10<sup>6</sup> psi BEAMS TO BE FROM WEYERHAEUSER OR APPROVED EQUIVALENT.



ROOF & CLG. FRAMG. PLAN SCALE: 1/4" = 1'-0" 9



FOUND. & FLR. FRAMG. PLAN SCALE: 1/4" = 1'-0" 10

Leopold Vandenberg, A.I.A. t. 650-224-6852  
**Leopold Design**  
 777 ENRIGHT AVE., SANTA CLARA, CA 95050



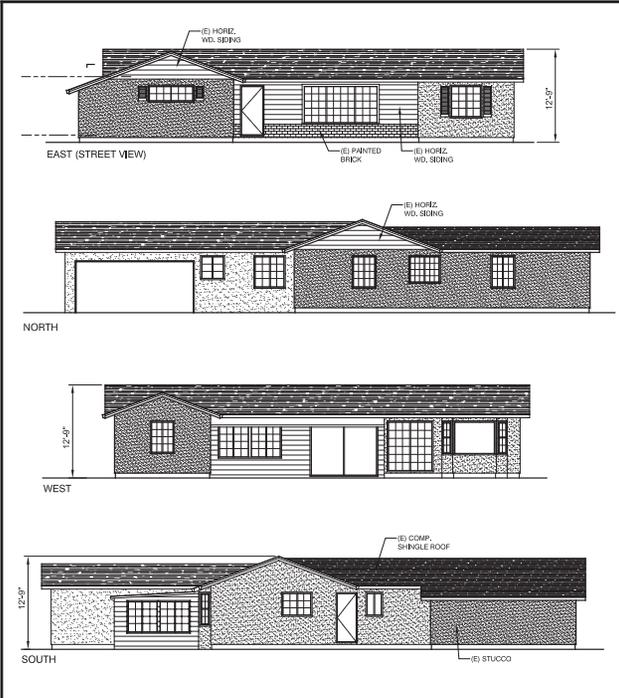
MODIFICATIONS TO THE HOME OF:  
**KYLA & BRIAN MEIDINGER**  
 879 SWEETBRIAR DRIVE, CAMPBELL, CA 95008

EXTERIOR ELEVATIONS  
 FRAMING PLAN  
 FOUNDATION PLAN

JOB NO. 879\_15 DRAWN BY LV  
 DATE: MARCH 7, 2016

REVISIONS

SHEET NO. **A2.00**  
 OF: 1 of 4



EXISTING EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0"



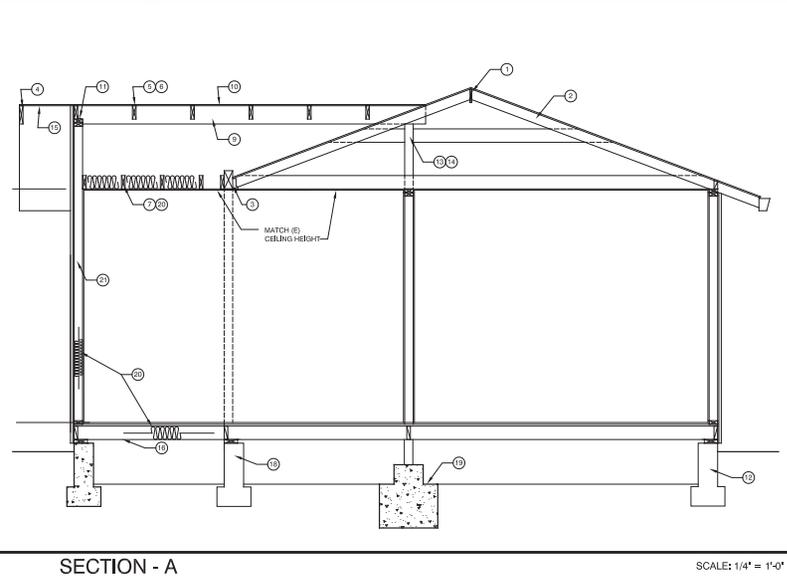
PROPOSED EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

KEY NOTES

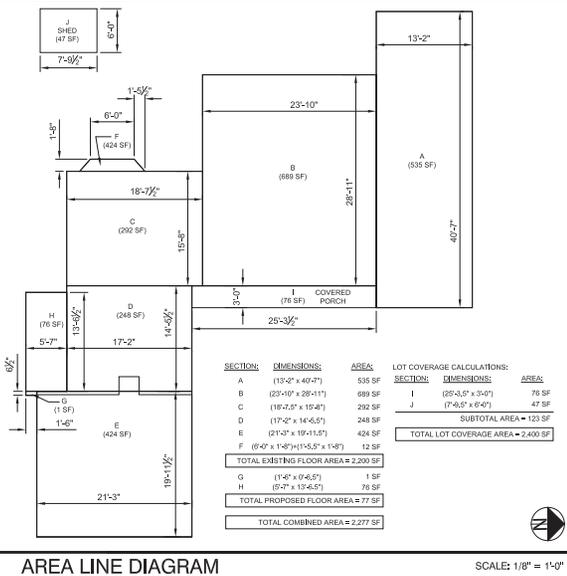
- EXISTING 1x OR 2x RIDGE BOARD
- EXISTING 2x RAFTER
- 4x8 D.F. NO.1 BEAM W/ LUGS 2x HANGERS AT CLO. JSTS.
- 2x8 FASCIA AT RAKE
- LSTA15 STRAP ACROSS RIDGE AT 48% C. TYP. AT ROOF RAFTERS
- 2x6 ROOF RAFTERS AT 24" O.C. D.F. NO. 2 (WITH 2x4 TABLS)
- 2x6 CEILING JOISTS AT 16" O.C. D.F. NO. 2.
- GUTTER AND DOWNSPOUTS TO MATCH (E).
- 4x8 D.F. NO. 1 RIDGE BEAM, TYP.
- NEW 1/2" OSB RAFTERS BD. W/ 100 NAILS AT 6" O.C. BOUNDARY NAILING, 1" O.C. EDGE NAILING, & 12" O.C. FIELD NAILING W/ 2x BULK AT ALL UNSUPPORTED EDGES, TYP.
- USE AS3 AT 16" FROM WALL TO TOP PLATE TO 2x BLOOMING.
- EXISTING FOUNDATION AND FLOOR FRAMING TO REMAIN.
- IN 4x4 D.F. NO. 1 POST UNDER RIDGE BEAM VALLEY, OR HP
- KING POST: MATCH WIDTH / DEPTH OF BEAM ABOVE & BELOW WITH PIGGYBACK AT 0.4 BEAMS, AND SCOTCHCO AT PARALLEL BEAMS. VARIANTE EAVE AND RAKE SHEATHING W/ 100 NAILS AT 6" O.C. EAVE AND 12" O.C. RAKE. PROVIDE 0.8L ROOF RAFTERS LOCATED ABOVE GABLE END RAKE WALL. PROVIDE ROOF SHEATHING EDGE NAILING TO DBL. RAFTERS. PROVIDE AS3 CLIPS AT 16" O.C. FROM DBL. RAFTERS TO TOP PLATE OF WALL.
- (N) 2x8 FLR. JSTS. AT 16" O.C.
- DBL. FLR. FRMG. AT (N) WALLS. ADD SOLID BULK UNDER WALLS STEIN BAYS.
- PROVIDE CRAWL SPACE ACCESS MIN. SIZE F. 18"x24" THROUGH (E) STEM WALL. DRILL HOLES BETWEEN JOIST BLOCKING TO ALLOW FOR CROSS VENTILATION. PROVIDE: (1) FOUNDATION 6x14 SCREEN VENT.
- UNDER RIDGE BEAM - POST AND FOOTING: (N) 4x4 D.F. NO. 1 POST W/ 6"x6" AT BEAM AND 14"x14" SQUARE BY 10" DEEP FOOTING WITH (4) #4 REINFORCING BARS EACH WAY AT THE BOTTOM. NEW 4x BLOOMING UNDER NEW POSTS, LUGS AT 4x4. EMBEDDED STRAP. #4 BAR PASSED THRU STRAP
- INSULATION: @ WALLS=R-13 MIN., @ FLOOR=R-19 MIN., @ CIG.=R-30 MIN.
- BALLOON FRAME GABLE END WALL.
- NEW WINDOWS TO BE VINYL DUAL GLAZED, LOW-E WINDOWS.
- NEW MTL. PAINTED GUTTERS AND DOWNSPOUTS
- ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE DIRECTED TO SPRAY DRUMS OR OTHER IMPERVIOUS SURFACES THAT DEFLECT THE WATER AWAY FROM THE BUILDING. SLOPE 2% AWAY FROM FOUNDATION AREA.
- 3 COAT CEM. PLASTER OVER 2 LAYERS OF TYPE-D BLDG. FELT OVER 15" O.P. W/ 150 @ 16" O.C. B.N., 1" O.C. E.N., & 12" O.C. F.N. W/ 2x BULK AT PANEL EDGES.
- PROVIDE ROOF FOUND. VENTS PER CALCS ON THIS SHEET
- THE NFRC LABEL WHICH STATES THE REQUIRED U-VALUE AND SHGC FOR ALL PENETRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION OR REMOVAL BY A BUILDING INSPECTOR. U-FACTOR < 0.40, SHGC < 0.40
- PRIVACY GLASS, OBURORE
- EYEBROW ROOF VENTS, PER CALCULATIONS.
- 2% LOT DRAINAGE AWAY FROM BUILDING FOR A MIN. OF 10' IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT
- 10' DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATE METHOD. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MIN. OF 2%.
- (N) CLASS 'B' MIN. COMPOSITION ROOF. TO MATCH (E)

VENTILATION CALCULATIONS

ATTIC VENTILATION CALCULATIONS		FOUNDATION VENT CALCULATIONS	
1st Floor Roof Area: 77 SF / 300 = 0.19 SF VENT AREA REQUIRED	0.19 SF VENT AREA REQUIRED	77 SF / 150 = 0.51 SF VENT AREA REQUIRED	0.37 SF VENT AREA REQUIRED
Total Required	0.19 SF / 2 = 0.095 SF 1/2 in/2x	0.37 SF / .50 = .74. NEED (1) VENTS DISTRIBUTED EQUALLY.	
<b>1st FLOOR ROOF ADDITION</b>			
NEED 0.095 SF MIN VENTILATION		VENT SPECIFICATIONS:	
(1) ROOF VENTS @ 0.42 SF EACH	0.42 SF	(N) Roof Vent:	Eyebrow Vent #2000 Net Free Area = 420 SF
NEED 0.095 SF LOW VENTILATION		(N) Eave Vent:	1 1/4" - High = 0.0084 SF, 5 per Rafter Space. Total Net Free Area = 420 SF
(3) EAVE BAYS @ 0.042 SF EACH EQUALS	1.26 SF	(N) Foundation Vent:	6x14 Found. Vent #3224 Net Free Area = 50 SF
TOTAL SF TO BE INSTALLED	1.68 SF		



SECTION - A SCALE: 1/4" = 1'-0"



AREA LINE DIAGRAM SCALE: 1/8" = 1'-0"



MODIFICATIONS TO THE HOME OF:  
**KYLA & BRIAN MEIDINGER**  
 879 SWEETBRIAR DRIVE, CAMPBELL, CA 95008

EXTERIOR ELEVATIONS  
 AREA DIAGRAM  
 SECTION - A

JOB NO. 879\_15 DRAWN BY LV  
 DATE: MARCH 7, 2016  
 REVISIONS:  
 CITY PLANNING DEPT. 04/06/16

SHEET NO. **A3.00**  
 OF: 1 of 4



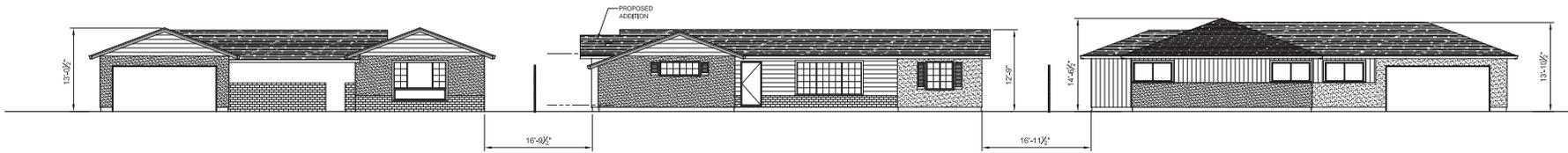
891  
SWEETBRIAR



879  
SWEETBRIAR



863  
SWEETBRIAR



STREETSCAPE EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



MODIFICATIONS TO THE HOME OF:  
**KYLA & BRIAN  
 MEIDINGER**  
 879 SWEETBRIAR DRIVE, CAMPBELL, CA 95008

STREETSCAPE

JOB NO. 879\_15 DRAWN BY LV

DATE: MARCH 7, 2016

REVISIONS

SHEET NO.  
**A4.00**  
 OF: 1 of 4

**Material Board**  
879 Sweetbriar Drive

Roofing – Asphalt composition shingle to match existing



Rake trim, Gutter, and Eave to match existing



Metal gutter and downspouts to match existing



Cement plaster finish and color to match existing









CITY OF CAMPBELL • PLANNING COMMISSION  
Staff Report May 24, 2016

**PLN2016-46 (TPM)  
Sulic, V.**

Continued Public Hearing to consider the application of Velimir Sulic for a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision of property owned by Shahin Jahanbani located at **44 El Caminito Avenue**, in the R-1-6 (Single-Family Residential) Zoning District.

**STAFF RECOMMENDATION**

That the Planning Commission take the following action:

1. **Adopt a Resolution**, incorporating the attached findings, approving a Tentative Parcel Map (PLN2016-46) to create a two-lot single-family subdivision, subject to the attached Conditions of Approval.

**ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find this project Categorical Exempt under Section 15315, Class 15, of the California Environmental Quality Act (CEQA) pertaining to the division of property in urbanized areas into four or fewer parcels when the division is in conformance with the City's General Plan and Zoning Code.

**BACKGROUND**

At its meeting of April 26, 2016, the Planning Commission held a public hearing on the project, taking comment from the applicant, property owner, and neighboring residents. The Commission's discussion focused on questions of consistency with the strategies and policies contained in the General Plan, neighborhood compatibility and potential for neighborhood impacts as reflected in the meeting minutes (reference **Attachment 9**) and discussed in greater detail below. After due consideration, the Commission motion resulted in a split vote, 2 in favor, and 2 in opposition to the applicant's proposal with three commissioners absent. In consideration of the split vote, the applicant requested that the item be continued to a future meeting date when more members of the Planning Commission would be in attendance.

**DISCUSSION**

Property Location: The subject property is located on the south side of El Caminito Avenue, west of Winchester Boulevard, and east of California Avenue (reference **Attachment 4** – Location Map). The property borders residential properties to the north, south, and west, and a vacant commercial lot to the east which is approved for a new mixed use development.

Proposal: The applicant is requesting approval of a Tentative Parcel Map to allow the division of one residential parcel into two parcels (reference **Attachment 5** – Tentative Parcel Map). The proposed lot configuration consists of one standard lot (Parcel 1) having an 82-foot wide public frontage along El Caminito and one rear/flag lot parcel (Parcel 2) with an 18-foot wide access frontage. The subject property is currently developed with a single-family residence that will be demolished as part of the subdivision.

## ANALYSIS

Continuance Report: As a continued public hearing item, this report serves to expand on the key discussion points raised at the April 26, 2016 Planning Commission meeting. Please refer to the previous Planning Commission Staff Report (reference **Attachment 8**) for a summary of the project data, and previously provided analysis of the General Plan, Zoning, procedural requirements, development standards, parcel map design, building layout and architecture, parking, neighborhood compatibility and flag/rear lot proliferation, traffic generation, overcrowding and crime, and street improvements.

Consistency with the General Plan: The General Plan is implemented through a combination of special project areas (e.g. San Tomas Area Neighborhood Plan), overlay districts (e.g. Alice Avenue Historic Preservation District), and administrative and development requirements (e.g. procedures and setbacks) outlined in the Campbell Municipal Code (CMC). Together, these documents serve to provide transparency for property owners and the tools necessary for staff and decision makers to implement various goals, policies and strategies of the General Plan. When a standard is inconsistent with the General Plan, the General Plan will generally indicate what needs to change and through what process that change should occur (e.g. amend the code, conduct a study of an area, or adopt an area plan). In consideration of Title 20 (Subdivision and Land Development) of the CMC, no such guidance to amend the code has been provided by the General Plan, nor is there a basis provided in the CMC to deny a permit (i.e. findings) when a Tentative Parcel Map conforms with the applicable development standards (e.g. minimum lot size, lot width, frontage requirements).

Often there is a tendency to cite broad policy objectives contained in the General Plan to oppose a project, even when the project can be found consistent with more specific or targeted implementation measures (i.e. development standards, or area plans). This practice can create uncertainty in the decision making process, challenge private property rights, and run counter to the area plans and development standards which have been established with the intent of implementing and reinforcing objectives of the General Plan. As such, a decision to deny an applicant's proposal should extend beyond being responsive to neighborhood opposition from individuals who may not be representative of an entire neighborhood or community<sup>1</sup>. Taken to the extreme, a denial based solely on public sentiment is tantamount to finding that the creation of a flag lot would only be appropriate when a complaint is not received. As such, should the voting majority of the Planning Commission conclude that a denial is warranted for the subject application an alternative set of findings has been attached which provides an open ended framework for such a determination to be rendered (reference **Attachment 3- Findings for Denial**). While conflicts with the General Plan and/or Municipal Code may be cited as a basis for denial, it is recommended to articulate the reason why a flag/rear lot is inconsistent in the specific instance, as to not set the tone for an unintentionally broad precedent (especially when a proposal may be approved under otherwise similar circumstances).

Neighborhood Compatibility: At the public hearing, comments from members of the public and the Planning Commission referred to the proposal as not being 'single-family residential'. To clarify, this proposal would create two separate conforming single-family lots (not a duplex, or small lot development), in a single-family residential neighborhood, consistent with the development standards of the zoning district (R-1-6), and density range outlined in the General Plan for the neighborhood. If the creation of a flag lot or other aspects of the proposal are not considered to be single-family in

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<sup>1</sup> Letters from residents of the surrounding neighborhood in support to the application have been included as part of the Public Comments (reference **Attachment 7**).

‘character’ or appropriate for this particular neighborhood, the basis of this determination would need to be clearly presented in the findings. However, as there are several other flag lots in the neighborhood (reference **Attachment 6** – Existing and Potential Lot Splits), and provided that the creation of a flag lot is a permitted and not discouraged type of development in this neighborhood by code, and the City has not received complaints with these types of configured parcels, additional clarification should be offered to explain how these factors have been taken into account in the determination.

Neighborhood Impacts: Within the April 26, 2016 Planning Commission Staff Report (reference **Attachment 8**) an evaluation of public comments and assessment of potential impact(s) (traffic, parking, crime, overcrowding) from the creation of an additional single-family residential property had been provided. At the Planning Commission meeting, the discussion focused on ‘aesthetics’ but stopped short of articulating which parts of the proposal (or anticipated development of the properties) would or could be visually inconsistent with the neighborhood. In that the existing property already could develop a second-driveway, and a secondary dwelling unit at the rear of the property without a discretionary review permit process, it has proven challenging for staff to identify the visual impact that is intended to be mitigated through a denial of the applicant’s proposal. The following table serves to summarize the key differences between what could be built under existing conditions, and what could be built if the flag lot were approved:

	Existing Development Potential (Single Lot)	Proposed Condition (Front Lot & Rear/Flag Lot)
Second-Driveway	Yes	Yes
Second House	No	Yes
Secondary Dwelling Unit	Yes	No
Floor Area / Lot Coverage	7,373 sq. ft. / 6,553 sq. ft. (One large unit, or divided with second unit)	No Change (Proportionately Divided Between Lots)
Allowable Height	35-feet & 14-feet <sup>2</sup>	35-feet
Design Review Req.	No	No

As illustrated by the preceding table, the most significant differences would be that the development of a second/rear house would be allowed to be built up to 35-feet in height where a detached secondary dwelling unit and that the developer would need to proportionately divide the floor area of the structures between the proposed lots. Other changes resultant from the proposal, such as ownership, and the location of property lines would not in and of themselves result in a design concern. Should the Planning Commission consider these, or other impacts identified during discussion significant, restrictions on the parcel map necessary could be proposed as conditions of approval on one or both of the lots (e.g. height restrictions, floor area or lot coverage limitations).

Public Comments: Since the last meeting, no further public comments have been received. Correspondence provided as desk items at the April 26, 2016 Planning Commission meeting have been combined into the public comments (reference **Attachment 7**).

Alternatives: Staff has provided two alternatives for this proposal:

1. **Deny the Request**, completing sections left blank in Attachment #3 and providing robust findings explaining how and why the determination is able to be made.

<sup>2</sup> Secondary dwelling units are restricted in height to 14-feet and one-story when detached; when attached they shall meet the height restrictions for the zone in which it is located (i.e. 35-feet).

2. **Approve the Request**, imposing restrictions on the parcel map to control future development (e.g. height limitations, floor area, setbacks, number of stories).

Should an alternative be favored over staff's recommendation, it would be requested that the Planning Commission review the General Plan<sup>3</sup> (with an emphasis on the Land Use Element – Pg. 28 // LUT-1 through LUT-65) and be prepared to reference specific goals, policies and implementation measures to support the alternative. When imposing restrictions on the parcel map as conditions of approval, the Planning Commission should first identify General Plan inconsistencies or focuses as to how it applies to the proposed development and how the application of the conditions will mitigate impacts (i.e. limit future development to not exceed two-stories, as other homes in the neighborhood do not exceed two-stories).

Prepared by:

  
\_\_\_\_\_  
Stephen Rose, Associate Planner

Approved by:

  
\_\_\_\_\_  
Paul Kermoyan, Community Development Director

Attachments:

1. Findings for Approval of File No. PLN2016-46 (Tentative Parcel Map)
2. Conditions of Approval for File No. PLN2016-46 (Tentative Parcel Map)
3. Findings for Denial of File No. PLN2016-46 (Tentative Parcel Map) with blank framework
4. Location Map
5. Tentative Parcel Map
6. Existing & Potential Lot Splits
7. Public Comments
8. April 26, 2016 – Planning Commission Staff Report
9. April 26, 2016 – Planning Commission Meeting Minutes

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<sup>3</sup> The General Plan can be found online as follows: <http://www.cityofcampbell.com/DocumentCenter/View/2664>.

**FINDINGS FOR APPROVAL OF FILE NO. PLN2016-46  
(TENTATIVE PARCEL MAP)**

SITE ADDRESS: 44 El Caminito Avenue  
APPLICANT: Velimir Sulic  
OWNER: Shahin Jahanbani  
P.C. MEETING: May 24, 2016

Findings for approval of a Tentative Parcel Map to create a two-lot single-family subdivision of property located at 44 El Caminito Avenue.

The Planning Commission finds as follows with regard to file number PLN2016-46:

Environmental Finding

1. The project is Categorically Exempt under Section 15315, Class 15, of the California Environmental Quality Act (CEQA) pertaining to the division of property in urbanized areas into four or fewer parcels when the division is in conformance with the City's General Plan and Zoning Code.

Evidentiary Findings

1. The project site is within the R-1-6 (Single-Family Residential) Zoning District.
2. The project site has a *Low Density Residential (less than 6 units/gr. ac.)* General Plan designation.
3. The proposed project is an application for a Tentative Parcel Map to allow a subdivision resulting in two single-family residential lots.
4. The proposed subdivision would result in two lots consistent with the applicable provisions of the Zoning and Subdivision and Land Development Codes, including minimum lot size, minimum width dimension, and minimum access way.
5. The proposed Tentative Parcel Map will result in densities of 5.73 and 3.60 units per gross acre for the new Parcel 1 and Parcel 2, respectively, which is consistent with the General Plan.
6. The Campbell Subdivision and Land Development Code designates the Planning Director (Community Development Director) as the decision-making authority for Tentative Parcel Maps.
7. Administrative decisions of the Community Development Director are considered pursuant to the administrative decision processes prescribed by CMC Chapter 21.71 of the Campbell Municipal Code.
8. The administrative decision process allows the Community Development Director to refer any request to the Planning Commission for a decision pursuant to CMC Section 21.38.020.

9. The Community Development Director decided to refer this permit to the Planning Commission for a decision in response to public concerns and requests for a public hearing.

Based on the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed Tentative Parcel Map does not impair the balance between the housing needs of the region and the public service needs of its residents and available fiscal and environmental resources.
2. The design of the Tentative Parcel Map provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
3. The proposed development will aid in the harmonious development of the immediate area.
4. There is a reasonable relationship between the use of the fees imposed upon the project and the type of development project.
5. No substantial evidence has been presented from which a reasonable argument could be made that shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.
6. The conditions of approval imposed on the project are reasonable and necessary under the circumstances to maintain the character of the neighborhood and protect the best interests of the surrounding properties and neighborhood.
7. The project is Categorical Exempt under Section 15315, Class 15, of the California Environmental Quality Act (CEQA).

**CONDITIONS OF APPROVAL FOR FILE NO. PLN2016-46  
(TENTATIVE PARCEL MAP)**

SITE ADDRESS: 44 El Caminito Avenue  
APPLICANT: Velimir Sulic  
OWNER: Shahin Jahanbani  
P.C. MEETING: May 24, 2016

The applicant is hereby notified, as part of this application, that (s)he is required to meet the following conditions in accordance with the ordinances of the City of Campbell and the State of California. The lead department with which the applicant will work is identified on each condition where necessary. Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney, or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations, and accepted engineering practices, for the items under review. Additionally, the applicant is hereby notified that (s)he is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified:

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division:**

1. Tentative Parcel Map Project: Approval is granted for a Tentative Parcel Map to allow the division of one residential parcel into two standard residential parcels on property located at **44 El Caminito Avenue**. The Final Parcel Map shall substantially conform to the Revised Parcel Map prepared by Donald R. Peoples (Engineer C29588, S2464), dated as received by the Planning Division on March 17, 2016.
2. Parcel Map Expiration: The Parcel Map approval is valid for a period of two (2) years from the effective date of approval. By this time the Final Map must be recorded.
3. Fencing Plan: The building permit plans for the new residences shall include a detailed "fencing plan" indicating placement of new fencing around the property.
4. Park Impact Fee: A Park Impact Fee per unit is due upon development of the site. Credit will be given for the existing single-family residence. Prior to recordation of the Final Parcel Map, 75% of this fee is due. The remaining 25% is due prior to issuance of a certificate of building occupancy. Presently, the park impact fee is \$17,447 per unit. Should this fee change prior to final map submittal, the new fee will apply.
5. Other Agency Requirements: If additional requirements from local agencies are received prior to application of the Final Parcel Map, they shall be considered required for submittal of the Final Parcel Map.

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**PUBLIC WORKS DEPARTMENT**

6. Parcel Map: Prior to issuance of any grading or building permits for the project, the applicant shall submit a Parcel Map for recordation upon approval by the City, pay various fees/deposits and submit the map in a digital format acceptable to the City.
7. Vacation of Public Easement: Tract Map No. 179 which created this lot also created a 25 foot "Building Line" to enforce building setbacks when this property was still in the County. If it is the applicant's intent to take advantage of the less restrictive R-1-6, 20 foot front setback, then the existing Building Line needs to be vacated / abandoned by City Council. Prior to issuance of any grading or building permits for the site, the applicant would need to fully complete the street vacation process, including approval by the City Council.
8. Monumentation for Parcel Map: Prior to recordation of the Parcel Map, the applicant shall provide a cash deposit (100% of the monument estimate) for setting all monuments shown on the map. Monuments shall be set per section 20.76.010 of the Campbell Municipal Code including but not limited to setting permanent pipe monuments (three-fourths inch galvanized steel pipe two feet long approximately six inches below finished grade) at each boundary of all lot corners within a subdivision, along the exterior boundary lines at intervals of approximately five hundred feet and at all beginning of curves and ending of curves on property lines, and monument boxes at intersections of all street monument line tangents.
9. Demolition: Prior to recordation of the Parcel Map, the applicant shall obtain a demolition permit and remove any nonconforming structures.
10. Soils Report: Upon submittal of the Parcel Map, applicant shall provide a soils report prepared by a registered geotechnical or civil engineer.
11. Grading and Drainage Plan: Prior to recordation of the Parcel Map, the applicant shall conduct hydrology studies based on a ten-year storm frequency, prepare an engineered grading and drainage plan, and pay fees required to obtain necessary grading permits. Prior to occupancy, the design engineer shall provide written certification that the development has been built per the engineered grading and drainage plans.
12. Storm Drain Area Fee: Prior to recordation of the Parcel Map, the applicant shall pay the required Storm Drain Area fee, currently set at **\$2,120.00** per net acre, which is **\$721.00**.
13. Stormwater Pollution Prevention Measures: Prior to issuance of any grading or building permits, the applicant shall comply with the National Pollution Discharge Elimination System (NPDES) permit requirements, Santa Clara Valley Water District requirements, and the Campbell Municipal Code regarding stormwater pollution prevention. The primary objectives are to improve the quality and reduce the quantity of stormwater runoff to the bay.

Resources to achieve these objectives include *Stormwater Best Management Practices Handbook for New Development and Redevelopment* ("CA BMP Handbook") by the California Stormwater Quality Association (CASQA), 2003; *Start at the Source: A Design Guidance Manual for Stormwater Quality Protection* ("Start at the Source") by the Bay Area Stormwater Management Agencies Association (BASMAA), 1999; and *Using Site Design*

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*Techniques to Meet Development Standards for Stormwater Quality: A Companion Document to Start at the Source* (“Using Site Design Techniques”) by BASMAA, 2003.

14. Tree Removals: To accommodate the required street improvements one street tree will be removed as part of this project. A new street tree will be installed to replace the tree removed.
15. Utilities: Utility locations shall not cause damage to any existing street trees. Where there are utility conflicts due to established tree roots or where a new tree will be installed, alternate locations for utilities shall be explored. Include utility trench details where necessary.
16. Water Meters and Sewer Cleanouts: Existing and proposed water meters and sewer cleanouts shall be relocated or installed on private property behind the public right-of-way line.
17. Utility Coordination Plan: Prior to recordation of the Parcel Map, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines; indicate which utilities and services are to remain; which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
18. Pavement Restoration: Based on the utility coordination plan, the applicant shall prepare a pavement restoration plan for approval by the City Engineer prior to any utility installation or abandonment. Streets that have been reconstructed or overlaid within the previous five years will require boring and jacking for all new utility installations. El Caminito Avenue has not been reconstructed or overlaid in the last 5 years. The pavement restoration plan shall indicate how the street pavement shall be restored following the installation or abandonment of all utilities necessary for the project.
19. Street Improvement Agreements / Plans / Encroachment Permit / Fees / Deposits: Prior to recordation of the Parcel Map, the applicant shall execute a street improvement agreement, cause plans for public street improvements to be prepared by a registered civil engineer, pay various fees and deposits, post security and provide insurance necessary to obtain an encroachment permit for construction of the standard public street improvements, as required by the City Engineer. The plans shall include the following, unless otherwise approved by the City Engineer:
  - a. Show location of all existing utilities within the new and existing public right of way.
  - b. Removal of existing driveway approach and necessary sidewalk, curb and gutter.
  - c. Installation of City approved street trees at 30 feet on center.
  - d. Installation of City standard curb, gutter, sidewalk and ADA compliant driveway approach. Installation of engineered structural pavement section to centerline, as required by the City Engineer.
  - e. Installation of asphalt concrete overlay per street pavement restoration plan for utility installation and/or abandonment, as required by the City Engineer.

- 
- f. Installation of service laterals for water, sanitary and storm drain utilities.
  - g. Installation of traffic control, stripes and signs.
  - h. Construction of conforms to existing public and private improvements, as necessary.
  - i. Submit final plans in a digital format acceptable to the City.
20. Street Improvements Completed for Occupancy and Building Permit Final: Prior to allowing occupancy of the last unit, the applicant shall have the required street improvements and pavement restoration installed and accepted by the City, and the design engineer shall submit as-built drawings to the City.
21. Maintenance of Landscaping: Owner(s), current and future, are required to maintain the landscaped park strip and tree wells in the public right of way. This includes, but is not limited to: trees, lawn, plantings, irrigation, etc. Trees shall not be pruned in a manner that would not allow the tree to grow to a mature height.
22. Utility Encroachment Permit(s): Separate City encroachment permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility encroachment permits for sanitary sewer, gas, water, electric and all other utility work.
23. Additional Street Improvements: Should it be discovered after the approval process that new utility main lines, extra utility work or other work is required to service the development, and should those facilities or other work affect any public improvements, the City may add conditions to the development/project/permit, at the discretion of the City Engineer, to restore pavement or other public improvements to the satisfaction of the City.

## **FIRE DEPARTMENT**

24. Limited Review: Review of this Development propose is limited to acceptability of site access and water supply as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

**FINDINGS FOR DENIAL OF FILE NO. PLN2016-46  
(PARCEL MAP)**

SITE ADDRESS: 44 El Caminito Avenue  
APPLICANT: Velimir Sulic  
OWNER: Shahin Jahanbani  
P.C. MEETING: May 24, 2016

Findings for denial of a Parcel Map to create a two-lot single-family subdivision of property located at 44 El Caminito Avenue.

The Planning Commission finds as follows with regard to file number PLN2016-46:

Environmental Finding

1. Denial of the project is Statutorily Exempt under Section 15270(a) of the California Environment Quality Act (CEQA), pertaining to projects which a public agency rejects or disapproves.

Evidentiary Findings

1. The project site is within the R-1-6 (Single-Family Residential) Zoning District.
2. The project site has a *Low Density Residential (less than 6 units/gr. ac.)* General Plan designation.
3. The proposed project is an application for a Parcel Map to allow a subdivision resulting in two single-family residential lots.
4. The Campbell Subdivision and Land Development Code designates the Planning Director (Community Development Director) as the decision-making authority for Parcel Maps.
5. Administrative decisions of the Community Development Director are considered pursuant to the administrative decision processes prescribed by CMC Chapter 21.71 of the Campbell Municipal Code.
6. The administrative decision process allows the Community Development Director to refer any request to the Planning Commission for a decision pursuant to CMC Section 21.38.020.
7. The Community Development Director decided to refer this permit to the Planning Commission for a decision in response to public concerns and requests for a public hearing.
8. The applicant's proposal would be inconsistent with the following section(s) of the Campbell Municipal Code \_\_\_\_\_.
9. The applicant's proposal would be inconsistent with the aforementioned section(s) of the Campbell Municipal Code because \_\_\_\_\_.
10. The applicant's proposal would be inconsistent with the following policies and/or strategies of the City of Campbell General Plan \_\_\_\_\_.

11. The applicant's proposal is inconsistent with the aforementioned policies and/or strategies of the City of Campbell General Plan because \_\_\_\_\_.

12. The applicant's proposal is inconsistent with the neighborhood because \_\_\_\_\_.

Based on the foregoing findings of fact, the Planning Commission further finds and concludes that:

13. The Planning Commission cannot affirmatively find that the project is consistent with the General Plan, and/or Campbell Municipal Code.

14. The denial of the project is Statutorily Exempt under Section 15270(a) of the California Environment Quality Act (CEQA), pertaining to projects which a public agency rejects or disapproves.

# Location Map







NO.	DATE	REVISION DESCRIPTION
1	02/08/16	ISSUED FOR CITY COMMENTS
2		
3		
4		
5		

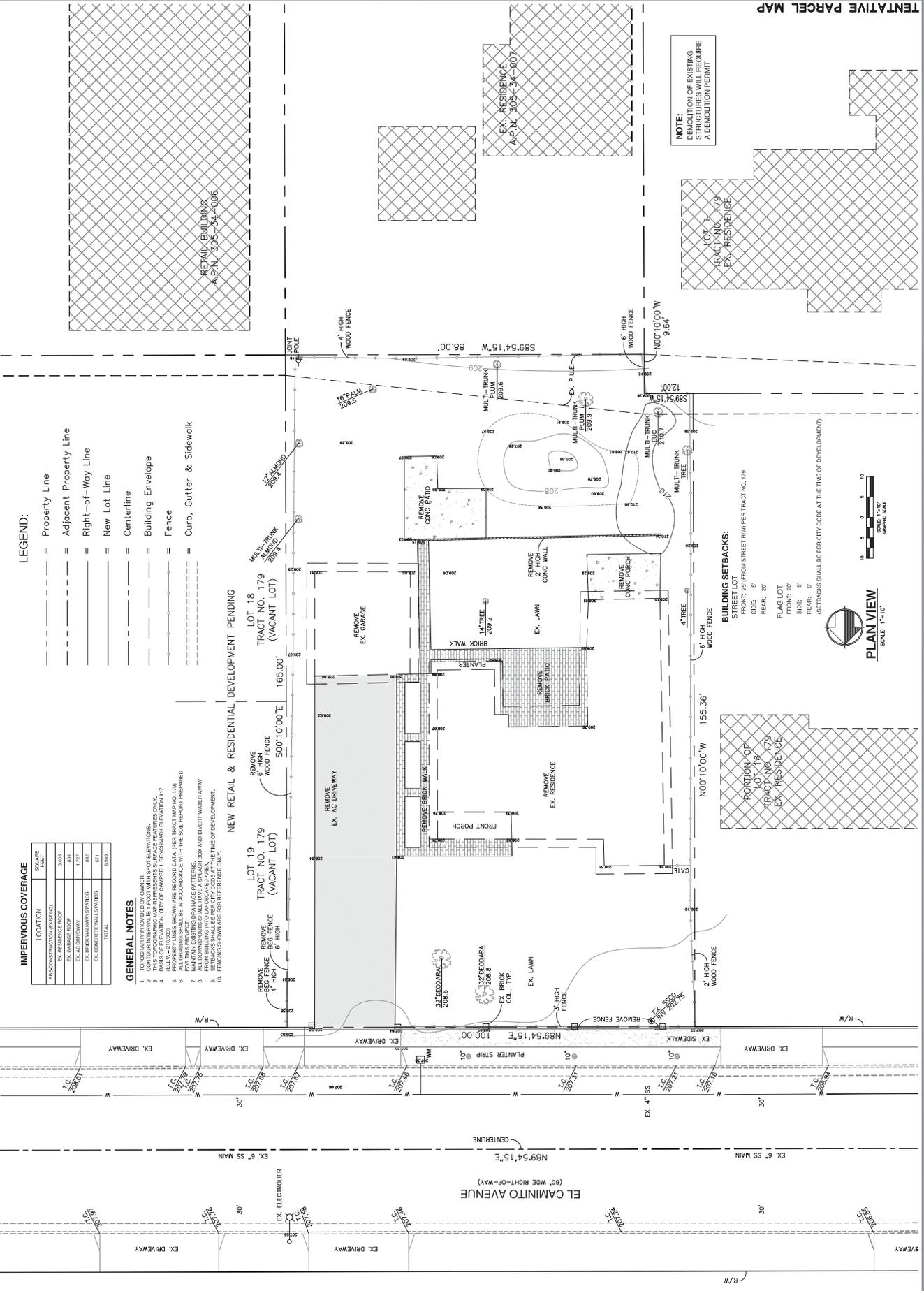
DESIGNED BY: V.S.  
 DRAWN BY: S.C.  
 CHECKED BY: S.C.  
 SCALE: AS SHOWN  
 DATE: 2/08/16

PEOPLES ASSOCIATES  
 STRUCTURAL ENGINEERS  
 1998 Third Court  
 Milpitas, CA 95035  
 Fax: 408-957-9221  
 408-957-9220

SITE PLAN  
 (EXISTING CONDITIONS - DEVELOPMENT PLAN)  
 LANDS OF WU & JAHANBANI  
 44 EL CAMINITO AVENUE  
 CAMPBELL, CALIFORNIA

SHEET NUMBER: 2  
 OF 6 DRAWING NO. SHEETS: 16007-2

TENTATIVE PARCEL MAP



**LEGEND:**

- Property Line
- Adjacent Property Line
- Right-of-Way Line
- New Lot Line
- Centerline
- Building Envelope
- Fence
- Curb, Gutter & Sidewalk

**IMPERVIOUS COVERAGE**

LOCATION	SQUARE FEET
RE-CONSTRUCTION (EXISTING)	3005
EX. RESIDENCE ROOF	804
EX. GARAGE ROOF	1727
EX. AC DRIVEWAY	1227
EX. DRIVEWAY	1227
EX. CONCRETE WALKWAYS	671
<b>TOTAL</b>	<b>6349</b>

**GENERAL NOTES**

1. PROGRAM REQUIREMENTS BY OWNER.
2. CONTOUR INTERVAL IS 2-FOOT WITH SPOT ELEVATIONS.
3. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL.
4. BASIS OF ELEVATION: CITY OF CAMPBELL BENCHMARK ELEVATION #7.
5. EXISTING UTILITIES SHOWN ARE RECORD DATA. (PER TRACT MAP NO. 179).
6. ALL GRADING SHALL BE IN ACCORDANCE WITH THE SOIL REPORT PREPARED BY [REDACTED].
7. MAINTAIN EXISTING DRAINAGE PATTERNS.
8. FROM SOIL REPORT INTO LANDSCAPED AREA.
9. SETBACKS SHALL BE PER CITY CODE AT THE TIME OF DEVELOPMENT.
10. FINISH SURFACING FOR THE DRIVEWAY ONLY.

**NEW RETAIL & RESIDENTIAL DEVELOPMENT PENDING**

LOT 18 TRACT NO. 179 (VACANT LOT) 165.00' x 300.10' 00" E

LOT 19 TRACT NO. 179 (VACANT LOT) 100.00' x 165.00'

**NOTE:**  
 DEMOLITION OF EXISTING STRUCTURES REQUIRE A DEMOLITION PERMIT

**BUILDING SETBACKS:**

STREET LOT SETBACK: 25' FROM STREET (R/W) PER TRACT NO. 179  
 SIDE: 20'  
 REAR: 20'  
 FLAG LOT FRONT: 30'  
 REAR: 5'  
 (SETBACKS SHALL BE PER CITY CODE AT THE TIME OF DEVELOPMENT)



**PLAN VIEW**  
 SCALE: 1"=10'





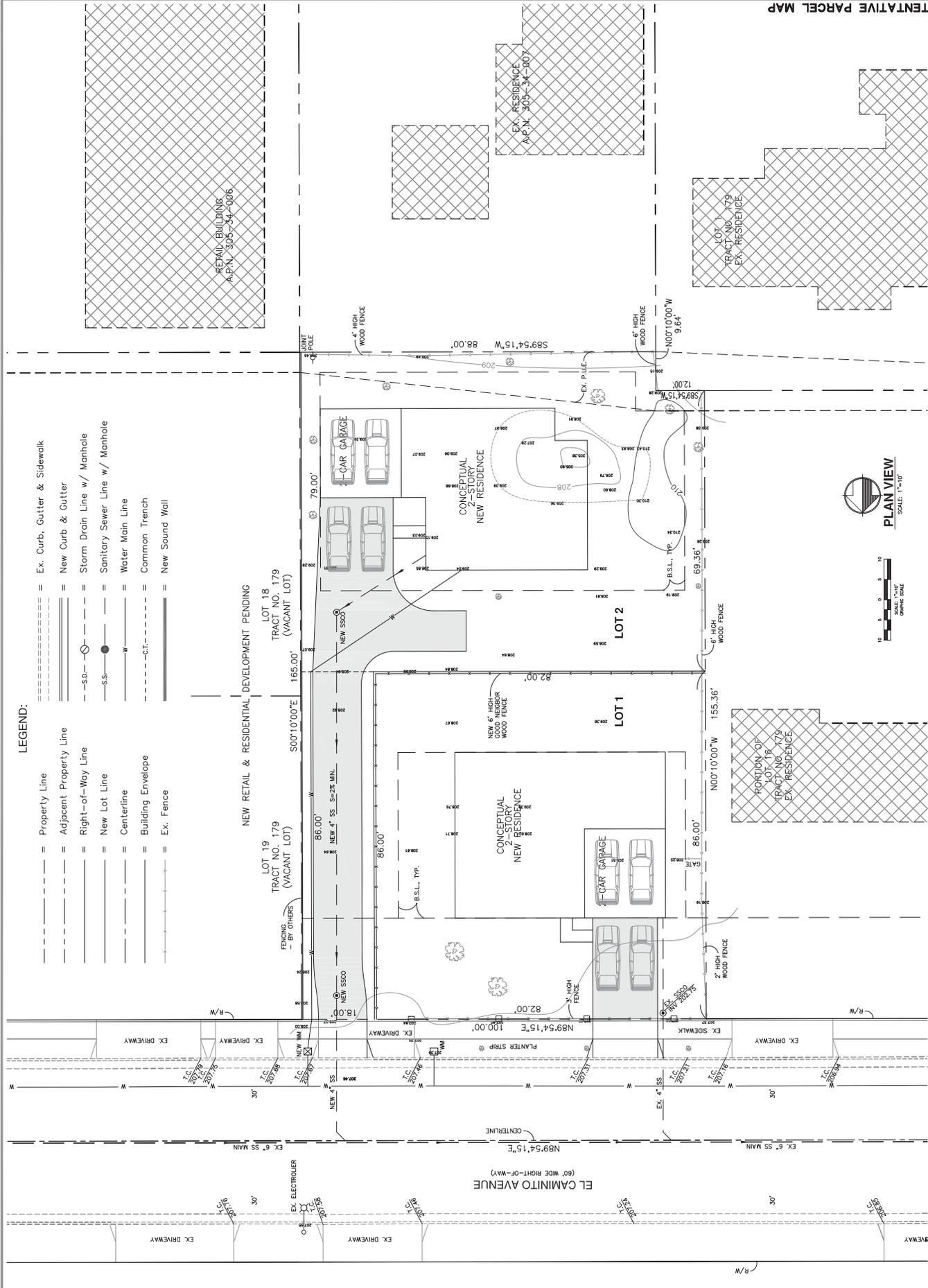


NO.	DATE	REVISION DESCRIPTION
1	02/08/16	ISSUED FOR CITY COMMENTS
2		REMOVED TO CLIENT & CITY
3		
4		
5		
6		
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9		
10		

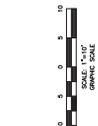
DESIGNED BY: V.S.  
 DRAWN BY: R.S.C.  
 CHECKED BY: J.S.  
 SCALE: AS SHOWN  
 DATE: 2-08-16  
 PROJECT NO: 29,988  
 1998 Tenth Court  
 Milpitas, CA 95035  
 408-937-9220  
**PEOPLES ASSOCIATES**  
 STRUCTURAL ENGINEERS

CONCEPTUAL UTILITIES PLAN  
 LANDS OF WU & JAHANBANI  
 44 EL CAMINITO AVENUE  
 CAMPBELL, CALIFORNIA  
 SHEET NUMBER: 5  
 OF 6 DRAWING NO. SHEETS: 16007-5

TENTATIVE PARCEL MAP

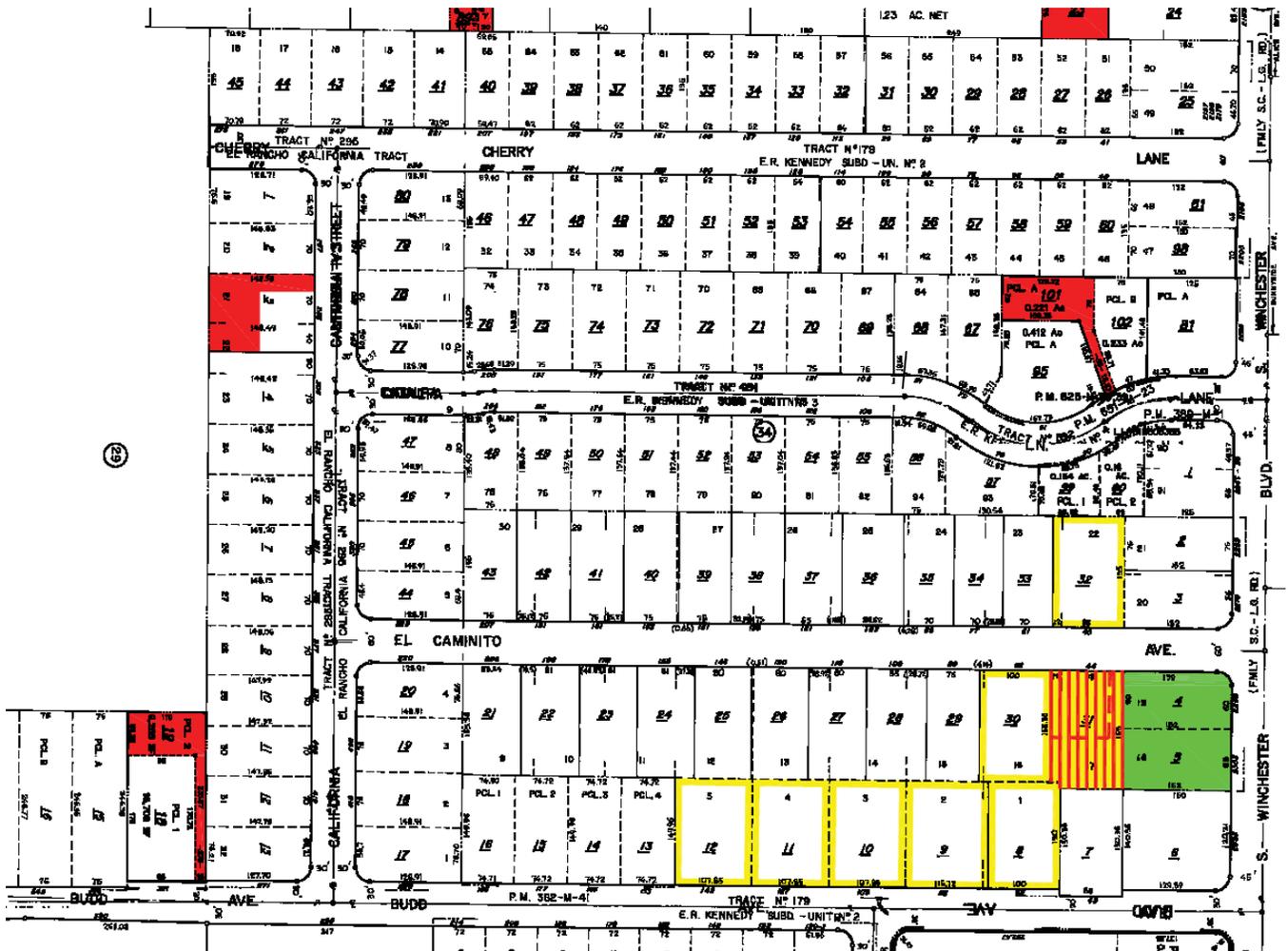


- LEGEND:**
- Property Line
  - Adjacent Property Line
  - Right-of-Way Line
  - New Lot Line
  - Centerline
  - Building Envelope
  - Ex. Fence
  - Ex. Curb, Gutter & Sidewalk
  - New Curb & Gutter
  - Storm Drain Line w/ Manhole
  - Sanitary Sewer Line w/ Manhole
  - Water Main Line
  - Common Trench
  - New Sound Wall





# Existing & Potential Lot Splits



PROJECT SITE



EXISTING FLAG LOT



POTENTIAL LOT SPLIT / FLAG LOTS



APPROVED 16 UNIT CONDOS + RETAIL

44 El Caminito two lot subdivision

To whom it may concern,

We are neighbor of 44 El Caminito Ave property in Campbell, and we support the flag lot split at 44 El Caminito.

Name: FRASER M. LANGFORD  
Property address: 86 BUDD AVE.  
Campbell, CA 95008  
Signature: Fraser M Langford  
Date: 4/20/2016

44 El Caminito two lot subdivision

To whom it may concern,

We are neighbor of 44 El Caminito Ave property in Campbell, and we support the flag lot split at 44 El Caminito.

Name: JAMES M. LANGFORD  
Property address: 109 BUDD AVE. CAMPBELL, CA 95008  
Signature: James M. Langford  
Date: 4/14/2016

44 El Caminito two lot subdivision

To whom it may concern,

We are neighbor of 44 El Caminito Ave property in Campbell, and we support the flag lot split at 44 El Caminito.

Name: Mary Langford  
Property address: 65 Budd Avenue  
Signature: *Mary Langford*  
Date: 4/14/16

April 25, 2016

**To:** Commissioner Dodd, Commissioner Kendall, Commissioner Finch, Commissioner Young, Commissioner Reynolds, Commissioner Rich and Commissioner Bonhagen

**RE:** PLN2016-46 44 El Caminito Ave

I am unable to attend the Planning Commission meeting on April 26<sup>th</sup> due to business travel but wanted to relay my concerns and opinions regarding Shahin Jhanbani's request to split the lot at 44 El Caminito.

This request is in direct conflict with the following excerpt from the Land Use Element of the General Plan! A flag lot with 2 Two Story Homes conflicts with the existing character of El Caminito Ave.

**“Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.”**

**There are no flag lots on El Caminito;** I recommend we keep it that way regardless of eligibility! This area contains the last of the big lots in the City of Campbell. I would ask that this be considered in an effort to preserve the option of large lots for future and existing residents of the City rather than limiting to small or zero lots with very little green space per residence. I realize only a few lots on the street currently qualify to be split but feel strongly that allowing this one will merely lead to future requests to make an exception to or amend the current guidelines.

Currently the majority of homes on El Caminito Ave, California, Catalpa and Cherry represent a late 1930's to early 1950's custom ranch home community. I would like to see this preserved and am willing to get involved to make that happen. Let's look for ways to preserve some of the heritage that makes Campbell such a great community.

I ask that you exercise your vote to represent the community/neighborhood and the existing character of El Caminito and against a developer who has no personal investment in this community other than to make a profit by flipping this property.

Thank you!

Lee Ann and Tom Kuntz

206 El Caminito Ave

## Stephen Rose

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**From:** captal44@aol.com  
**Sent:** Saturday, April 02, 2016 10:48 AM  
**To:** Stephen Rose  
**Subject:** flag lots in campbell

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Sir:

Let me be brief and perfectly clear. The City administration is on a helter skelter pace to overbuild this city. Their philosophy of "Neighborhood Preservation" is non existent! The neighborhood of the proposed "Flag Lots" in the California / El Caminito .area does NOT WANT them. We want to "Preserve" our neighborhood as is. Stop crowding us out. No flag lots, no more commercial intrusion!

Al Lowder  
351 California st.

## Stephen Rose

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**From:** Dominika <dominika.isabell@gmail.com>  
**Sent:** Saturday, April 02, 2016 12:28 PM  
**To:** Stephen Rose  
**Subject:** Comment on Parcel Map Application, 44 El Caminito Ave

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr Rose,

I am writing to voice my concern on the parcel map of 44 El Caminito Ave, File No. PLN2016-46.

We are a young family that moved last year October to Campbell. We bought the house on 110 El Caminito Ave, because the street is quite and has only single family houses. We want to raise our children in this intimate environment, with low traffic and a good relationship to our neighbors.

I am concerned that this project will increase traffic and also change the character of the street/neighborhood, if multi-family housing/apartments will be permitted. I am sure that the frequency of new people moving in/out would increase and the relationship to the neighbors would become anonymous. This will likely decrease property value as well.

Even though this affects only one property, it is likely that others will see this as an example and will apply for the same. This will destroy the current character of the neighborhood.

I hope that you can understand that an approval would have a negative impact on our family. I want to trust that the City of Campbell is striving to keep the El Caminito Community as it is, a single-family residential area.

Best,

Dominika Soennichsen  
110 El Caminito Ave  
Campbell, CA 95008  
phone 650-209-0970

Date: April 3, 2016  
To: Stephen Rose  
City of Campbell Planning Department

From: Danny and Shannon Thomas  
Home Owner, 45 El Caminito Avenue



Re: File: PLN2016-46  
44 El Caminito Avenue Lot Split

We are writing to express our strong opposition to the lot split at 44 El Caminito. Our home is located directly across the street and we have just completed an extensive remodel/new home on a similar lot size and feel allowing a lot split would not be appropriate to our street design and would negatively affect our property values and more importantly the character of our Campbell neighborhood.

We have lived on El Caminito for over 10 years and chose our neighborhood because we wanted a larger lot for more space between our neighbors, and allowing a new buyer to subdivide the lot and build two large homes is not the right fit for the neighborhood and the preservation of Campbell's ranch style feel.

We feel by allowing the subdivision of a lot on our street will start the process of developers doing the same along the street as houses turn over as our residents are often elderly and this will ruin the style and property values on our street. I know it is being done on one lot on California but that lot was a special circumstance, and the end lots on Catalpa that were developed several years ago were vacant and much larger. It does not need to happen on El Caminito as our lot of similar size will not be subdivided and we should not have to deal with the new driveway from the development on the corner that is being added along with two driveways if this lot is allowed to subdivide. It is dangerous for my children already in the driveway and this will further make it unsafe for them to ride their bikes in the street in front of our house. The recent "Bulbouts" that were put in at Budd keep the traffic from being able to turn right so it gets backed up so they speed down our street to cut through to San Tomas so adding the additional driveways will further cause issues with traffic on our street.

Is it necessary to keep approving everything that is proposed? and with all the high density development happening down Kennedy and Railway why doesn't the city want to keep the downtown core family friendly and safe and preserve the established neighborhoods? Do you see what has happened with Sunnyside street? It has no curb appeal and is a disaster of how it was developed. Would you allow this on Alice Street? Certainly not. We feel our street is one of the last remaining nice streets on this side of Winchester and it is the responsibility of the planning

department to maintain the integrity of the neighborhood and not allow it to be chopped up and affect the values for those homeowners who purchased homes for a higher price or recently remodeled so they could be in a neighborhood of ranch homes with large yards. Please strongly consider that we have a three story retail/apartment complex being built across the street already which were opposed to as it too will sit empty like everything that has been built along Winchester. This application for a lot split is unnecessary and negative for everyone except the developer. The City of Campbell should try and meet the needs of the current residents and not try and force all the unwanted density and apartments as this is forcing the families out who want to raise their children in a neighborhood.

The buyers/developers have bought not to live in our neighborhood but to build large and make money and that is all so why would the city support this? Why not just have one home that gets remodeled and makes the city better? They don't live in Campbell, they don't know anything about the neighbors and they don't care. Please drive by and look at that home and see the weeds growing on what was once the mayor of Campbell, Norman Paul's home, and then look what we have done to our home across the street. We built a beautiful home because we care about living in Campbell and want to stay so please don't force families out like us. We bought at the height of the home market back in 2005 and two homes on our street have been sold and for 1.4 million plus in the last year and they have built beautiful homes to raise their families, and the City needs to respect this and understand that they must try and preserve their high end streets and not allow all the development to ruin them. There is plenty of development going on all around us to not allow the start more in the few remaining neighborhoods in the downtown core area.

Please contact us if you have any questions and we will submit a hardcopy to the Planning Commission office on Monday, April 4, 2015 and our neighborhood will file an appeal if this lot subdivision is approved. Thank you for your consideration and feel free to contact us if you would like to discuss this matter further.

Stephen Rose  
Associate Planner  
Community Development Department  
City of Campbell

Stephen,

These comments are in response to the proposed subdivision of 44 El Caminito in Campbell.

Although this property meets the size requirements to split, I believe the overall value, of this neighborhood has been missed and zero notable findings against the split have been cited. In the entire history of this neighborhood there has no flag lot splitting of an established property.

I believe the nod to 285 California St was a bad decision and should not be repeated. The original property owners, Gene Short and Brewster (Rusty) Hillard of 309 California St, purchased three of the Kennedy Tract lots and split them between both parties. They situated their houses equally upon each property with the idea of using the larger lots for their peace and happiness. This was the first affirmative on a flag lot in this neighborhood and apparently setting prescient as displayed by this request. Technically, another flag lot does exist as the result of the Watson house on Catalpa Lane developing the raw land adjacent to it. It is reasonable to point out that an existing lot in this instance was not "split" in this case but more accurately developed.

This subject will have repercussions throughout Campbell and should be heard in a public meeting. I am very concerned to hear from staff that the City ordinances are "old and don't provide the direction to oppose such a request". I am paraphrasing what I was told so this is not a quote. I think of all of the years of City leadership that protected our neighborhoods, I feel that to initiate such a change should certainly go beyond the discretion of the director.

I have much more to add to this subject but I think I will wait for a public forum. Thank you for your conscientious work, Stephen.

Russell Pfirman  
266 California St  
Campbell

## Stephen Rose

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**From:** John Meduri <jameduri@gmail.com>  
**Sent:** Monday, April 04, 2016 3:36 PM  
**To:** Stephen Rose  
**Cc:** debbie.meduri@gmail.com  
**Subject:** File PLN2016-46

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Stephen,

I live at 61 El Caminito Ave, diagonally across the street from the proposed subject development site and next door to Shannon Thomas, who had written to you earlier.

My wife and I have lived in this neighborhood for nearly 40 years and have always been attracted to the unique, custom homes and property it offers. Our concern about the proposed development plan is that it won't stop with this site. If that lot can be subdivided into two parcels, then the entire block can as well at some point (the lots are all large enough based on current city regulations). Is that what the city of Campbell wants down the road?

At this pace El Caminito Ave will turn into another Rincon Ave with all of its high density housing, parking problems and crime. With the influx of new businesses sprouting up in the city, tax revenues will continue to grow without the need to destroy the beauty of the neighborhoods just to increase the tax base.

Thank you for allowing me to opine on this issue. I appreciate the difficult job you have, but sincerely hope the city will give our concerns some serious consideration before making any final decisions.

Regards,

John and Debbie Meduri



**CITY OF CAMPBELL • PLANNING COMMISSION**  
**Staff Report • April 26, 2016**

**PLN2016-46 (TPM)**  
**Sulic, V.**

Public Hearing to consider the application of Velimir Sulic for a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision of property owned by Shahin Jahanbani located at **44 El Caminito Avenue**, in the R-1-6 (Single-Family Residential) Zoning District.

**STAFF RECOMMENDATION**

That the Planning Commission take the following action:

1. **Adopt a Resolution**, incorporating the attached findings, approving a Tentative Parcel Map (PLN2016-46) to create a two-lot single-family subdivision, subject to the attached Conditions of Approval.

**ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find this project Categorically Exempt under Section 15315, Class 15, of the California Environmental Quality Act (CEQA) pertaining to the division of property in urbanized areas into four or fewer parcels when the division is in conformance with the City's General Plan and Zoning Code.

**PROJECT DATA**

Zoning Designation:	R-1-6 (Single Family Residential – 6,000 sq. ft. min. lot size)
General Plan Designation:	Low Density Residential (less than 6 units/gr. acre)
Existing Gross Lot Area:	19,384 square feet
Existing Net Lot Area:	16,384 square feet
Existing Density:	2.24 units per gross acre
Proposed Parcel Sizes:	
Parcel 1 (front):	7,052 square feet (net) 7,592 square feet (gross)
Parcel 2 (rear):	7,784 square feet (area exclusive of driveway) 9,332 square feet (net area inclusive of driveway) 11,792 square feet (gross)
ROW Dedication:	N/A
Proposed Density:	
Parcel 1:	5.73 units/gr. acre
Parcel 2:	3.60 units/gr. acre
Adjacent Land Uses	
North:	Single Family Residential (R-1-6)
South:	Single Family Residential (R-1-6)
East:	Mixed-Use (PD; Planned Development)
West:	Single Family Residential (R-1-6)

## DISCUSSION

Property Location: The subject property is located on the south side of El Caminito Avenue, west of Winchester Boulevard, and east of California Avenue (reference **Attachment 3** – Location Map). The property borders residential properties to the north, south, and west, and a vacant commercial lot to the east which is approved for a new mixed use development.

Proposal: The applicant is requesting approval of a Tentative Parcel Map to allow the division of one residential parcel into two parcels (reference **Attachment 4** – Tentative Parcel Map). The proposed lot configuration consists of one standard lot (Parcel 1) having an 82-foot wide public frontage along El Caminito and one rear/flag lot parcel (Parcel 2) with an 18-foot wide access frontage. The subject property is currently developed with a single-family residence that will be demolished as part of the subdivision.

## ANALYSIS

General Plan: The Campbell General Plan represents the City's long term vision for the community and is intended to guide decision-making regarding the City's physical and economic growth. In this regard, the General Plan provides policies and strategies applicable to land use and development and organizes the City into a framework of distinct land use designations (i.e., commercial, residential, industrial, etc.), as codified by the General Plan Land Use Map. The General Plan land use designation for the project site is Low Density Residential (less than 6 units per gross acre). Residential density is determined by "gross" lot size, which includes titled property, as well as the adjacent right-of-way to street centerline. The current parcel has a gross lot area of approximately 19,384 square feet with an existing density of 2.24 units per gross acre. As proposed, Parcel 1 and Parcel 2 have gross lot areas of 7,592 square feet and 11,792 square feet, respectively, with resulting densities of 5.73 and 3.60 units per gross acre, consistent with the General Plan Land Use Designation.

In consideration of the applicant's proposal, the Land Use Element of the General Plan includes strategies aimed promoting and maintaining the character of residential neighborhoods which the Planning Commission may consider when rendering a decision on the permit request:

- Strategy LUT-5.2a: Neighborhood Compatibility: Promote new residential development and substantial additions that are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics.
- Strategy LUT-5.2: Residential Neighborhoods: Maintain safe, attractive, pedestrian friendly residential neighborhoods with identifiable centers and consistent development patterns and a range of public and private services.

Zoning: The subject property is zoned R-1-6 (single-family residential). The City's single-family "R-1" zoning districts are "intended to stabilize and protect the residential characteristics of the district[s] and to encourage a suitable environment for domestic home life." Consistent with this intent, the R-1-6 zoning district requires a minimum net lot area of 6,000 square feet for a single-family dwelling, a minimum lot width of 60 feet, and a minimum public frontage of 25-feet or 15-feet for a flag lot. The proposed lots satisfy the area, width, and access standards of the R-1-6 zoning district.

Action on Tentative Parcel Maps: The Campbell Subdivision and Land Development Code designates the Planning Director (Community Development Director) as the decision-making

authority for Tentative Parcel Maps. In review of an applicant’s proposal, the code provides simple and clear development standards for the decision-making body to consider when rendering a decision to approve (with or without conditions), or deny a request. While such latitude to “deny” a permit is stated, the code does not include a basis (i.e. findings) for a denial to occur when a permit satisfies all of the development regulations. As the proposal satisfies the development standards, review of this application would generally have been approved administratively. However, in response to public comments (see discussion on Public Comments) requesting consideration of other factors not stated in the code to support a conclusion of denial, and requesting a public meeting, the Community Development Director opted to forward the request to the Planning Commission for a decision.

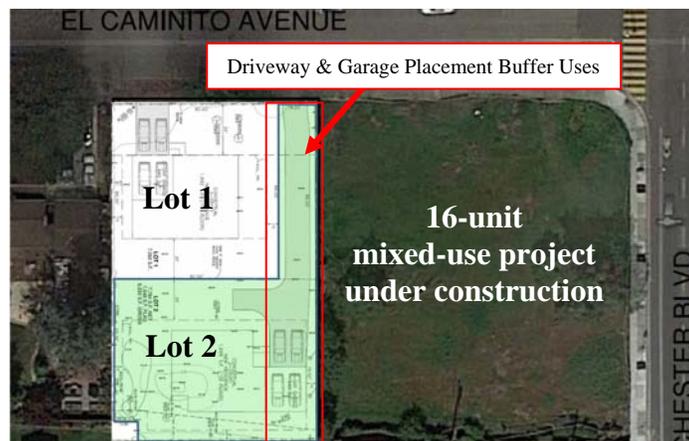
**Parcel Map Development Standards:** The applicant’s proposal would create one standard lot and one rear/flag lot. Section 20.16.030 of the Campbell Municipal Code requires that new lots meet all the requirements of the zoning district within which they are located. In addition to meeting all of the requirements of the R-1-6 zoning district, the Subdivision and Land Development Code (Section 20.16.030) also requires a rear/flag lot to have an area which exceeds the minimum lot area by ten percent (exclusive of any access to a public street), and stipulates such access may not be over an easement but over land under the same ownership as the rear/flag lot.

	Lot 1 (Standard Lot)		Lot 2 (Rear/Flag Lot)	
	Min. Required	Provided	Min. Required	Provided
Lot Size	6,000 sq. ft.	7,052 sq. ft.	6,600 sq. ft.	7,784 sq. ft.*
Lot Width	60 feet	82 feet	60 feet	100 feet
Frontage	25 feet	82 feet	15 feet	18 feet

\*: Area exclusive of driveway. Additional 1,548 sq. ft. driveway is provided over land under the same ownership.

The project plans (reference **Attachment 4** – Tentative Parcel Map) and preceding table confirm that both lots would exceed the minimum lot size, lot width, and access requirements of the R-1-6 Zoning District and Subdivision and Land Development Code.

**Parcel Map Design:** The site configuration, which places the rear/flag access driveway on the east side of the project site, would serve to buffer the residential uses to the west from the 16-unit mixed-use project under construction to the east.



**Figure 1 – Subdivision Design**

As this layout also maintains the existing driveway location (which runs along the eastern property line to a detached garage at the rear of the property) and minimizes the necessity for on- and off-site tree removals and impacts to the streetscape, it represents the preferred rear/flag lot configuration for the property.

Building Layout and Architectural Design: The tentative parcel map depicts the possible layout of two future residences based on the minimum site development standards of the R-1-6 zoning district (reference **Attachment 4**, Tentative Parcel Map; Sheet 3). This information is provided for context only, as the unit layout is not bound by information provided on the subdivision plans. As these homes are located outside of the San Tomas Area Neighborhood Plan, the design of the homes will not require a discretionary review.

Parking: Single-family residential properties are required to provide a minimum of two onsite parking spaces (at least one must be covered) outside of a required front or side yard fronting a public street. The applicant's proposal illustrates a possible layout which would result in two covered parking spaces for the front unit, and two covered and two uncovered parking spaces for the rear unit, exceeding the minimum parking requirements. While the Tentative Parcel Map is not bound to this layout (see discussion on Site Layout and Architectural Design), any future development would be required to satisfy the minimum parking requirements for the property.

Neighborhood Compatibility & Rear/Flag Lot Proliferation: The Tentative Parcel Map would allow for the creation of two single-family residential lots, in a single-family residential neighborhood. Future development of those lots would be subject to the development standards (floor area ratio, lot coverage, setbacks, height, etc.) of the R-1-6 zoning ordinance, consistent with all other single-family properties in the neighborhood. As such, despite the proposal being compatible in terms of use (residential single-family), and conforming to the R-1-6 development standards, public comments emphasize a sentiment that the creation of a rear/flag lots in general should be prohibited even when such standards are satisfied. While the creation of additional rear/flag lots in the neighborhood is a possibility, it should first be acknowledged that flag lots are a permitted type of development, contrary to public sentiment. If flag lots were viewed as impactful, the City standards would have clear prohibitions. Unfortunately, the General Plan and the Campbell Municipal Code do not contain policies, strategies, or standards to discourage or prohibit their development.

Nonetheless, of the roughly one-hundred and twenty-three contiguous R-1-6 zoned parcels only eight (including the subject parcel) would satisfy the minimum development requirements to subdivide as configured (reference **Attachment 5** – Existing and Potential Lot Splits). Of these eight properties, the location of existing structures (homes, pools, etc.) would present significant barriers to subdivision. In the unlikely event that all eight properties were to subdivide, all at once or even over time, rear/flag lots would still remain a representative minority of the neighborhood and generally be situated toward the outer edges/fridges and in locations where neighboring land uses include commercial and higher residential density/two family uses already (e.g. R-D zoned properties across Budd Avenue to the south, P-D zoned properties along Winchester Blvd. to the east). As such, under existing conditions the potential for rear/flag logs proliferating into the community and disrupting the neighborhood would not be significant.

Traffic Generation, Overcrowding, & Crime: The proposed Tentative Parcel Map, and anticipated development of two single-family residences, would not result in a significant impact to traffic, overcrowding, or crime. The traffic generation (resulting from the removal of one unit, and the

addition of two units) would amount to a net gain of one new outbound am peak trip, and one inbound pm peak trip (based on ITE Trip Generation Rates). In terms of overcrowding, the General Plan land use designation for the property, and surrounding single-family residential neighborhood, allows for densities of up to 6 dwelling units per gross acre, where the proposed density is closer to 4.54 units per gross acre (average of Lots 1 & 2). It should be noted that while the creation of a flag lot is anticipated to contribute toward the creation of an additional household, as the existing property is over ten-thousand square feet such a household could already be established through the development of a secondary-dwelling unit. In that the proposed development would preclude the development of a secondary-dwelling unit(s) on either lot (Lots 1 & 2 would be less than 10,000 sq. ft.) the potential to create additional household units would remain the same. The removal and replacement of a single-family home, with two new single-family residences would not contribute to a significant increase in crime, or demand on police services.

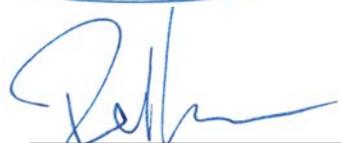
Street Improvements: This scope of this project triggers the requirement for frontage improvements as required by Campbell Municipal Code 11.24.040. To comply with this requirement, the applicant will be required to match the existing frontage improvements of the property, and design the new driveway to City standards. To accommodate the required street improvements one street tree will be removed as part of this project. A new street tree will be installed to replace the tree removed.

Public Comments: In response to public noticing, staff received several letters documenting concerns with the project from residents located on California, Catalpa, and El Caminito Avenue (reference **Attachment 6** – Public Comments). In general, the project related concerns focused on neighborhood compatibility, potential for further rear/flag lot proliferation in the neighborhood, traffic generation, overcrowding, crime, parking impacts, and a desire for the item to be publically heard by the Planning Commission. Discussions on these topics have been provided in the body of the report. In consideration of the public comments, the Community Development Director opted to refer the request to the Planning Commission for a decision.

Prepared by:

  
Stephen Rose, Associate Planner

Approved by:

  
Paul Kermoyan, Community Development Director

Attachments:

1. Findings for Approval of File No. PLN2016-46 (Tentative Parcel Map)
2. Conditions of Approval for File No. PLN2016-46 (Tentative Parcel Map)
3. Location Map
4. Tentative Parcel Map
5. Existing & Potential Lot Splits
6. Public Comments

CITY OF CAMPBELL PLANNING COMMISSION  
MINUTES

7:30 P.M.

TUESDAY

APRIL 26, 2016  
CITY HALL COUNCIL CHAMBERS

The Planning Commission meeting of April 26, 2016, was called to order at 7:30 p.m., in the Council Chambers, 70 North First Street, Campbell, California by Acting Chair Kendall and the following proceedings were had, to wit:

**ROLL CALL**

Commissioners Present:	Acting Chair/Vice Chair:	Yvonne Kendall
	Commissioner:	Pamela Finch
	Commissioner:	Philip C. Reynolds, Jr.
	Commissioner:	Michael L. Rich
Commissioners Absent:	Chair:	Cynthia L. Dodd
	Commissioner:	Ron Bonhagen
	Commissioner:	Donald C. Young
Staff Present:	Community Development	
	Director:	Paul Kermoyan
	Associate Planner:	Daniel Fama
	Associate Planner:	Stephen Rose
	Senior Planner:	Cindy McCormick
	City Attorney:	William Seligmann
	Recording Secretary:	Corinne Shinn

**APPROVAL OF MINUTES**

**Motion: Upon motion by Commissioner Finch, seconded by Commissioner Reynolds, the Planning Commission minutes of the meeting of April 12, 2016, were approved as submitted. (3-0-3-1: Acting Chair Kendall and Commissioners Bonhagen and Young were absent and Commission Rich abstained)**

**COMMUNICATIONS**

Letter of support for Agenda Item 1.

**AGENDA MODIFICATIONS OR POSTPONEMENTS**

None

**ORAL REQUESTS**

None

**CONSENT**

There were no consent items.

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**PUBLIC HEARINGS**

Acting Chair Kendall read Agenda Item No. 1 into the record as follows:

1. **PLN2016-46** Public Hearing to consider the application of Velimir Sulic for a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision on property owned by Shahin Jahanbani located at **44 El Caminito Avenue** in the R-1-6 (Single-Family Residential) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA. Planning Commission decision final unless appealed in writing to the City Clerk within 10 calendar days. Project Planner: *Stephen Rose, Associate Planner*

Mr. Stephen Rose, Associate Planner, presented the staff report.

Acting Chair Kendall asked if there were questions of staff.

Commissioner Rich clarified that of the 123 lots in the neighborhood there are eight lots of sufficient size to split.

Planner Stephen Rose said that lots must be about 14,000 square feet in size to split since the rear lots are required to be 10 percent larger plus the access "flagpole" that belongs to the rear lot.

Commissioner Finch asked the size of the five lots on Budd.

Planner Stephen Rose said that they are about 16,000 square feet.

Acting Chair Kendall opened the Public Hearing for Agenda Item No. 1.

Velimir Sulic, Applicant:

- Thanked Planner Stephen Rose for an excellent presentation of this proposal.
- Reported that this is a 16,000 square foot lot that is located adjacent to a site to be developed with 16 condominium units with retail.
- Added that this request is for a two lot subdivision that conforms to all standards.
- Assured that there would be no multi-family or commercial uses on these two residential parcels, just one single-family residence per lot.
- Advised that no major tree would be cut or removed especially the two large cedars in front.
- Explained that two owners own the property. One lives in the existing house and will build their dream house.

Helen Wu:

- Said that her family is living on the property.
- Added that her husband was raised in Campbell and is a Del Mar High School graduate. Her mother-in-law has been a Campbell resident for more than 30 years.
- Stated that she loves this location and is looking forward to constructing her dream home there.

Velimir Sulic said that they were in support of the conditions of approval and ask for approval of this request to split this parcel.

Danny Thomas, Resident on El Caminito:

- Said that his home is located across the street from the proposed site.
- Stated that he does not support this project.
- Reported that he bought his property 10 years' ago and did so because of the character of this neighborhood.
- Said that he just remodeled his home and elected not to subdivide his property and also took pains to build his house in a way that matches the character of the neighborhood.
- Pointed out that this neighborhood is already impacted by the Winchester Boulevard Master Plan.
- Said that allowing one more house on a property intended for one home equates to impact on the neighborhood.

LeeAnn Farley, Resident on El Caminito:

- Said that her home is located directly next to this subject site.
- Said that there is a lack of support for this proposal to split this parcel.
- Explained that she bought her home about seven years' ago. She also owns a property on Sunnyside Avenue, across Winchester Boulevard. They moved from there to here due to the amount of development underway on Sunnyside and the resulting increase in traffic and noise.
- Reiterated that the lack of neighborhood support equals a lack of compatibility to this neighborhood. This proposal has an impact on them (neighbors) and it is a negative impact.

Russell Pfermann, Resident on California Street:

- Said that there had previously not been a lot split in his neighborhood until a 16,000 square foot parcel on California was recently split.
- Said that in spite of the R-1-6 Zoning, most of the properties in this neighborhood are 9,000 square feet or more. An average lot is 12,000 square feet. The overall average in the Four C's Neighborhood is 8,000 square feet.
- Said that retaining larger lots allows options of choice in order to stay. Owners can enlarge existing homes on their larger parcel as necessary to serve their growing families.
- Asked that this lot split be denied. The Planning Commission has the discretion to deny this.

John Maderi, Resident on El Caminito:

- Said his property is located diagonally across the street.
- Stated his concurrence with the comments of his neighbors.
- Pointed out that even if just one or two lots on a street are split from single to flag lots a neighborhood is changed.
- Added that he would hate to see densities of Sunnyside and Rincon occur in this neighborhood.
- Said that there is already the pending commercial construction on the corner and the traffic impacts that could have on that corner. This proposed lot split will help add to congestion in this neighborhood.

Acting Chair Kendall closed the Public Hearing for Agenda Item No. 1.

Commissioner Finch recalled that when the mixed residential-commercial project on the corner was approved the Commission had a lengthy discussion about related traffic and directed that traffic from that site be routed away from the neighborhood and directed east instead.

Planner Stephen Rose said he was not there at the time.

Director Paul Kermoyan:

- Said that a Traffic Circulation Study was prepared and reviewed.
- Added that the Planning Commission felt that the distribution of trips was found to be acceptable.

Commissioner Finch:

- Admitted that she is conflicted on this request.
- Pointed out that the Zoning Code says it can be built.
- Added that she doesn't think that the five lots on Budd, if they should be subdivided in the future, would adversely impact El Caminito.
- Reported that she is familiar with the lot at California and Catalpa that was recently split.
- Stated that she sees that a split will change the character but the site is zoned for what is proposed.

- Added that the width of an original lot has a lot to do with the ability to subdivide and create a flag lot and as such there will not be a proliferation.

Commissioner Rich:

- Admitted that he too is conflicted.
- Added that while this property fits within the requirements the community has genuine concerns.
- Stated that while he has no concerns that there will be traffic impacts with this one additional home, he can see a concern developing with a gradual change in character for the neighborhood.

Commissioner Reynolds:

- Stated that he is not conflicted.
- Said that the General Plan spells out clearly the obligation to retain the character of a neighborhood. This is a single-family residential neighborhood that is designed for single-family parcels.
- Added that while there are a minimum number of properties that could be subdivided into two parcels, he can see even that limited number creating a strain on existing infrastructure.
- Said that the General Plan and the Municipal Code do not discourage or prohibit creation of flag lots. However, he feels that may be something that should be reviewed further by the City Council.
- Reiterated his concerns about the potential for impacts on existing infrastructure by adding density to a single-family neighborhood.
- Pointed out that Campbell is growing and growing. This neighborhood is still trying to digest the impacts of the Winchester Boulevard Master Plan.
- Said that high density should be located near Light Rail and that the integrity of the single-family neighborhoods must be maintained. Subdividing a parcel changes the character and impacts existing neighbors. They bought into a single-family community with larger lots and we owe it to them to maintain that integrity of their neighborhood.
- Advised that he would not be supporting this application.

Commissioner Finch:

- Said that she goes back and forth on this.
- Pointed out that two neighbors, one from across the street and the other from next door, have indicated that they would not be subdividing their properties.
- Said that she is concerned with implementing the guidelines of the City.
- Added that she feels for these people but Codes say this lot split is possible.
- Said that there are also rights of those who have bought this property. They also have property rights. They bought for the reason of subdividing.
- Admitted that she is leaning to supporting this request that would result in just one additional home with lots that are still larger than typical 6,000 square foot lots.
- Stated that the proposed new home would be brought before SARC. SARC can see that the design of the new home fits within this neighborhood.

Director Paul Kermoyan:

- Said that typically a subdivision comes before the Planning Commission together with a Planned Development Permit for what is proposed on the new lots.
- Advised that in this case, this is not a subdivision but rather a lot split.
- Said that the Subdivision Code provides direction to the City to approve.
- Explained that someone can take down an existing house and build a new house without design review being required. That means there would be no SARC review in this case.
- Added that there are no findings that direct the City when to approve or deny such a request. The request has to adhere to Code standards.
- Stated that there is no provision in our Code to deny a flag lot outright.

City Attorney William Seligmann said that what Director Kermoyan says is correct. He added that it is also true that an approval has to be consistent with the City's General Plan.

Acting Chair Kendall:

- Said that it is hard to determine if this proposal is changing the character of this neighborhood as there is no planned residence(s) yet.
- Added that the driveway is where it is.
- Stated that there is an existing ranch-style home on this property already.
- Said that she knows that this lot split should not result in an excessive strain on existing infrastructure.

Commissioner Rich:

- Said that "character" is in the eye of the beholder.
- Stated that residents have spoken their concerns of possible impairment on their neighborhood. That is what they feel.
- Said that he doesn't have concern about traffic infrastructure as a result on one addition residential lot.
- Added that he is listening to the community members as they express their concerns about development within their community.
- Admitted that he is on the fence here.
- Agreed that this property owner also has rights while the neighbors want to retain the character of their existing neighborhood.

Commissioner Reynolds:

- Said he too supports personal property rights 100 percent. Those rights also apply to existing neighbors and their expectations.
- Said that the question is, "Is this flag lot reasonable?"
- Added that question sends him back to the General Plan. He said that the City's Codes are guidelines based on the General Plan. They don't specify that the Commission "has" to approve this request.
- Stated his support for the existing character and development pattern of this neighborhood. It is black and white and not a gray area. That helps him in considering any personal property rights issue.
- Reiterated that these are single-family developed lots.

Commissioner Rich said that a 7,000 or larger lot is a decent single-family lot. That is his struggle.

Commissioner Reynolds:

- Said that he’s now been on this Planning Commission for seven years.
- Added that he tended to go along with the staff recommendation early on but has learned over time that flag lots really take a lot more review as they change the character of our community when splitting one lot into two.
- Said that comparing this area to the San Tomas Area, the San Tomas Area is more of a rural environment while this is a single-family neighborhood with larger lots. To approve this request is to change that incrementally. Cumulatively, it will change the area down the road.
- Reminded that the General Plan calls to maintain and support the character of existing neighborhoods.

Commissioner Finch:

- Stated her disagreement with Commissioner Reynolds. One new home will not impact existing infrastructure.
- Said that these are fairly large residential lots as proposed and will result in single-family homes within a single-family neighborhood. There is no high-rise proposed here.
- Said that she has driven down that street many times and notes that there are several two-story homes in that area.
- Stated that this will not change the character but rather is consistent with single-family homes proposed for a single-family neighborhood.
- Reiterated that there is already precedence for two-story homes here.
- Reminded that these are still good-sized lots that match this neighborhood and they will not impact infrastructure.
- Concluded that she would be supportive of this request.

**Motion:** Upon motion of Commissioner Finch, seconded by Chair Kendall, the Planning Commission moved to approve a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision on property owned by Shahin Jahanbani located at 44 El Caminito Avenue, subject to the conditions of approval, by the following roll call vote:

**AYES:** Finch and Kendall  
**NOES:** Reynolds and Rich  
**ABSENT:** Bonhagen, Dodd and Young  
**ABSTAIN:** None

Director Paul Kermoyan:

- Advised that this tie vote is a vote of no decision. As this is not a full Commission the applicant can request a continuance to allow the full Commission to vote on this matter after those who are absent have watched this meeting and reviewed all materials.

- Said that a broader discussion of issues raised this evening may need to occur at the Council level.
- Suggested that the applicant be asked if they want this non-decision to stand, which would allow them to appeal to Council, or if they would ask for a continuance until the full Commission can be convened for a vote to break the tie.

Acting Chair Kendall re-opened the public hearing for Agenda Item 1.

Velimir Sulic, Applicant:

- Questioned the resulting tie vote and pointed out that staff had said this lot split was possible.
- Asked if they could request a continuance.

City Attorney William Seligmann said that this item could either be continued to allow at least one more member of this Planning Commission to vote or the applicant could instead accept this non-decision and appeal it to the City Council within 10 calendar days.

Velimir Sulic said that in the past a tie vote equated to a denial. However, if there is no reason for denial it is an automatic approval.

City Attorney William Seligmann said that may depend upon the factual circumstances.

Velimir Sulic asked for a moment to consult with his clients to determine their preferred option.

City Attorney William Seligmann said certainly.

Velimir Sulic consulted with his clients and reported that they have decided to wait for a full quorum of the Planning Commission.

**Motion: Upon motion of Commissioner Finch, seconded by Commissioner Reynolds, the Planning Commission CONTINUED TO A DATE UNCERTAIN the consideration of a Tentative Parcel Map (PLN2016-46) to allow a two-lot single-family residential subdivision on property owned by Shahin Jahanbani located at 44 El Caminito Avenue to allow a vote of a larger number of Commissioners to break the current tie vote. (4-0-3; Chair Dodd and Commissioners Bonhagen and Young were absent)**

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Acting Chair Kendall read Agenda Item No. 2 into the record as follows:



CITY OF CAMPBELL • PLANNING COMMISSION  
Staff Report • May 24, 2016

**City-Initiated Revocation of S69-7 Bovenberg, P. (PLN2016-115)** Public Hearing to consider the City-Initiated Revocation (PLN2016-115) of a previously Modified Site Approval (S69-07) on property located at **661-665 E. McGlincy Lane** due to a lack of compliance with conditions of approval.

**STAFF RECOMMENDATION**

That the Planning Commission take one of the following actions:

1. **Adopt a Resolution**, incorporating the attached findings, revoking (PLN2016-115) a previously Modified Site Approval (S69-07) without prejudice.

**ENVIRONMENTAL DETERMINATION**

Staff recommends that the Planning Commission find that this revocation is Categorical Exempt under Section 15321(a) of the California Environment Quality Act (CEQA), pertaining to enforcement actions by regulatory agencies to enforce or revoke an entitlement for a use issued, adopted or prescribed by the regulatory agency.

**PROJECT LOCATION**

The project site is owned and operated by Pete Bovenberg as an automotive repair facility (d.b.a. Modern Bench) which is located on the northwest corner of E. McGlincy Lane and Forman Drive (reference **Attachment 2** – Location Map). Two structures are located on the site which include a 6,720 square foot rectangular building which runs along the rear (west) property line and a detached trash enclosure which is located at the northeast corner of the property. Two driveways, one on each street frontage, provide access to the site.

**BACKGROUND**

Over the past 27 years, the City has dedicated a substantial amount of staff time and resources to monitor and abate violations resulting from the ongoing operation of Modern Bench. The background provided in the body of this report serves as only an abridged summary of the most recent efforts. For a more detailed history, including a summary of the events leading up to the second staff-initiated public hearing to consider revocation, please refer to the Administrative Record (reference **Attachment 6**).

Following numerous complaints, and failed attempts to resolve public nuisance issues associated with a lack of compliance with requirements associated with the operation of the automotive repair facility, the Community Development Department scheduled a revocation proceeding before the Planning Commission. On May 12, 2015, the Planning Commission approved a

Modification to the previously-approved Site Approval (S69-7) rather than revoke the businesses ability to operate. The modified approval created new operational restrictions (e.g. hours of operation, staff limitations, vehicle identification requirements), reinforced existing operational restrictions<sup>1</sup> (e.g. requiring all work within an enclosed structure, required adequate screening and buffering, prohibited storage of vehicles on public streets, and ensuring adequate vehicular circulation) already imposed on the business<sup>2</sup>, and compelled the property owner to remove unpermitted structures and complete required site improvements.

Between May 12, 2015 and present day the property owner, Pete Bovenberg, has worked with Planning, Building, and Code Enforcement staff in an attempt to resolve outstanding complaints and comply with conditions of approval (reference **Attachment 3** – P.C. Resolution 4208). While significant improvements have been made, the business has continued to park vehicles in the public right of way, resulting in renewed complaints from adjoining neighbors and the permit being called back to the attention of the Planning Commission.

## **VIOLATIONS**

In advance of the public hearing, the property owner stepped up efforts to clean up the property and comply with the conditions of approval. As a result of these efforts, there were no active violations as of the date this staff report had been prepared<sup>3</sup>. However, as the business continued to park vehicles in the public right of way after May 12, 2015 and as recently as March 28, 2016 (reference **Attachment 6** – Administrative Record), the intent of the revocation hearing is to bring the violations and complaints to the attention of the Planning Commission and provide an opportunity for the Planning Commission to either revoke the land use approval, provide direction to staff to levy fines, or make adjustments to the Conditions of Approval with the intent of resolving ongoing violations. Since the May 12, 2015 meeting, the following violations were attributed to Modern Bench by reporting parties between March 2, 2016 and present day:

1. Ongoing street side parking. (confirmed)
2. Tow truck deliveries in the street. (confirmed)
3. Parking across driveways. (not confirmed)
4. Parking in red zones. (not confirmed)

Noting that not all of the violations have been substantiated by staff, the Planning Commission may elect to modify or establish new conditions of approval to mitigate these impacts if an alternative to complete revocation is considered (see discussion on Alternatives). Having been informed of these complaints, the property owner has educated his staff and reached out to Campbell Towing to discontinue the practice of delivering and parking vehicle in the right of way, and provided the City Manager a list of new policies and procedures that would be put into place immediately with the intent of resolving ongoing concerns (reference **Attachment 7** – Letter to City Manager).

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<sup>1</sup> Reference **Attachment 8** – CMC 21.36.140 - Motor vehicle repair facilities.

<sup>2</sup> On August 1, 2006, the City Council adopted Ordinance 2070 which established new locational and operational standards for motor vehicle repair facilities, and set a two-year amortization period for non-conforming businesses (including Modern Bench) to comply.

<sup>3</sup> While barbed wire was installed without permits, staff has advised the property owner to postpone submitting a fence exception request to resolve this issue, as the subject revocation proceeding was already pending.

## LEGAL AUTHORITY

Campbell Municipal Code Section 21.68.030 (Permit revocation.) provides that a permit may be revoked by the appropriate decision-making body, if any one of the following findings can be made (Staff responses are below each finding, in consideration of the known violations, and the administrative record has been provided below each point in *italics*):

**A. Circumstances under which the permit was granted have been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be made in a positive manner, and the public convenience, health, interest, safety, or welfare require the revocation;**

*The Modified Site Approval (S69-7) was granted on the basis the following findings could be made in a positive manner. Staff responses to how circumstances have changed by the applicant to a degree that that the findings can no longer be made in a positive manner have been provided below each finding as follows:*

- Finding: The proposed use and improvements are consistent with the requirements of CMC 21.36.146 with a Modification of the approved Site Application (S69-7), and complies, as conditioned, with all other applicable provisions of this Zoning Code and the Campbell Municipal Code.  
*As the business parked damaged vehicles in the public right of way, which is prohibited by under CMC 21.35.146 and the conditions of approval, a finding that the business will comply with these requirements can no longer be made.*
- Finding: The project should enhance the city's character and should not have an adverse aesthetic impact upon existing adjoining properties, the environment, or the city in general.  
*The storage of damaged vehicles in the public right of way by Modern Bench diminishes the city's character and has an adverse aesthetic impact on the city in general.*
- Finding: The arrangement of off-street parking facilities should prevent traffic congestion and adequately meet the demands of the users.  
*As Modern Bench has continued to rely on the use of the public right of way to park/store damaged vehicles and conduct deliveries by tow trucks, it can be reasonably concluded that the off-street parking and circulation of the facility inadequately meets the demands of the users.*
- Finding: The establishment will not significantly increase the demand on city services.  
*The establishment significantly increases the demand on city services for police, code enforcement, and planning services to monitor and abate violations of the Campbell Municipal Code, and Conditions of Approval.*

As the aforementioned findings can no longer be made in a positive manner and public convenience, interest and welfare require revocation of the permit and use.

**B. The permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the permit;**

*In that the Modified Site Approval (S69-7) was issued on the basis that the conditions of approval would be satisfied, it can be reasonably concluded that either the ability of the business to comply with the conditions of approval was misrepresented, or a statement that the business would not be willing or able to comply with the conditions had been omitted.*

**C. One or more of the conditions of the permit have not been substantially fulfilled or have been violated.**

*The following condition of approval from Modified Site Approval (S69-7) (reference Attachment 3 – P.C. Resolution 4208) has been violated:*

- a. *Condition of Approval #5.g.:Parking: Within six months a total of 23 parking spaces (one less than indicated on the plan to accommodate a trash enclosure) shall be provided at all times. The six parking spaces located closest to E. McGlincy Lane, and labeled as one through six on the project plans for File No. S69-7 shall be reserved for employee and customer parking and shall not be used for vehicle storage, and shall be empty by the end of the business Operational Hours. No vehicle parking on public streets shall be permitted at any time.*

*While the provision of 23 parking spaces has been satisfied, the business has continued to store vehicles on the public street as documented in the Property Photos (reference Attachment 5) and Administrative Record (reference Attachment 6).*

**D. The improvement authorized in compliance with the permit is in violation of a code, law, ordinance, regulation, or statute of the City, State, or Federal governments.**

*Not applicable. The improvements authorized by the permit are not a violation of a code, law, ordinance, regulation or statute of the City, State or Federal Government.*

**E. The improvement or use allowed by the permit has become detrimental to the public health, safety, or welfare or the manner of operation constitutes or is creating a nuisance, as determined by the decision-making body.**

*Not applicable. The improvements and use authorized by the permit contained conditions of approval which, when followed, would mitigate detrimental impacts and nuisances to the community. However, as the business has not followed the conditions of approval of the permit, it has become detrimental to the public welfare, and constitutes a public nuisance.*

As findings A through C can be made, where only one finding must be met for revocation, the Planning Commission can elect to make one, or all three findings in its determination for revocation as provided and recommended by staff (reference **Attachment 1** – Findings for Revocation (PLN2016-225) of a Modification of File No. S69-7).

## **PUBLIC COMMENT**

The application was noticed to all property owners within a 300-foot radius. No responses were received as of the preparation of this staff report. Materials provided to staff in advance of the meeting will be included as desk items.

## **ALTERNATIVES**

The previous revocation proceeding was intended to alleviate neighborhood concerns and adverse impacts resulting from the operation of Modern Bench through the adoption of new and reiterated operational restrictions as conditions of approval. While staff had previously been supportive of modifying the underlying land use entitlement, as opposed to revoking it, this recommendation was predicated on the hope that the revocation proceeding itself would serve as a reminder that the business operation needs to be consistent with the operational restrictions and conditions of approval. These requirements and conditions provide a clear list of operational requirements for the operator to follow or face the chance their permit would be revoked, and their business closed.

As the business has continued to exhaust staff time and resources to monitor and abate ongoing violations, staff can no longer offer any reasonable assurance that new, or continued efforts by the Planning Commission to compel the property owner to discontinue parking vehicles in the right of way would be followed in perpetuity by the property owner. However, as the property owner has made a concerted effort to comply with all other conditions of approval, the Planning Commission may consider the following alternatives to complete revocation:

- Continue to the item, postponing a decision for a period of time (e.g. three or six months) to evaluate if complete adherence with the Conditions of Approval can be demonstrated by the property owner.
- Modify the previously Modified Site Approval (S69-07), establishing clarified or more restrictive conditions of approval (e.g. addressing new complaints, and/or requiring adherence to additional policies and procedures proposed by Modern Bench outlined in the letter to the City Manager (reference **Attachment 7**).
- Direct staff to continue to levy fines for each continued violation of the conditions of approval in the amount of \$1,000.00 per occurrence per day.<sup>4</sup>

Prepared by: \_\_\_\_\_

  
Stephen Rose, Associate Planner

Approved by: \_\_\_\_\_

  
Paul Kermoyan, Community Development Director

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<sup>4</sup> The business will be separately fined to recoup staff costs associated with the revocation proceeding.

Attachments:

1. Findings for Revocation (PLN2016-225) of a Modification of File No. S69-7
2. Location Map
3. P.C. Resolution 4208
4. Approved Building Permit Plans
5. Property Photos
6. Administrative Record
7. Letter to City Manager, dated April 16, 2016
8. CMC 21.36.140 – Motor vehicle repair facilities.

**FINDINGS FOR REVOCATION (PLN2016-115) OF A PREVIOUSLY MODIFIED SITE APPROVAL S69-7 WITHOUT PREJUDICE**

SITE ADDRESS: 661-665 E. McGlincy Lane  
APPLICANT: Pete Bovenberg  
OWNER: Pete Bovenberg  
DATE: May 24, 2016

Findings for Revocation (PLN2016-115) of a Modification to a previously-approved Site Approval (S69-7) without prejudice due to a lack of compliance with conditions of approval, on property located at **661-665 E. McGlincy Lane**.

The Planning Commission finds as follows with regard to Revocation (PLN2016-115):

1. A Revocation may be found Categorically Exempt under Section 15321(a) of the California Environmental Quality Act (CEQA) pertaining to enforcement actions by regulatory agencies to enforce or revoke an entitlement for a use issued, adopted or prescribed by the regulatory agency.
2. The project site is zoned M-1 (Light Industrial).
3. The General Plan designation of the property is Light Industrial.
4. The project site is located at the northwest corner of E. McGlincy Lane and Foreman Drive.
5. The property assessor parcel number is 412-30-029, and includes a range of addresses which includes 661 through 665 E. McGlincy Lane.
6. On February 17, 1969, the City of Campbell Planning Commission approved Site Application (S69-7) which authorized the construction of an industrial building and associated site improvements (e.g. landscaping, trash enclosure, parking lot).
7. On May 25, 1985, a business license was issued for an auto body shop performing vehicle and collision repair service (d.b.a. Modern Bench) at the subject property. At the time the business was established, a Conditional Use Permit was not required.
8. On August 1, 2006, the City Council adopted Ordinance 2070 approving a City Initiated Text Amendment which established a two-year amortization period for legal non-conforming motor vehicle repair facilities to comply with the requirements outlined under CMC 21.36.146 (Motor vehicle repair facilities).
9. On May 12, 2015, the Planning approved a Modification to the previously-approved Site Approval (S69-7) establishing new Conditions of Approval on the subject property.
10. The Modified Site Approval (S69-7) was established by Planning Commission (P.C.) Resolution 4208.

11. Since May 12, 2015, the business has continued to park vehicles in the public right of way in violation of Condition of Approval #5.q of P.C. Resolution 4208, as documented by photographs provided by the Campbell Police Department, and observations by Planning and Code Enforcement Department staff.
12. The Modified Site Approval (S69-7) was granted on the basis (finding) that the use and improvements would be consistent with the requirements of CMC 21.36.146, and would comply with all other applicable provisions of the Campbell Municipal Code.
13. As the business parked damaged vehicles in the public right of way, which is prohibited under CMC 21.35.146 and the conditions of approval, a finding that the business will comply with these requirements can no longer be made in the affirmative.
14. The Modified Site Approval (S69-7) was granted on the basis (finding) that the project would enhance the city's character and should not have an adverse aesthetic impact upon existing adjoining properties, or the city in general.
15. The business has continued to store damaged vehicles in the public right of way which has diminished the city's character and has had an adverse aesthetic impact on the city in general.
16. The Modified Site Approval (S69-7) was granted on the basis (finding) that the arrangement of off-street parking facilities should prevent traffic congestion and adequately meet the demands of the users.
17. Modern Bench has continued to rely on the use of the public right of way to park/store damaged vehicles and have deliveries made by tow trucks, it can be reasonably concluded that the off-street parking facilities inadequately meets the demands of the users.
18. The Modified Site Approval (S69-7) was granted on the basis (finding) that the arrangement of off-street parking facilities should prevent traffic congestion and adequately meet the demands of the users.
19. The Modified Site Approval (S69-7) was granted on the basis (finding) that the establishment will not significantly increase the demand on city services.
20. A significant increase in the demand for Police, Code Enforcement, and Planning services have been required to monitor and abate violations of the use.

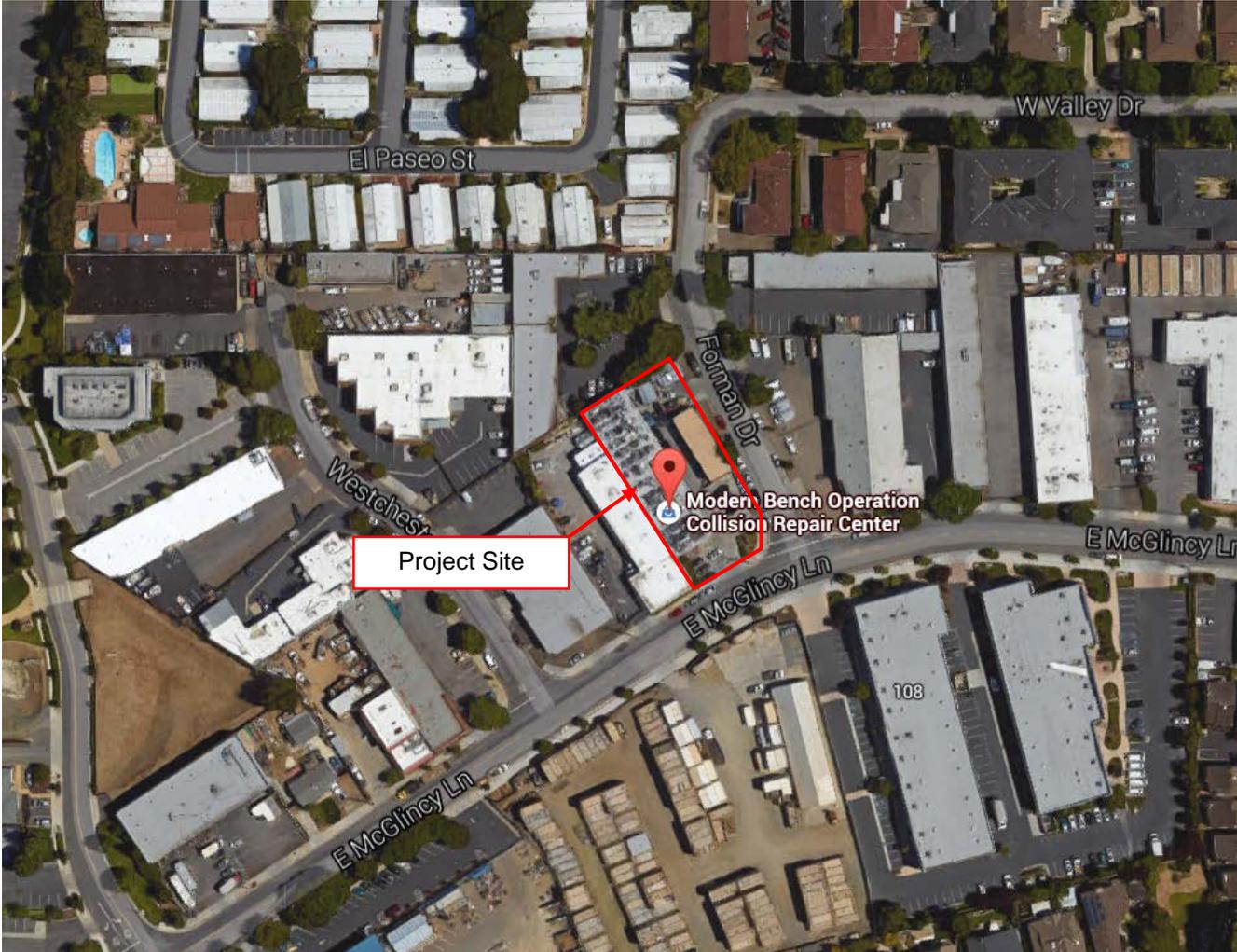
Based on the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The Planning Commission cannot affirmatively find that the operation of the facility is consistent with the approved modification to the previously approved Site Approval (S69-7), and/or the Campbell Municipal Code;
2. Circumstances under which the permit was granted have been changed by the applicant to a degree that one or more of the findings contained in the original permit can no longer be

made in a positive manner, and the public convenience, health, interest, safety, or welfare require the revocation;

3. The permit was issued, in whole or in part, on the basis of a misrepresentation or omission of a material statement in the application, or in the applicant's testimony presented during the public hearing, for the permit;
4. One or more of the conditions of the permit have not been substantially fulfilled or have been violated; and
5. The Revocation is Categorical Exempt under Section 15321(a) of the California Environmental Quality Act (CEQA) pertaining to enforcement actions by regulatory agencies to enforce or revoke an entitlement for a use issued, adopted or prescribed by the regulatory agency.

# Location Map



**RESOLUTION NO. 4208**

BEING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL TO APPROVE A MODIFICATION TO A PREVIOUSLY-APPROVED SITE APPROVAL (S69-7) ESTABLISHING NEW CONDITIONS OF APPROVAL TO RESOLVE NEIGHBORHOOD IMPACTS AND VIOLATIONS ON PROPERTY LOCATED AT **661-667 E. MCGLINCY LANE**

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed.

The Planning Commission finds as follows with regard to the approval of a Modification to a previously approved Site Approval (S69-7):

Environmental Finding

1. This project is Categorically Exempt under Section 15301 Class 1 of the California Environmental Quality Act (CEQA) pertaining to minor alterations to an existing private structure, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Evidentiary Findings

1. The project site is zoned M-1 (Light Industrial).
2. The General Plan designation of the property is Light Industrial.
3. The project site is located at the northwest corner of E. McGlinicy Lane and Foreman Drive.
4. On February 17, 1969, the City of Campbell Planning Commission approved Site Application (S69-7) which authorized the construction of an industrial building and associated site improvements (e.g. landscaping, trash enclosure, parking lot).
5. On May 25, 1985, a business license was issued for an auto body shop performing vehicle and collision repair service (d.b.a. Modern Bench) at the subject property. At the time the business was established, a Conditional Use Permit was not required.
6. On August 1, 2006, the City Council adopted Ordinance 2070 approving a City Initiated Text Amendment which established a two-year amortization period for legal non-conforming motor vehicle repair facilities to comply with the requirements outlined under CMC 21.36.146 (Motor vehicle repair facilities).
7. The physical improvements of the property and operational characteristics of the use have been found to be in violation of the Site Application (S69-7) (e.g. conditions of approval and site plan), numerous building code requirements, as well as the requirements outlined under CMC 21.36.146.

8. The proposed use and improvements are consistent with the requirements of CMC 21.36.146 with a Modification of the approved Site Application (S69-7), and complies, as conditioned, with all other applicable provisions of this Zoning Code and the Campbell Municipal Code.
9. The business has approximately six staff members on site at any time, comprising one office manager/receptionist, one auto body refinish tech, two auto body technicians, one estimator/manager, and one parts technician/detailer. Allowing a total of seven staff (one more than presently used) at any one time would adequately provide for the operation of the facility.

Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

1. The proposed site is adequate in terms of size and shape to accommodate the fences and walls, landscaping, parking and loading facilities, yards, and other development features required in order to integrate the use with uses in the surrounding area.
2. The proposed site is adequately served by streets (E. McGlincy Lane and Forman Drive) of sufficient capacity to carry the kind and quantity of traffic the use would be expected to generate.
3. The design, location, size, and operating characteristics of the proposed use, as conditioned, are compatible with the existing and future land uses on-site and in the vicinity of the subject property.
4. The establishment, maintenance, or operation of the proposed use, as conditioned, at the location proposed will not be detrimental to the comfort, health, morals, peace, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.
5. The establishment will not significantly increase the demand on city services.
6. The traffic generated from the development should not have adverse effects on traffic conditions on abutting streets.
7. The layout of the site should provide adequate vehicular and pedestrian entrances, exit driveways, and walkways.
8. The arrangement of off-street parking facilities should prevent traffic congestion and adequately meet the demands of the users.
9. The location, height, and material of walls, fences, hedges and screen plantings should ensure harmony with adjacent development and/or conceal storage areas, utility installations, or other potentially unsightly elements of the project.

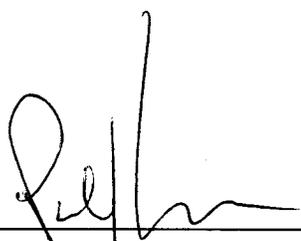
10. The project should maximize open space around structures, for access to and around structures, and the establishment and maintenance of landscaping for aesthetic and screening purposes.
11. The project should maximize areas of improved open space to protect access to natural light, ventilation, and direct sunlight, to ensure the compatibility of land uses, to provide space for privacy, landscaping, and recreation; and
12. The project should minimize the unnecessary destruction of existing healthy trees.
13. The project should enhance the overall appearance of the city by improving the appearance of individual development projects within the city.
14. The project should complement the surrounding neighborhoods and produce an environment of stable and desirable character.
15. The project should enhance the city's character and should not have an adverse aesthetic impact upon existing adjoining properties, the environment, or the city in general.
16. The project should promote the use of sound design principles that result in creative, imaginative solutions and establish structures of quality design throughout the city and which avoid monotony and mediocrity of development.
17. The project should be consistent with all applicable design guidelines and special plans.

THEREFORE, BE IT RESOLVED that the Planning Commission approves a Modification to the previously-approved Site Application (S69-7) establishing new Conditions of Approval on property located at **661-667 E. McGlincy Lane**, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 12th day of May, 2015, by the following roll call vote:

AYES:	Commissioners:	Bonhagen, Finch, Kendall, Reynolds, Rich and Young
NOES:	Commissioners:	None
ABSENT:	Commissioners:	Dodd
ABSTAIN:	Commissioners:	None

APPROVED:   
Pamela Finch, Chair

ATTEST:   
Paul Kermoyan, Secretary

**CONDITIONS OF APPROVAL  
Modification to the previously-approved  
Site Application (S69-7)**

Where approval by the Director of Community Development, City Engineer, Public Works Director, City Attorney or Fire Department is required, that review shall be for compliance with all applicable conditions of approval, adopted policies and guidelines, ordinances, laws and regulations and accepted engineering practices for the item under review. Additionally, the applicant is hereby notified that he/she is required to comply with all applicable Codes or Ordinances of the City of Campbell and the State of California that pertain to this development and are not herein specified.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**Planning Division**

1. Approved Project: Approval is granted for a Modification to a previously-approved Site Approval (S69-7) to establish new Conditions of Approval to resolve neighborhood impacts and violations. The project shall substantially conform to the Project Plans for File No. S69-7, except as may be modified by the conditions of approval contained herein.
2. Revocation of Permit: Operation of a "motor vehicle repair and maintenance, minor and major" service pursuant to the Modification Permit approved herein is subject to Sections 21.68.020, 21.68.030 and 21.68.040 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke a Modification Permit if it is determined that its operation has become a nuisance to the City's public health, safety or welfare or for violation of the Conditions of Approval or any standards, codes, or ordinances of the City of Campbell. At the discretion of the Community Development Director, if the establishment generates three (3) verifiable complaints related to violations of conditions of approval and/or related to its operation within a six (6) month period, a public hearing before the Planning Commission may be scheduled to consider modifying conditions of approval or revoking its Modification Permit. The Community Development Director may commence proceedings for the revocation or modification of permit(s) upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. In exercising this authority, the decision making body may consider the following factors, among others:
  - a. The number and types of noise complaints at or near the establishment that are reasonably determined to be a direct result of patrons actions or facility equipment;
  - b. The number of parking complaints received from residents, business owners and other citizens concerning the operation of an establishment; and
  - c. Violation of conditions of approval.
3. Operational Standards: Any business operating pursuant to the Modification of the previously-approved Site Approval (S69-7) approved herein shall be required to conform to the following operational standards within **three-months**, except as otherwise noted, of this entitlement and thereafter in perpetuity. Significant deviations

from these parameters shall require approval of a Modification to establish new Conditions of Approval.

- a. **Approved Use:** The approved use is a “Motor vehicle repair and maintenance, minor and major” service as defined by the Campbell Municipal Code.
- b. **Hours of Operation:** Hours of operation shall be as follows. By the end of the 'Operational Hours' all employees shall be off of the premises. By the end of 'Business/Public Hours' all patrons shall have exited the facility. Furthermore, the fenced/gated area shall remain open to the public during business/public hours, and shall be locked closed outside of the business/public hours.
  - i. Operational Hours           6:00 AM – 10:00 PM, Daily
  - ii. Business/Public Hours    7:30 AM – 9:30 PM, Daily
- c. **Deliveries:** All deliveries shall occur within the Operational Hours of the business. The property owner and business operator shall be responsible to inform delivery companies of this requirement and shall be held accountable for any violations.
- d. **Operations:** All automotive related work must be completed within the existing building. Only storage of vehicles and “parts carts” on the ground behind an approved fence/wall shall be permitted. Applicant shall first illustrate where the parts carts will be stored such that they do not displace code conforming parking and do not result in storage of material above the fence line.
- e. **Staffing:** No more than seven (7) staff members shall be permitted on the site at any time.
- f. **Vehicle Identification:** All vehicles awaiting or undergoing repair shall be identified by a label on the dash of every vehicle. The size and location of the label shall be to the satisfaction of the Community Development Director.
- g. **Vehicle Washing:** No rinsing or washing of vehicles shall take place on the property. Consistent with City standards, no waste water will be disposed of through the storm sewers.
- h. **Noise:** Noise from bells, loudspeakers, public address systems, or tools shall not be audible from residentially zoned or occupied parcels between the hours of seven p.m. and seven a.m. on weekdays and Saturdays, and before ten a.m. and after seven p.m. on Sunday and nationally recognized holidays.
- i. **Lighting:** Artificial light shall be designed to reflect away from adjoining properties.
- j. **Circulation:** During business hours the motor vehicle repair facility shall provide adequate vehicular circulation to ensure free ingress and egress, and safe and unimpeded on-site circulation through the site.

- k. **Property Maintenance:** All exterior areas of the business are to be maintained free from graffiti, trash, rubbish, posters and stickers. Except when placed for collection, trash receptacles shall be maintained within their approved enclosures at all times. Parking lot striping and paving shall be maintained in good condition.
  - l. **Landscape Maintenance:** All landscaped areas shall be continuously maintained in accordance with City Landscaping Requirements (CMC 21.26). Landscaped areas shall be watered on a regular basis so as to maintain healthy plants. Landscaped areas shall be kept free of weeds, trash, and litter. Dead or unhealthy plants shall be replaced with healthy plants of the same or similar type.
  - m. **Loitering:** There shall be no loitering allowed in the area, in the parking lot, or along the property's frontages. The business owner and property owner are responsible for monitoring the premises to prevent loitering. Increased security patrols, and other measures as appropriate, shall be used to reduce the incidence of loitering on the property.
  - n. **Smoking:** "No Smoking" signs shall be posted and maintained on the premises in perpetuity in compliance with CMC 6.11.060.
  - o. **Storage:** Except for "parts carts" that are addressed in 3.d. above, no outdoor, or rooftop storage shall be permitted.
  - p. **Signs:** New signage shall not be installed prior to approval of a sign permit as required by Chapter 21.53 of the Campbell Municipal Code.
  - q. **Parking:** Within **six months** a total of 23 parking spaces (one less than indicated on the plan to accommodate a trash enclosure) shall be provided at all times. The six parking spaces located closest to E. McGlincy Lane, and labeled as one through six on the project plans for File No. S69-7 shall be reserved for employee and customer parking and shall not be used for vehicle storage, and shall be empty by the end of the business Operational Hours. No vehicle parking on public streets shall be permitted at any time.
4. **Fencing & Gates:** Within **six months** the applicant shall install new fencing along the property perimeter and spanning the parking lot with a gate between the seventh and eighth parking spaces identified on the project plans for File No. S69-7 with the intent to screen all legally established service bay doors on the property from view. All gates shall be equipped with a Knox-box rapid entry system to the satisfaction of the Santa Clara County Fire Department and Community Development Director. The fencing selected shall require review and approval by the Community Development Director prior to installation.
5. **Employee Lunch & Break Area:** Within **three months** the area utilized as an employee break area shall be removed to accommodate the required parking space(s) in this area pursuant to the project plans for File No. S69-7.

6. Security Fencing: Within **three months** all razor wire (coiled concertina) shall be removed from the property.
7. Trash Enclosure: Within **six months** a new trash/recycling enclosure shall be installed at the northeast corner of the property (in parking space #24). The design of the trash/recycling enclosure shall be require review and approval by the Community Development Director prior to building permit submittal. The trash/recycling enclosure shall be built to code.
8. Structures: Within **three months** the property owner shall remove all structures not shown on the project plans for File No. S69-7, including but not limited to the large metal hay barn, existing wood building (in its entirety) running along the north property line, and vehicle lifts located along Forman Drive to the satisfaction of the Community Development Director.
9. Street Trees & Public Improvements: Within **six months** the property owner shall repair public improvements in the public right of way and replace street trees as determined necessary by the Director of Public Works.
10. Signs: New signage shall not be installed prior to approval of a sign permit as required by Chapter 21.53 of the Campbell Municipal Code.
11. Location of Mechanical Equipment: No roof-mounted mechanical equipment, i.e. air conditioning units, shall be located on the roof of the building without providing screening of the mechanical equipment from public view and surrounding properties. Screening material and method shall require review and approval by the Community Development Director prior to installation of such mechanical equipment screening.
12. Permits Required: Within **two months** a building permit application shall be obtained for the installation of fencing, parking lot restriping, and installation of a new trash enclosure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
13. Construction Plans: The Conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
14. Size of Plans: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.
15. Plan Preparation: This project requires plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
16. Site Plan: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details. Site address and parcel numbers shall also be clearly called out. Site parking and path of travel to public sidewalks shall be detailed.

17. Non-Point Source Pollution: The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
  
18. Storm Water Requirements: Storm water run-off impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.



# Property Photos



May 2011 – Parking Vehicles on Sidewalk



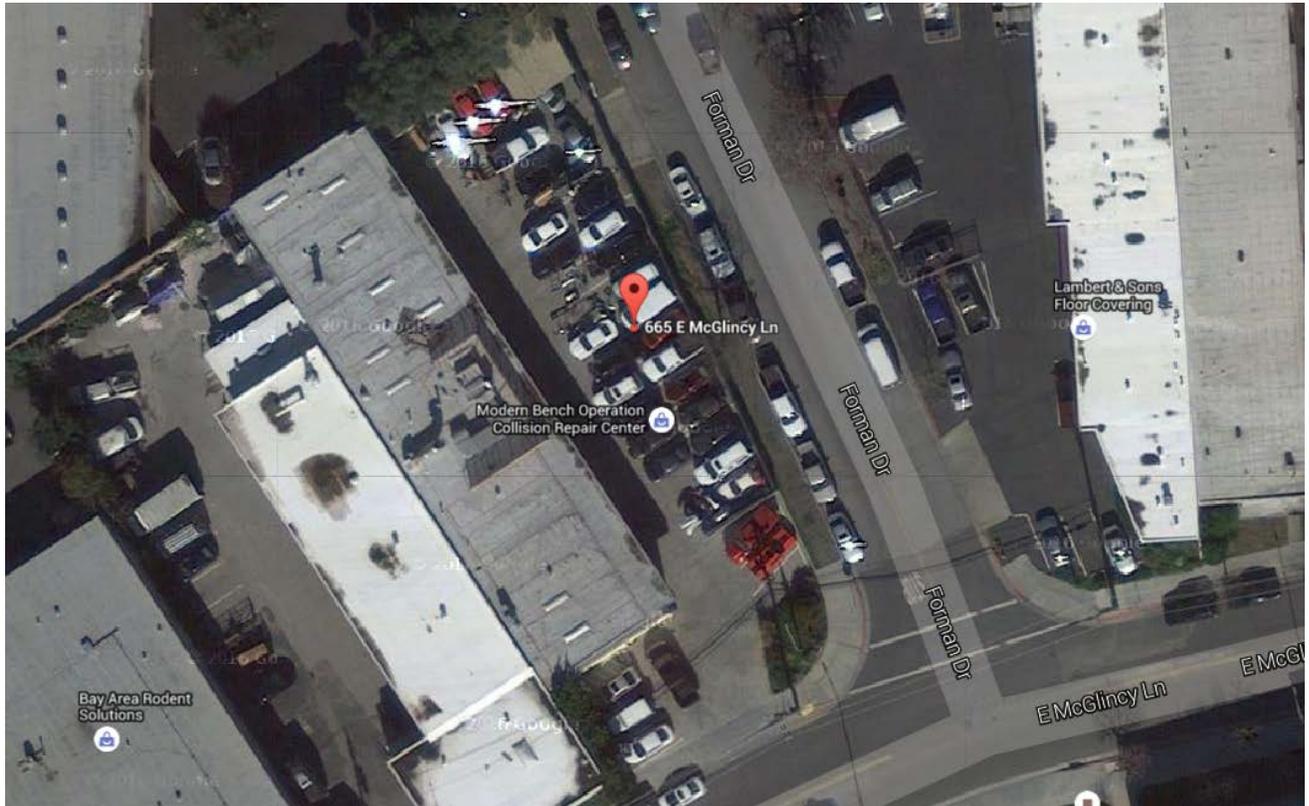
May 2011 – Aerial Photograph



March 2, 2016 – Photograph of an Offsite Vehicle Inspection by a Reporting Party



March 21, 2016 – Photograph of a Tow Truck Delivery by a Reporting Party



2016– Aerial Photograph  
(Showing: Removal of parts on the roof and unpermitted structures, but tandem parking)



April 28, 2016 – Inspection Photo  
(Showing Site in Good Condition)



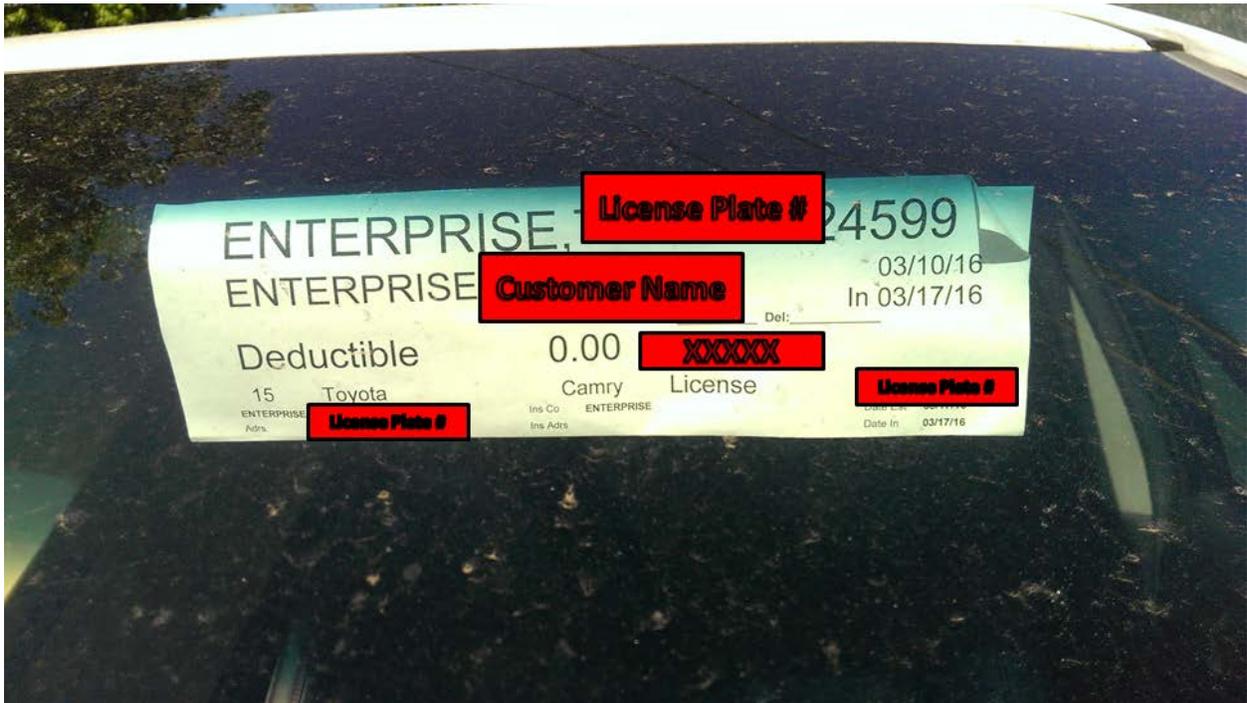
April 28, 2016 – Inspection Photo



April 28, 2016 – Inspection Photo  
(Showing Customer Cars Parked in Employee/Customer Parking Area for Pickup)



April 28, 2016 – Inspection Photo  
(Showing Storage of Vehicle Parts & Parts Carts in Trash Enclosure)



April 28, 2016 – Inspection Photo  
(Showing Vehicle Identification Signs Installed – Private Information Redacted by Staff)



May 4, 2016 – Property Owner Photo  
(Showing Customer Vehicles Stored Behind Gate)



May 9, 2016 – Property Owner Photo  
(Showing Removal of Parts Carts & Material Storage in Trash Enclosure)

## **Administrative Record**

The following is an abridged summary of significant events pertaining to the subject property and vicinity dating back to the original site entitlement until present.

---

On February 17, 1969, the City of Campbell Planning Commission approved Site Application (S69-7) which authorized the construction of an industrial building and associated site improvements (e.g. landscaping, trash enclosure, parking lot). The original configuration of the building was divided into separate bays (661-667), which were capable of being subleased by separate tenants.

On May 25, 1985, Pete Bovenberg obtained a business license for the operation of an auto body shop performing vehicle repair and collision service (d.b.a. Modern Bench).

On April 8, 1986, the Planning Commission approved plans and elevations to allow a 1,280 sq. ft. addition to the existing building (S86-05).

On April 14, 1987, the Planning Commission approved a one year reinstatement R87-02 of the previously approved Site Approval (S86-05).

On April 14, 1988, without building permits having been issued the reinstatement (R87-02) of the previously approved Site Approval (S86-05) lapsed and is now null and void.

On March 13, 1989, the Planning Department sent a notice of violation identifying the following violations on the property:

- Outdoor storage of vehicles in designated parking areas.
- Inadequate striping of parking stalls within the fenced parking area.
- No marked handicapped parking space.
- No approval of signs erected on the premises or sign permits issued for the business.
- Storage of junk and rubbish outside the premises when no outdoor storage has been approved on the site plan, or site & architectural permit issued.
- Auto repair and/or dismantling outside the building.

On March 30, 1989, the Building Department sent a notice of a special inspection identifying numerous violations pertaining to unpermitted work in violation of various Plumbing, Electrical, and Building Codes.

On April 24, 1990, the Planning Department provided a follow up letter regarding the ongoing zoning code violations resulting from the operation of the business.

On July 30, 1999, an application was filed for a Modification (M99-08) of the previously approved Site Approval (S69-08). A search of Planning Commission resolutions revealed the permit never reached the Planning Commission, and therefore lapsed and is now considered null and void.

On August 19, 1999, the subject business obtained approval of a Sign Permit Application approving wall signs and a freestanding sign on the property (SA98-33).

On October 2, 2000, a Code Enforcement Case (COD2000-62) was created noting the auto body repair use was in violation of the Site Approval. The case was subsequently closed December 26, 2001.

On October 7, 2005, a Code Enforcement Case (COD2005-240) was created citing the storage of vehicles and equipment in public view, property maintenance issues, and unapproved use of the property in violation of the Site Approval. The case was subsequently closed June 14, 2006.

On August 1, 2006 the City Council adopted Ordinance 2070 approving a City Initiated Text Amendment to establish locational and operational standards for motor vehicle repair facilities. The Ordinance established a two-year amortization period for non-conforming automotive land uses, requiring non-conforming businesses (including Modern Bench) to comply by August 1, 2008.

On January 24, 2011, a Code Enforcement Case (COD2011-18) was opened noting the construction of a 20-foot tall, and 50-foot long structure being built on the property line to cover up cars stacked up on the property. The case was never closed, remaining open up until present day.

On March 25, 2014, a renewed complaint was received regarding the ongoing/open code enforcement case. The Code Enforcement Department reviewed the open file, conducted an inspection of the property, and established a new code case file number (IWQ2014-688).

On March 26, 2014, a Warning Noise was mailed to Pete Bovernberg, having observed the following violations:

- Erection of a large metal structure on the property without permits.
- Erection of two smaller metal structures (carports) as having been erected near the rear (north side) of the property.
- Observation of work being conducted on vehicles outside the business, whereas all work is to be performed within a fully enclosed structure.
- Storage of damaged and wrecked vehicles on the property, which are not screened from view from the public street or neighbors as required.
- Storage of damaged and wrecked vehicles on the Public Street and right-of-way.
- Storage of automotive parts on the roof of the building.

The warning notice stipulated a deadline of April 17, 2014, to remediate the violations noting that failure to respond being subject to criminal prosecution, civil suits, or administrative proceedings.

On April 22, 2014, a Second Warning Notice was sent noting the same violations, and stipulating a deadline of May 7, 2014, to correct the violations.

On May 15, 2014, a notice of an Intent to Cite was mailed noting the same violations, stipulating a deadline of June 1, 2014 to correct the violations subject to expanded actions including monetary penalties.

On July 15, 2014, the City received an email from Pete Bovernberg summarizing an account of a recent meeting with staff and indicating that a special meeting of the board members was held to discuss the City's letter and concerns. The letter indicated that an action plan would be developed.

On July 15, 2014, the Campbell Police Department responded to a call regarding abandoned vehicles on E. McGlincy Lane and Forman Drive. The police report identified twenty (20) vehicles noted w/repair notices on Forman & McGlincy Drive. One of the vehicles was cited for having no plates.

On July 30, 2014, a Third Notice of Municipal Code/Adopted Code Violations was sent indicating that the previous deadline of June 1, 2014, has long since passed and that the business was subject to further action.

On September 8, 2014, the property owner was cited for fines totaling \$7,426.

On October 28, 2014, a site visit was conducted by Planning Department meeting was held with City Staff and Pete Bovenberg and Gary E. Gamel (Attorney). The meeting provided direction on known violations and guidance on the administrative options available to correct known violations.

On November 14, 2014, a follow up letter was sent by the Planning Department reiterating all known violations to date and clearly prescribing procedural "Options" to be taken for corrective action. The letter noted the following additional violations:

- Potential storage of vehicles and/or parts at 260 E. McGlincy Lane (Mello Pipe Line) where not permitted.
- Unpermitted barbed wire fencing along the property perimeter.
- Removal of landscaping around the project perimeter; including three street trees.
- Improper storage of debris and material around the property.
- Removal of numerous parking stalls.
- Unpermitted wash area at the northeast corner of the property.

On December 2, 2014, a subsequent meeting was held with the Building and Public Works department to guide Pete Bovenberg through the application processes to correct all known violations to date.

On December 8, 2014, a follow up meeting was held with Public Works to identify what corrective actions/drawings would be required to remediate the tree removals. At the meeting, it was determined that the trees had been removed by the Public Works Department and no corrective action would be required.

On January 13, 2015, a follow up email was sent by Planning Staff reiterating actions to date and requiring further progress addressing the violations to be demonstrated as part of a “Task List” which would set self-imposed dates identifying when corrective actions would be taken for review and approval.

On January 23, 2015, a Task List was sent to the Planning Department identifying code issues, resolution procedure, and generally establishing vague completion dates for compliance, with the exception of setting April 23, 2015, (i.e. within 90-days) as a date by which all parts would be removed from the roof of the building.

On February 13, 2015, the Planning Department established February 27, 2015, as the deadline to submit plans and all required materials for a Conditional Use Permit application to address ongoing violations and bring the property into compliance with CMC21.36.140 (Motor vehicle repair facilities).

On or around February 24, 2015, the Public Works Department installed two-hour parking signs on the east side of Foreman Drive, limiting parking from 7 a.m. to 6 p.m. except Sundays.

On February 27, 2015, an application for a Conditional Use Permit (PLN2015-71) to allow the establishment of a screened outdoor vehicle storage area with tandem parking and razor wire fencing was submitted for review.

On April 23, 2015, the self-imposed deadline to remove of all rooftop storage within 90-days (see January 23, 2015 – Task List) was not achieved.

On March 27, 2015, the permit was determined to be incomplete lacking sufficient information and accurate enough plans for all departments (i.e. Fire Department) to provide complete comments. The incompleteness letter stipulated a deadline of April 13, 2015, to resubmit plans for review by City Staff, noting that failure to comply or adequately respond to the comments being subject to the existing land use entitlement (S69-7) being called back to the Planning Commission for consideration of revocation.

On May 12, 2015, the Planning approved a Modification to the previously-approved Site Approval (S69-7) establishing new Conditions of Approval to resolve neighborhood impacts and violations on the subject property.

Between May 12, 2015 and February 29, 2016, Planning, Building, and Code Enforcement staff continued to coordinate with Modern Bench to remove unpermitted structures and comply with conditions of approval.

On March 1, 2016, Planning Department staff conducted a follow up inspection of the property, and met with neighboring businesses which prompted renewed complaints about the operations of Modern Bench.

Between March 2, 2016, and present day, staff has received a series of complaints and photographs from reporting parties of parking and delivery violations attributed to Modern Bench.

On March 21, 2016, Planning Department staff reached out to the manager of Campbell Towing to inform their business of the operational restrictions on Modern Bench, and directing their drivers to loading/unload vehicles on the project site instead of in the public right of way.

On March 22, 2016, Planning Department staff sent an email to Pete Bovenberg of Modern Bench, strongly advising that drastic measures be taken to avoid the permit from being pulled back for revocation.

On March 24, 2016, Campbell Police Officers observed three Modern Bench vehicles parked in the public right of way.

On March 24, 2016, CSO Steven Serassio observed several MBO vehicles parked in the public right of way.

On March 28, 2016, CSO Adam Alameda observed several MBO vehicles parked in the public right of way.

On or around March 29, 2016 the City Manager and a Council Member conducted an inspection of the property in response to community complaints. During the inspection, several MBO vehicles were observed as being parked in the public right of way, prompting the permit to be scheduled for reconsideration and potential revocation by the Planning Commission.

On March 30, 2016, Pete Bovenberg was informed that the business was in the process of being scheduled for revocation.

On March 31, 2016, Pete Bovenberg was provided with the tentative hearing date of May 24, 2016.

On April 11, 2016, the property owner met with the City Manager to discuss the ongoing concerns with the operation of Modern Bench.

On April 16, 2016, the property owner provided a letter as a follow up to the meeting with the City Manager, indicating additional steps which were to be taken to reduce the impact on local businesses resulting from the operation of Modern Bench.

On April 28, 2016, Associate Planner Stephen Rose, and Code Enforcement Officer Charlotte Andreen conducted an inspection of the property. While on site, staff observed two customer cars stored in the employee/customer parking area, trash bins not stored in the trash enclosure, and the trash enclosure being used for storage of materials and supplies.

On April 29, 2016, staff provided a follow up email informing the property owner of the violations observed on site.

Between May 4, 2016, and May 9, 2016, Pete Bovenberg sent a series of photographs demonstrating to staff that the violations observed by staff at its April 28, 2016 inspection had been resolved.

April 16 2016  
City of Campbell  
Attn: Mark Linder  
70 North first Street  
Campbell, CA 95008

Dear Mark Linder,

This letter is in regards to the follow up from the meeting which accrued in your office on April 11th 2016 regarding the facility at 665 East McGlincy lane. Modern Bench Operations Collision Repair Center

Modern Bench Operations Collision Repair Center incorporated board members and management

Reviewed our policies and procedures and discussed the city's concerns and recommendations. The following controls and procedures are being put into place effective immediately

We are going to implement the following policies and procedures effective immediately in order to reduce the impact on local businesses and residence:

- 1) Effective immediately Modern Bench Operations Collision Repair Center will work diligently to not allow customers to drop off their vehicles for repairs without previous appointments.  
We will advise our customers and make them aware per the Bureau of automotive repair rules and regulations that, Modern Bench Operations can only accept responsibility for their cars once we have completed an estimate and have an agreed repair amount with a signed authorized work order  
We will advise customers to not leave their vehicle without authorization to work on it.  
We intend for this policy change to make customers be more respectful in leaving vehicles with us when they are intending only to have estimates done and not leave there vehicles for repairs.
- 2) The staff at Modern Bench Operations will work diligently to monitor the vehicles that have been authorized for repairs per the Bureau of automotive repairs regulations .Our facility has a company policy that states we will not allow vehicles on public streets for parking while in our possession The Staff at Modern Bench Operations will work diligently to keep all the vehicles that have been disassembled in the fenced yard so they are not in public view and are screened from view to the public street.
- 3) Modern Bench Operations Collision Repair Center staff will make maximum effort to make sure that no vehicles are parked or stored on the public street or right of way. The staff has been informed that any vehicle that is parked will be considered in violation of the city's zoning ordinance We have discussed in detail the Campbell Municipal Code section 10. 24015 regarding storage or abandonment of vehicles upon public property.

- 4) The staff at Modern Bench Operations Collision Repair Center Will add an additional staff member just for the sole purpose of traffic and parking control. His primary Job responsibility will be to make sure we are continually implementing the new policy and procedures discussed.
- 5) Modern Bench Operations is also in the process of hiring an independent company that will valet park cars off site. We will implement this procedure if there is excessive vehicles and over flow that needs to be stored off site until we can accommodate these customers. We are in contact with the company "Every detail" general manager to contract there services .
- 6) The staff of Modern Bench Operations has been instructed that all vehicles having work done on them should be completed within a fully enclosed structure and any work outside of the building should not occur.
- 7) Effective immediately we will be using a mobile estimating system that will allow us to travel to the customers location and give them an estimate before brining there vehicle to our facility. We should be able to process all there insurance claim procedures and order parts before their arrival to our facility .This will lower the vehicle impact on our available space.
- 8) The Campbell Police department dispatches a Community Service officer to patrol and enforce the 2 hour parking on Foreman drive and McGlincy Lane. He is there approximately every two hours we have given the officer that is assigned to patrol, Adam Alameda our contact information so as to alert myself and staff if any event occurs that needs our immediate attention.
- 9) Modern Bench Operations will be patrolling the perimeter fence and street every day and take photos to verify the parking conditions. We will forward these to your office so that you are able to see on a daily basis that We are meeting your expectations.

#### PARKING ANASYIS & DISCOVERY

We are still conducting our investigation and discovery into the problems that are occurring in our area with regards to parking and city code violations.

Regards Pete Bovenberg  
Modern Bench operations  
408-559-8633 Office  
408-640-8392 Cel

## 21.36.140 - Motor vehicle repair facilities.

This section provides locational and operational standards for the establishment of motor vehicle repair facilities, in compliance with Article 2, (Zoning Districts), which shall be subject to the following criteria and standards.

- A. The motor vehicle repair facility shall provide adequate vehicular circulation to ensure free ingress and egress, and safe and unimpeded on-site circulation.
- B. All work shall be performed within a fully enclosed structure.
- C. Structures shall be sufficiently soundproofed to prevent a disturbance or become a nuisance to the surrounding properties.
- D. Artificial light shall be designed to reflect away from adjoining properties.
- E. Screening and buffering.
  - 1. A six-foot high solid masonry wall shall be maintained along the exterior boundaries of the motor vehicle repair facility, excluding the front yard setback area, those locations approved for ingress and egress, and areas adjoining a street, other than an alley.
  - 2. All damaged or wrecked motor vehicles awaiting repair shall be effectively screened from view from any public street or highway, or adjoining properties, by a six-foot high decorative masonry wall or other opaque material approved by the community development director.
- F. Motor vehicles associated with the subject use shall not be parked or stored on a public street or alley.
- G. Motor vehicles shall not be stored at the site for purposes of sale (unless the use is also a vehicle sales lot).
- H. Noise from bells, loudspeakers, public address systems, or tools shall not be audible from residentially zoned or occupied parcels between the hours of seven p.m. and seven a.m. on weekdays and Saturdays, and before ten a.m. and after seven p.m. on Sundays and nationally recognized holidays.
- I. Service bay doors shall not directly face or be viewable from adjoining public rights-of-way or a residential development or zoning district.
- J. Residential uses shall not be allowed on a site containing a motor vehicle repair facility.

(Ord. 2070 § 1 (Exh. A)(part), 2006: Ord. 2043 § 1 (part), 2004).



**CITY OF CAMPBELL • PLANNING COMMISSION**  
**Staff Report • May 24, 2016**

**CIP 2017-2021 City Initiated**      Public Hearing to consider the **City of Campbell’s 2017-2021 Capital Improvement Plan** for citywide projects.

**STAFF RECOMMENDATION**

That the Planning Commission take the following actions:

1. Find that the proposed Capital Improvement Plan is consistent with the City’s General Plan; and,
2. Recommend that the City Council find that the adoption of the Capital Improvement Plan (CIP) and list of future resulting projects, is exempt from the provisions of the California Environmental Quality Act (CEQA) in that the CIP is not a “project” as defined by Public Resources Code §21065 and CEQA specifically excludes organizational or administrative activities of government that will not result in direct or indirect physical change in the environment pursuant to CEQA Guidelines §15378.

**DISCUSSION**

Capital Improvement Plan: Each year, the City prepares a Capital Improvement Plan (CIP) to plan for the acquisition and maintenance of publicly-owned property. This includes public facilities such as the Community Center, City Hall and public parks. Public property also includes the acquisition and maintenance of equipment. The City uses the Capital Improvement Plan to project future capital needs, to determine financial resources and to schedule construction activity. Expenditures of more than \$25,000 must be included in the CIP, while expenditures under that amount are included in annual departmental operating budgets. The first year of the 5-year CIP is incorporated into the City’s annual budget adoption.

Each project is described in the Capital Project Description Sheets which includes a section on “Strategic Goals, Objectives and Action Strategies” (Reference **Attachment 1**). While some of these projects may not be approved by the Council due to staff recommendation to remove them from consideration (noted by an asterisk \*) or other reasons opined by the Council, they are being presented in their entirety for the purpose of determining consistency with the General Plan. As illustrated in the table below and on the next page, the proposed FY 2017-2021 CIP contains 34 projects of which 25 are new. The remaining nine (9) projects were previously included in the City’s currently adopted CIP, or are being recommended for additional appropriations as part of a biennial or annual maintenance program. Additional information on the funding sources is contained in the attached copy of the proposed Capital Improvement Plan for 2017–2021 (**Attachment 1**). The list of projects follows:

<b>New Capital Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
*Ainsley Garden Rear Patio Improvements	\$55,000	Year 1	CIPR
Campisi Way Feasibility Study	\$150,000	Year 1	CIPR
Campbell Park Improvements	\$500,000	Year 1	Park
Citywide ITS Enhancements	\$500,000	Year 1	Grants/Private
*City Hall Space Plan	\$50,000	Year 1	CIPR

<b>New Capital Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
Citywide Playground Renovation Phase II	\$200,000	Year 2	Park
CCC Aquatic Feasibility Study	\$60,000	Year 1	Park
CCC Bathroom Upgrades	\$200,000	Annually	CIPR
CCC E-Wing Improvements	\$280,000	Year 2	CIPR
CCC HVAC Improvements	\$50,000	Year 1	CIPR
CCC Outdoor Exercise Station Renovation	\$100,000	Year 1	Park
CCC Play Area – Construction	\$250,000	Year 2	Park
CCC Play Area – Design	\$50,000	Year 1	Park
CCC Q-80 and Q-84 Improvements	\$100,000	Year 1	CIPR
CCC Sports Fields Irrigation Upgrade	\$50,000	Year 1	CIPR
*CCC Track Resurfacing	\$150,000	Year 2	CIPR
*CCC Turf Conversions	\$50,000	Years 1 & 2	CIPR
Eden Ave. Sidewalk Improvements	\$100,000	Year 2	CT/Enviro Services
Fischer Park Playground Repairs	\$100,000	Year 1	CIPR
*Museum Warehouse Storage Rem.	\$94,000	Year 4	CIPR
Public Safety Forensic 3D Scanner	\$75,000	Year 1	CIPR
Svc. Ctr. Portable Building Replacement	\$100,000	Year 1	Grants/Private
Svc. Ctr. Solar Canopy	\$100,000	Year 2	Grants/Private
Svc. Ctr. Storage Bins and Covers	\$60,000	Year 1	Grants/Private
Winchester Blvd. ITS Phase II	\$250,000	Year 1	Grants/Private

<b>Additional Appropriations</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
ADA Transition Plan Improvements	\$150,000	Annual	CIPR/Grants/VIF
Annual Street Maintenance	\$5,500,000	Annual	CIPR/Grants/VIF
Bike/Ped. Traffic Safety Improvements	\$225,000	Annual	CT/Grants
*City Hall Refresh	\$100,000	Years 1 & 2	CIPR
Misc. Storm Drainage Improvements	\$100,000	Years 1, 3 & 5	Enviro Services
Sidewalk/Curb and Gutter	\$500,000	Annual	CIPR/CT

<b>Existing Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
Accessibility Ramps	\$100,000	Biannual	CT
L.G. Creek Trail Feasibility Study	\$100,000	Year 2	Park
Silicon Valley Radio Comm. System	\$900,000	Year 1	CIPR

Approximately 65.6% of the proposed CIP dollars (or \$7.5 million) is for Street and Signal projects; 7.9% (or \$900,000) each are for Parks and Open Space and Public Facility – Equipment; 6.2% (or \$709,000) are for Public Facility – Buildings; 0.6% (or \$75,000) is for Public Facility IT projects; and approximately 11.8% (or \$1.3 million) is proposed for Community Center projects.

Most of the proposed Year 1 projects recommended for budget appropriations in FY 2017 are under the Department of Public Works and are listed in the table on the next page:

<b>Year 1 Projects</b>	<b>Budget Appropriation</b>	<b>Source of Funds</b>
ADA Transition Plan Improvements	\$50,000	CIPR
Annual Street Maintenance	\$1,200,000	CIPR/Grant/VIF
Bike/Ped. Traffic Safety Improvements	\$45,000	CT/Grant

Campbell Park Improvements	\$500,000	Park
Campisi Way Feasibility Study	\$150,000	CIPR
Citywide ITS Enhancements	\$500,000	Grants/Private
Citywide Playground Renovation Phase II	100,000	Park
CCC Aquatic Feasibility Study	\$60,000	Park
CCC Bathroom Upgrades	\$40,000	CIPR
CCC HVAC Improvements	\$50,000	CIPR
CCC Outdoor Exercise Station Renovation	\$100,000	Park
CCC Play Area – Design	\$50,000	Park
CCC Q-80 and Q-84 Improvements	\$100,000	CIPR
CCC Sports Fields Irrigation Upgrade	\$50,000	CIPR
CCC Turf Conversions	~\$25,000	CIPR
Svc. Ctr. Portable Building Replacement	\$100,000	Grants/Private
Svc. Ctr. Storage Bins and Covers	\$60,000	Grants/Private
Winchester Blvd. ITS Phase II	\$250,000	Grants/Private
Misc. Storm Drainage Improvements	~\$33,000	Enviro Services
Public Safety Forensic 3D Scanner	\$75,000	CIPR

Consistency with the General Plan: Section 65401 of the State of California Government Code requires that the Planning Commission review the CIP for consistency with the City’s General Plan before the City can carry out its capital improvement program. Staff has reviewed the proposed projects and finds them consistent with the various elements of the Campbell General Plan and with the Campbell Strategic Plan. The following related General Plan goals, policies and strategies listed below are applicable to the improvements proposed under the Capital Improvement Plan:

**Goal LUT-1:** Coordinated land use and transportation planning in the region.

**Policy LUT-1.3:** Transportation Needs: Plan for the regional transportation needs of the community.

**Strategy LUT-1.3d:** Regional Off-Road Bicycle and Pedestrian Paths: Cooperate with surrounding communities and other agencies to establish and maintain off-road bicycle and pedestrian paths and trails utilizing creek, utility, and railroad right-of-way that are safe, convenient and visible for commuting and recreational use.

**Goal LUT-7:** Attractive, well-maintained and safe streets, public improvements and utilities.

**Policy LUT-7.1:** Road Maintenance: Maintain and repair roads.

**Strategy LUT-7.1b:** Roadway Repair And Maintenance: Conduct roadway repair and routine maintenance as necessary.

**Policy LUT-7.2:** Public Utilities and Improvements: Provide a comprehensive network of sidewalks, public utilities and multi-modal improvements that are safe, attractive, efficient, well maintained and accessible for pedestrians, bicyclists and motorists.

**Policy LUT-7.3:** Transportation Safety: Make safety a priority of citywide transportation design and planning.

**Goal LUT-8:** Preservation of historic buildings, districts and cultural resources.

**Policy LUT-8.1:** Historic Buildings, Landmarks and Districts and Cultural Resources: Preserve, rehabilitate or restore the City’s historic buildings, landmarks, districts and cultural resources and retain the architectural integrity of established building patterns within historic residential neighborhoods to preserve the cultural heritage of the community.

**Goal OSP-1:** Regional open space, parks and recreation facilities that are useful, attractive, well maintained and accessible to Campbell residents

**Policy OSP-1.1:** Regional Open Space, Parks and Recreation Facilities: Support efforts to enhance, enlarge and provide public access to regional open space, parks and recreation facilities to meet the needs of Campbell residents.

**Goal OSP-2:** Provide and maintain attractive, safe, clean and comfortable open space, park land and recreational facilities and programs for maximum community use, benefit and enjoyment.

**Policy OSP-2.2:** Maintain and Renovate Existing Open Space, Park and Recreation Facilities: Maintain and renovate existing open space, park and recreation facilities to improve their usefulness, safety and appearance.

**Goal OSP-6:** Provide efficient and high-quality community services and facilities to meet the needs of City residents.

**Policy OSP-6.2:** Community Facilities: Ensure functional, attractive and well-maintained community facilities that serve Campbell’s residents.

**Strategy OSP-6.2b:** Aging Facilities: Renovate and modernize aging facilities to improve their usefulness and appearance and to maximize their potential life and avoid the high cost of deferred maintenance.

**Policy OSP-6.3:** Public Spaces and Amenities for Community Gatherings: Ensure safe, convenient and attractive public spaces and amenities for community gatherings and activities.

**Strategy OSP-6.3a:** Features and Maintenance of Public Spaces and Amenities: Encourage community gatherings and individual use of public spaces and amenities by providing attractive landscaping, outdoor furniture, recycling and trash facilities and adequate maintenance of the facilities.

**Goal HS-2:** Adequate, efficient and high quality police, fire and emergency services.

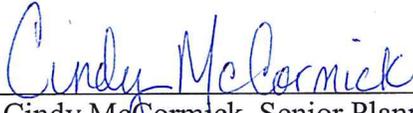
Staff also finds consistency with adopted area plans including the San Tomas Area Neighborhood Plan, the South of Campbell Avenue Area Plan, the North of Campbell Avenue Area Plan, the Winchester Boulevard Master Plan, the Downtown Development Plan, and the East Campbell Avenue Master Plan.

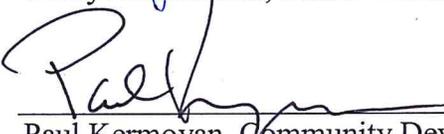
Environmental Assessment: All projects listed in the CIP will be reviewed separately under CEQA at the time they are scheduled to move forward, and the City’s review for General Plan consistency does not commit the City to any one of the listed projects. Also, the review of the CIP list is not itself a “project” as defined under CEQA (Public Resources Code §21065). Therefore, these CIP projects are exempt pursuant to the CEQA Guideline §15378 which specifically excludes organizational or administrative activities of government that will not result in direct or indirect physical changes in the environment. Lastly, the statutory exemption of “feasibility” and “planning studies” would apply because the decision is for the adoption of a CIP that is consistent with the General Plan and not an approval decision for each of the individual projects contained within the CIP itself.

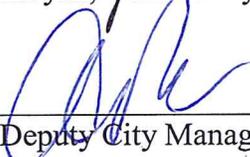
City Council Consideration: The Planning Commission’s recommendation will be considered by the City Council at its meeting of June 21, 2016 as part of the adoption of the Fiscal Year 2016/17 Operating and Capital budget.

Attachment:

1. Copy of Proposed CIP 2017 – 2021 Capital Improvement Plan.

Prepared by:   
Cindy McCormick, Senior Planner

Approved by:   
Paul Kermoyan, Community Development Director

Approved by:   
Al Bito, Deputy City Manager

**MEMORANDUM**
**City Of Campbell**  
**City Manager's Office**
**To:** Honorable Mayor and City Council

**Date:** May 2, 2016

**From:** Al Bito, Deputy City Manager

**Via:** Mark Linder, City Manager

**Subject: PROPOSED FY 2017-21 CAPITAL IMPROVEMENT PLAN**
**RECOMMENDATION**

That the City Council provide direction to staff on the proposed FY 2017-21 Capital Improvement Plan.

**BACKGROUND**

As part of the annual budget process, the City prepares a Capital Improvement Plan (CIP) that identifies anticipated project expenditures greater than \$25,000 over a multi-year timeframe. The CIP provides the City with a strategic planning document that guides short-term and long-term expenditures for preservation of City assets; major improvements in existing or new facilities; and other infrastructure maintenance expenditures to include technology and communications systems. The first year of the 5-year CIP is incorporated into the City's annual budget adoption.

Revenue for project expenditures comes from a number of funding sources, both restricted and discretionary. For the proposed FY 2017-21 CIP, the primary sources of funding for projects are the City's Capital Improvement Plan Reserve (CIPR) at approximately \$4.4 million, Grants/Private Funds at \$2.2 million, Vehicle Impact Fees at \$1.9 million, and Park Dedication Fees at \$1.3 million. Other funding sources include Construction Tax and Environmental Services Fund.

The CIPR, which is part of the General Fund, is the City's most flexible funding source and has historically been used for a wide range of project expenditures. By established Council Policy, the CIPR receives a portion of any available General Fund surplus at fiscal year-end. The availability of any funds for the CIPR is dependent on actual expenditures and revenues in a given fiscal year. In years where revenues are strong or expenditures are lower than anticipated, the CIPR increases. In years where revenues are lean and reserves are needed to balance the City's budget, the CIPR does not increase and proposed projects are required to be deferred or placed on an unfunded projects list.

Unlike last fiscal year, FY 2015-16 is not estimated to generate any General Fund surplus that can be added to the CIPR. Furthermore, for the entire 5-year capital improvement plan, staff is not projecting any year-end surpluses. This is due, in large part, to using \$1.3 million in CIPR funding for proposed limited term staff positions in FY 2017 and FY 2018; \$440,000 for Operating & Capital Budget Adjustments in FY 2018; and then \$200,000 per year for Operating & Capital Budget Adjustments for the balance of the 5-year capital plan based on past experience. Only those projects deemed priorities, or projects that have other funding sources, such as grants or other restricted funds, are able to be recommended for the proposed CIP. As developed by the staff, the CIPR shows a balance shortfall after Year 5 \$475,562 (see attached CIPR flow chart). The projects supported by the CIPR include the annual preservation of Campbell streets and roads at a desired

pavement condition index (PCI) and most of the improvement projects identified last fall 2015 at the Joint Study Session of the City Council and Parks and Recreation Commission.

At the May 2, 2016 Study Session, staff will seek direction from the City Council on which priority improvement projects are to be supported by the CIPR, and which ones are to be moved to the Unfunded List, in order to balance the CIPR. Alternatively, Council may be comfortable with the negative balance in Year 5 and approve the FY 2017-21 Capital Improvement Plan as presented on the basis that the CIP is a dynamic budget planning tool that is updated annually by the City Council.

**DISCUSSION**

As shown below, the proposed FY 2017-21 CIP contains thirty-four projects of which twenty-five are new and the remaining nine projects have been previously included in the City’s adopted Capital Improvement Plan, or are being recommended for additional appropriations in the out years as part of a biennial or annual maintenance program.

Most of the new projects are proposed to be funded by the CIPR and include the Ainsley Garden Rear Patio Enhancement; Campisi Way Feasibility Study; City Hall Space Plan; seven Community Center projects: Bathroom Upgrades, E-Wing Improvements, HVAC Improvements, Q-80 and Q-84 Improvements. Sports Fields Irrigation Upgrades, Turf Conversions, and Track Resurface; Fischer Park Playground Improvements; Museum Warehouse Storage Remodel; and Public Safety Forensic 3D Scanner. Eighteen of the new projects are proposed for Year 1. Half of the new Year 1 projects will be supported by the CIPR.

Other changes compared to last year’s CIP include additional scheduled funding for maintenance projects in the out years such as Annul Street Maintenance, ADA Transition Plan Improvements, Bike/Pedestrian and Traffic Safety Improvements, City Hall Refresh Improvements, Miscellaneous Storm Drain Improvements, and Sidewalk/Curb & Gutter Improvements.

<b>New Capital Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
Ainsley Garden Rear Patio Enh.	\$55,000	Year 1	CIPR
Campisi Way Feasibility Study	\$150,000	Year 1	CIPR
Campbell Park Improvements	\$500,000	Year 1	Park
Citywide ITS Enhancements	\$500,000	Year 1	Grants/Private
City Hall Space Plan	\$50,000	Year 1	CIPR
Citywide Playground Renov. Ph. II	\$200,000	Year 2	Park
CCC Aquatic Feasibility Study	\$60,000	Year 1	Park
CCC Bathroom Upgrades	\$200,000	Annually	CIPR
CCC E-Wing Improvements	\$280,000	Year 2	CIPR
CCC HVAC Improvements	\$50,000	Year 1	CIPR
CCC Outdoor Exer. Stns. Renov.	\$100,000	Year 1	Park
CCC Play Area – Construction	\$250,000	Year 2	Park
CCC Play Area – Design	\$50,000	Year 1	Park
CCC Q-80 and Q-84 Improvements	\$100,000	Year 1	CIPR
CCC Sports Fields Irrigation Upg.	\$50,000	Year 1	CIPR
CCC Track Resurfacing	\$150,000	Year 2	CIPR
CCC Turf Conversions	\$50,000	Years 1 & 2	CIPR

<b>New Capital Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
Eden Ave. Sidewalk Improvs.	\$100,000	Year 2	CT/Env'tl Svcs.
Fischer Park Playground Repairs	\$100,000	Year 1	CIPR
Museum Warehouse Storage Rem.	\$94,000	Year 4	CIPR
Public Safety Forensic 3D Scanner	\$75,000	Year 2	CIPR
Svc. Ctr. Portable Building Repl.	\$100,000	Year 1	Grants/Private
Svc. Ctr. Solar Canopy	\$100,000	Year 2	Grants/Private
Svc. Ctr. Storage Bins and Covers	\$60,000	Year 1	Grants/Private
Winchester Blvd. ITS Ph. II	\$250,000	Year 1	Grants/Private

<b>Additional Appropriations</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
ADA Transition Plan Improvements	\$150,000	Annual	CIPR/Grants/VIF
Annual Street Maintenance	\$5,500,000	Annual	CIPR/Grants/VIF
Bike/Ped. Traffic Safety Improvs.	\$225,000	Annual	CT/Grants
City Hall Refresh	\$100,000	Years 1 & 2	CIPR
Misc. Storm Drainage Improvs.	\$100,000	Years 1, 3 & 5	Env'tl. Services
Sidewalk/Curb and Gutter	\$500,000	Annual	CIPR/CT

<b>Existing Projects</b>	<b>Total Budget</b>	<b>Timing</b>	<b>Source of Funds</b>
Accessibility Ramps	\$100,000	Biannual	CT
L.G. Creek Trail Feasibility Study	\$100,000	Year 2	Park
Silicon Valley Radio Comm. Syst.	\$900,000	Year 1	CIPR

Proposed projects supported by grant funds will only proceed if the grant is secured. Grant awards also frequently require some local match.

Approximately 65.6% of the proposed CIP dollars (or \$7.5 million) is for Street and Signal projects; 7.9% (or \$900,000) each are for Parks and Open Space and Public Facility – Equipment; 6.2% (or \$709,000) are for Public Facility – Buildings; 0.6% (or \$75,000) is for Public Facility – (I-T) projects; and approximately 11.8% (or \$1.3 million) is proposed for Community Center projects.

Most of the proposed Year 1 projects recommended for budget appropriations in FY 2017 are under the Department of Public Works and are listed below:

<b>Year 1 Projects</b>	<b>Budget Appropriation</b>	<b>Source of Funds</b>
ADA Transition Plan Improvements	\$50,000	CIPR
Ainsley Garden Rear Patio Enh.	\$55,000	CIPR
Annual Street Maintenance	\$1,200,000	CIPR/Grant/VIF
Bike/Ped. Traffic Safety Improvs.	\$45,000	CT/Grant
Campbell Park Improvements	\$500,000	Park
Campisi Way Feasibility Study	\$150,000	CIPR
City Hall Refresh Improvs	\$50,000	CIPR
City Hall Space Plan	\$50,000	CIPR
Citywide ITS Enhancements	\$500,000	Grants
CCC Aquatic Feasibility	\$60,000	Park
CCC Bathroom Upgrades	\$40,000	CIPR

<b>Year 1 Projects</b>	<b>Budget Appropriation</b>	<b>Source of Funds</b>
CCC Outdoor Exercise Stn. Renov.	\$100,000	Park
CCC HVAC Improvements	\$50,000	CIPR
CCC Play Area – Design	\$50,000	Park
CCC Q-80 and Q-84 Improvements	\$100,000	CIPR
CCC Sports Fields Irrigation Upgr.	\$50,000	CIPR
CCC Turf Conversions	\$25,000	CIPR
Fischer Park Playground Repairs	\$100,000	CIPR
Misc. Storm Drainage Improvs.	\$50,000	Env't'l Services
Service Ctr. Portable. Bldg. Repl.	\$100,000	Grants/Private
Service Ctr. Storage Bins and Cov.	\$60,000	Grants/Private
Sidewalk/Curb and Gutter Repl.	\$50,000	CIPR
S.V. Radio Communications Syst.	\$900,000	CIPR
Winchester Blvd. ITS - Ph. II	\$250,000	Grants/Private
<b>TOTAL</b>	<b>\$4,710,000</b>	

**CIP Process and Schedule**

Once the Council has provided direction to staff on the CIP, the Planning Commission at its May 24 meeting will be asked to make findings regarding the CIP's consistency with the City's General Plan.

Adoption of the CIP is scheduled to take place at the June 21, 2016 meeting of the City Council as part of the adoption of the Fiscal Year 2016/17 Operating and Capital budget.

**Operating Budget Impacts**

With respect to personnel, supplies and services, project managers do indicate their estimates for known operating budget impacts as shown on the individual project sheets. However, most of the proposed projects are not expected to have any significant operating budget impacts.

**Attachments:**

1. FY 2017-21 Proposed CIP Summary Tables
2. FY 2017-21 Projected Cash Flows
3. FY 2017-21 Capital Project Description Sheets
4. FY 2017-21 Unfunded List

## Capital Improvement Plan Summaries

### By Funding Source

Capital Improvement Reserve						
Project	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
ADA Transition Plan Improvements	\$ 50,000		\$ 50,000		\$ 50,000	\$ 150,000
Ainsley Garden Rear Patio Enhancement	55,000					55,000
Annual Street Maintenance	355,000	355,000	355,000	255,000	255,000	1,575,000
Campisi Way Feasibility Study	150,000					150,000
City Hall Refresh	50,000	50,000				100,000
City Hall Space Plan	50,000					50,000
*Community Center Bathroom Upgrades	40,000	40,000	40,000	40,000	40,000	200,000
*Community Center E -Wing Improvements		280,000				280,000
Community Center HVAC Improvements	50,000					50,000
*Community Center Q-80 and Q-84 Improvements	100,000					100,000
Community Center Sports Fields Irrigation Upgrades	50,000					50,000
Community Center Turf Conversions	25,000	25,000				50,000
Community Center Track Resurfacing		150,000				150,000
Fischer Park Playground Improvements	100,000					100,000
Museum Warehouse Storage Remodel				94,000		94,000
Public Safety Forensic 3D Scanner	75,000					75,000
Sidewalk/Curb and Gutter Improvements	50,000	50,000	50,000	50,000	50,000	250,000
Silicon Valley Radio Communications Systems (SVRCS)	900,000					900,000
<b>Sub-total</b>	<b>\$ 2,100,000</b>	<b>\$ 950,000</b>	<b>\$ 495,000</b>	<b>\$ 439,000</b>	<b>\$ 395,000</b>	<b>\$ 4,379,000</b>

Construction Tax						
Project	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Accessibility Ramps		\$ 50,000		\$ 50,000		\$ 100,000
Bike/Pedestrian and Traffic Safety Improvements	25,000	25,000	25,000	25,000	25,000	125,000
Eden Avenue Sidewalk Improvements		50,000				50,000
Sidewalk/Curb and Gutter Replacement	50,000	50,000	50,000	50,000	50,000	250,000
<b>Sub-total</b>	<b>\$ 75,000</b>	<b>\$ 175,000</b>	<b>\$ 75,000</b>	<b>\$ 125,000</b>	<b>\$ 75,000</b>	<b>\$ 525,000</b>

Environmental Services Funds						
Project	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Eden Avenue Sidewalk Improvements		\$ 50,000				\$ 50,000
Miscellaneous Storm Drainage Improvements	50,000		50,000		50,000	150,000
<b>Sub-total</b>	<b>\$ 50,000</b>	<b>\$ 50,000</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ 200,000</b>

# Capital Improvement Plan Summaries

## By Funding Source

Grants / Private	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
<b>Project</b>						
Annual Street Maintenance	\$ 215,000	\$ 215,000	\$ 215,000	\$ 215,000	\$ 215,000	\$ 1,075,000
Bike/Pedestrian and Traffic Safety Improvements	20,000	20,000	20,000	20,000	20,000	100,000
Citywide ITS Enhancements Project	500,000					500,000
Service Center Storage Bins and Covers	60,000					60,000
Service Center Portable Building Replacement	125,000					125,000
Service Center Solar Canopy		100,000				100,000
Winchester Boulevard ITS Phase II Project	250,000					250,000
<b>Sub-total</b>	<b>\$ 1,170,000</b>	<b>\$ 335,000</b>	<b>\$ 235,000</b>	<b>\$ 235,000</b>	<b>\$ 235,000</b>	<b>\$ 2,210,000</b>

Park Dedication						
<b>Project</b>						
Campbell Park Improvements	\$ 500,000					500,000
Citywide Park Playground Renovations Phase II		250,000				250,000
*Community Center Aquatic Feasibility Study	60,000					60,000
Community Center Outdoor Exercise Station Renovation	115,000					115,000
*Community Center Playground - Construction		250,000				250,000
*Community Center Playground - Design	50,000					50,000
Los Gatos Creek Trail Feasibility Study		100,000				100,000
<b>Sub-total</b>	<b>\$ 725,000</b>	<b>\$ 600,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 1,325,000</b>

Vehicle Impact Fees - Garbage						
<b>Project</b>						
Annual Street Maintenance	\$ 330,000	\$ 330,000	\$ 330,000	\$ 330,000	\$ 330,000	\$ 1,650,000
<b>Sub-total</b>	<b>\$ 330,000</b>	<b>\$ 1,650,000</b>				

Vehicle Impact Fees - Building Permits						
<b>Project</b>						
Annual Street Maintenance	\$ 300,000	\$ 300,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 1,200,000
<b>Sub-total</b>	<b>\$ 300,000</b>	<b>\$ 300,000</b>	<b>\$ 200,000</b>	<b>\$ 200,000</b>	<b>\$ 200,000</b>	<b>\$ 1,200,000</b>

<b>GRAND TOTAL</b>	<b>\$ 4,750,000</b>	<b>\$ 2,740,000</b>	<b>\$ 1,385,000</b>	<b>\$ 1,329,000</b>	<b>\$ 1,285,000</b>	<b>\$ 11,489,000</b>
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## Capital Improvement Plan Summaries By Category

Community Center	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Project						
*Community Center Aquatic Feasibility Study	\$ 60,000					\$ 60,000
*Community Center Bathroom Upgrades	40,000	40,000	40,000	40,000	40,000	200,000
*Community Center Play Area - Construction		250,000				250,000
*Community Center Play Area - Design	50,000					50,000
*Community Center E -Wing Improvements		280,000				280,000
Community Center HVAC Improvements	50,000					50,000
*Community Center Q-80 and Q-84 Improvements	100,000					100,000
Community Center Outdoor Exercise Station Renovation	115,000					115,000
Community Center Sports Fields Irrigation Upgrades	50,000					50,000
Community Center Track Resurfacing		150,000				150,000
Community Center Turf Conversions	25,000	25,000				50,000
<b>Sub-total</b>	<b>\$ 490,000</b>	<b>\$ 745,000</b>	<b>\$ 40,000</b>	<b>\$ 40,000</b>	<b>\$ 40,000</b>	<b>\$ 1,355,000</b>

Parks & Open Space						
Project						
Campbell Park Improvements	\$500,000					\$ 500,000
Citywide Park Playground Renovations Phase II		250,000				250,000
Fischer Park Playground Repairs	100,000					100,000
Los Gatos Creek Trail Feasibility Study		100,000				100,000
<b>Sub-total</b>	<b>\$ 600,000</b>	<b>\$ 350,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 950,000</b>

Public Facility (Buildings)	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Project						
ADA Transition Plan Improvements	\$ 50,000		\$ 50,000		\$ 50,000	\$ 150,000
Ainsley Garden Rear Patio Enhancement	55,000					55,000
City Hall Refresh	50,000	50,000				100,000
City Hall Space Plan	50,000					50,000
Museum Warehouse Storage Remodel				94,000		94,000
Service Center Storage Bins and Covers	60,000					60,000
Service Center Portable Building Replacement	125,000					125,000
Service Center Solar Canopy		100,000				100,000
<b>Sub-total</b>	<b>\$ 390,000</b>	<b>\$ 150,000</b>	<b>\$ 50,000</b>	<b>\$ 94,000</b>	<b>\$ 50,000</b>	<b>\$ 734,000</b>

<b>Public Facility (Equipment)</b>						
<b>Project</b>						
Silicon Valley Radio Communications Systems (SVRCS)	\$ 900,000					\$ 900,000
<b>Sub-total</b>	<b>\$ 900,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 900,000</b>

<b>Public Facility (I-T)</b>						
<b>Project</b>						
Public Safety Forensic 3D Scanner	\$ 75,000					\$ 75,000
<b>Sub-total</b>	<b>\$ 75,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 75,000</b>

<b>Streets &amp; Signals</b>						
<b>Project</b>						
Accessibility Ramps		\$ 50,000		\$ 50,000		\$ 100,000
Annual Street Maintenance	1,200,000	1,200,000	1,100,000	1,000,000	1,000,000	5,500,000
Bike/Pedestrian and Traffic Safety Improvements	45,000	45,000	45,000	45,000	45,000	225,000
Campisi Way Feasibility Study	150,000					150,000
Citywide ITS Enhancements Project	500,000					500,000
Eden Avenue Sidewalk Improvements		100,000				100,000
Miscellaneous Storm Drainage Improvements	50,000		50,000		50,000	150,000
Sidewalk/Curb and Gutter Replacement	100,000	100,000	100,000	100,000	100,000	500,000
Winchester Boulevard ITS Phase II	250,000					250,000
<b>Sub-total</b>	<b>\$ 2,295,000</b>	<b>\$ 1,495,000</b>	<b>\$ 1,295,000</b>	<b>\$ 1,195,000</b>	<b>\$ 1,195,000</b>	<b>\$ 7,475,000</b>

<b>GRAND TOTAL</b>	<b>\$ 4,750,000</b>	<b>\$ 2,740,000</b>	<b>\$ 1,385,000</b>	<b>\$ 1,329,000</b>	<b>\$ 1,285,000</b>	<b>\$ 11,489,000</b>
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\*Project identified at the October 29, 2015 Joint City Council / Parks Recreation Commission Study Session

# Proposed Capital Projects

## By Responsible Department

	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
<b>Public Works</b>						
<b>Project</b>						
Accessibility Ramps		\$ 50,000		\$ 50,000		\$ 100,000
ADA Transition Plan Improvements	50,000		50,000		50,000	150,000
Annual Street Maintenance	1,200,000	1,200,000	1,100,000	1,000,000	1,000,000	5,500,000
Bike/Pedestrian and Traffic Safety Improvements	45,000	45,000	45,000	45,000	45,000	225,000
<b>Campisi Way Feasibility Study</b>	150,000					150,000
<b>Campbell Park Improvements</b>	500,000					500,000
<b>Citywide ITS Enhancements Project</b>	500,000					500,000
City Hall Refresh	50,000	50,000				100,000
<b>City Hall Space Plan</b>	50,000					50,000
<b>Citywide Park Playground Renovations Phase II</b>		250,000				250,000
<b>Community Center Outdoor Exercise Station Renovation</b>	115,000					115,000
<b>Community Center Sports Fields Irrigation Upgrades</b>	50,000					50,000
<b>Community Center Track Resurfacing</b>		150,000				150,000
<b>Community Center Turf Conversions</b>	25,000	25,000				50,000
<b>Eden Avenue Sidewalk Improvements</b>		100,000				100,000
<b>Fischer Park Playground Repairs</b>	100,000					100,000
Los Gatos Creek Trail Feasibility Study		100,000				100,000
Miscellaneous Storm Drainage Improvements	50,000		50,000		50,000	150,000
<b>Service Center Storage Bins and Covers</b>	60,000					60,000
<b>Service Center Portable Building Replacement</b>	125,000					125,000
<b>Service Center Solar Canopy</b>		100,000				100,000
Sidewalk/Curb and Gutter Replacement	100,000	100,000	100,000	100,000	100,000	500,000
<b>Winchester Boulevard ITS Phase II</b>	250,000					250,000
<b>Sub-total</b>	<b>\$ 3,420,000</b>	<b>\$ 2,170,000</b>	<b>\$ 1,345,000</b>	<b>\$ 1,195,000</b>	<b>\$ 1,245,000</b>	<b>\$ 9,375,000</b>

# Proposed Capital Projects

## By Responsible Department

2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
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### Community Development

Project						
Sub-total	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

### Police Department

Project						
Public Safety Forensic 3D Scanner	\$ 75,000					\$ 75,000
Silicon Valley Radio Communications Systems (SVRCS)	900,000					900,000
Sub-total	\$ 975,000	\$ -	\$ -	\$ -	\$ -	\$ 975,000

### Recreation & Community Services

Project						
Ainsley Garden Rear Patio Enhancement	\$ 55,000					\$ 55,000
*Community Center Aquatic Feasibility Study	60,000					60,000
*Community Center Bathroom Upgrades	40,000	40,000	40,000	40,000	40,000	200,000
*Community Center E -Wing Improvements		280,000				280,000
Community Center HVAC Improvements	50,000					50,000
*Community Center Play Area - Construction		250,000				250,000
*Community Center Play Area - Design	50,000					50,000
*Community Center Q-80 and Q-84 Improvements	100,000					100,000
Museum Warehouse Storage Remodel				94,000		94,000
Sub-total	\$ 355,000	\$ 570,000	\$ 40,000	\$ 134,000	\$ 40,000	\$ 1,139,000

<b>GRAND TOTAL</b>	<b>\$ 4,750,000</b>	<b>\$ 2,740,000</b>	<b>\$ 1,385,000</b>	<b>\$ 1,329,000</b>	<b>\$ 1,285,000</b>	<b>\$ 11,489,000</b>
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**CIP Five Year Cash Flow Analysis  
FY 16-17 Through FY 20-21**

**CIPR - Designated Fund Balance - Fund 101**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY17-21
Designated CIP Fund Balance-- July 1	\$ 6,947,438	\$ 3,602,438	\$ 1,751,438	\$ 1,056,438	\$ 417,438	6,947,438
Add Projected Revenues:						
Projected Surplus Estimated at FYE	-	-	-	-	-	-
Total Projected Resources	-	-	-	-	-	-
Less Projected Expenditures:						
Five Year CIP Proposed	2,100,000	950,000	495,000	439,000	395,000	4,379,000
Two Year Approved Postions	961,000	701,000	-	-	-	1,662,000
Operating & Capital Budget Adj.	284,000	200,000	200,000	200,000	200,000	1,084,000
Sub-Total Expenditures	3,345,000	1,851,000	695,000	639,000	595,000	7,125,000
<b>Projected Available Fund Balance</b>	<b>\$ 3,602,438</b>	<b>\$ 1,751,438</b>	<b>\$ 1,056,438</b>	<b>\$ 417,438</b>	<b>\$ (177,562)</b>	<b>\$ (177,562)</b>

**Construction Tax - Designated Fund Balance - Fund 101**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY17 to 21
Designated Fund Balance--July 1	\$ 183,543	\$ 178,543	\$ 73,543	\$ 68,543	\$ 13,543	\$ 183,543
Add Projected Revenues:						
Construction Tax	65,000	65,000	65,000	65,000	65,000	325,000
Total Projected Revenues	70,000	70,000	70,000	70,000	70,000	325,000
Less Projected Expenditures:						
Civic Center Pedestrian Pathway Improvements	-	-	-	-	-	-
Five Year CIP Proposed	75,000	175,000	75,000	125,000	75,000	525,000
Operating budget expenditures	-	-	-	-	-	-
Carryforward from prior years	-	-	-	-	-	-
Sub-Total Expenditures	75,000	175,000	75,000	125,000	75,000	525,000
<b>Projected Fund Balance Designation</b>	<b>\$ 178,543</b>	<b>\$ 73,543</b>	<b>\$ 68,543</b>	<b>\$ 13,543</b>	<b>\$ 8,543</b>	<b>\$ (16,457)</b>

**CIP Five Year Cash Flow Analysis  
FY 16-17 Through FY 20-21**

**Environmental Services Storm Drain Reserves - Fund Balance - Fund 209**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY17 to 21
	Environ. Svcs. Storm Drain Res Fund Balance FD 209	Environ Svcs. Storm Drain Res Fund Balance FD 209				
Available Reserve--July 1	\$ 163,032	\$ 133,532	\$ 104,032	\$ 74,532	\$ 95,032	\$ 163,032
Add Projected Revenues:						
Storm Drain Fees	20,000	20,000	20,000	20,000	20,000	100,000
Environmental Services Fund Investment income	500	500	500	500	500	2,500
<b>Total Projected Revenues</b>	<b>20,500</b>	<b>20,500</b>	<b>20,500</b>	<b>20,500</b>	<b>20,500</b>	<b>102,500</b>
Less Projected Expenditures:						
Five Year CIP Proposed	50,000	50,000	50,000	-	50,000	200,000
<b>Sub-Total Expenditures</b>	<b>50,000</b>	<b>50,000</b>	<b>50,000</b>	<b>-</b>	<b>50,000</b>	<b>200,000</b>
<b>Projected Available Reserve</b>	<b>\$ 133,532</b>	<b>\$ 104,032</b>	<b>\$ 74,532</b>	<b>\$ 95,032</b>	<b>\$ 65,532</b>	<b>\$ 65,532</b>

**Other Grants - Fund Balance - Funds 212, 216, 218**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY17 to 21
	Other Grants Fund Balance FD 212, 216, 218					
Fund Balance--July 1	(1,548,769)	16,231	231,231	241,231	251,231	(1,548,769)
Add Projected Revenues:						
Grant Receipts(SCVWD,SCC,MTC,HSIP)	2,300,000	305,000	-	-	-	2,605,000
TDA Grants (Fund 216)	30,000	30,000	30,000	30,000	30,000	150,000
Prop 42 Replacement (Sec. 2103)	190,000	-	-	-	-	190,000
Gas Tax Revenue/Other Grants/STP/CMAQ/Meas. B	215,000	215,000	215,000	215,000	215,000	1,075,000
<b>Total Projected Revenues</b>	<b>2,735,000</b>	<b>550,000</b>	<b>245,000</b>	<b>245,000</b>	<b>245,000</b>	<b>4,020,000</b>
Less Projected Expenditures:						
Five Year CIP Proposed	1,170,000	335,000	235,000	235,000	235,000	2,210,000
<b>Sub-Total Expenditures</b>	<b>1,170,000</b>	<b>335,000</b>	<b>235,000</b>	<b>235,000</b>	<b>235,000</b>	<b>2,210,000</b>
<b>Projected Available Fund Balance</b>	<b>\$ 16,231</b>	<b>\$ 231,231</b>	<b>\$ 241,231</b>	<b>\$ 251,231</b>	<b>\$ 261,231</b>	<b>\$ 261,231</b>

**CIP Five Year Cash Flow Analysis  
FY 16-17 Through FY 20-21**

**Vehicle Impact - Fund Balance - Fund 202**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY 17 to 21
Available Reserve--July 1	\$ 551,832	\$ 552,082	\$ 552,332	\$ 552,582	\$ 552,832	\$ 551,832
Add Projected Revenues:						
Vehicle Impact Fees	300,000	300,000	280,000	280,000	280,000	1,440,000
Solid Waste Vehicle Impact Fees	330,000	330,000	250,000	250,000	250,000	1,410,000
Investment income	250	250	250	250	250	1,250
<b>Total Projected Revenues</b>	<b>630,250</b>	<b>630,250</b>	<b>530,250</b>	<b>530,250</b>	<b>530,250</b>	<b>2,851,250</b>
Less Projected Expenditures:						
Carryforward from prior years						-
Five Yr. CIP Proposed	630,000	630,000	530,000	530,000	530,000	2,850,000
<b>Sub-Total Expenditures</b>	<b>630,000</b>	<b>630,000</b>	<b>530,000</b>	<b>530,000</b>	<b>530,000</b>	<b>2,850,000</b>
<b>Projected Available Fund Balance</b>	<b>\$ 552,082</b>	<b>\$ 552,332</b>	<b>\$ 552,582</b>	<b>\$ 552,832</b>	<b>\$ 553,082</b>	<b>\$ 553,082</b>

**Parkland Dedication - Undesignated Fund Balance 295**

	FY 16-17	FY 17-18	FY 18-19	FY 19-20	FY 20-21	Total FY17 to 21
Cash - Liabilities Balance--July 1	\$ 3,434,040	\$ 3,160,551	\$ 3,007,959	\$ 3,453,078	\$ 3,904,874	\$ 3,434,040
Add: Projected Revenues:						
Investment Income	51,511	47,408	45,119	51,796	58,573	254,408
Other Revenue						-
Parkland Ded. Fees	400,000	400,000	400,000	400,000	400,000	2,000,000
<b>Total Projected Revenues</b>	<b>451,511</b>	<b>447,408</b>	<b>445,119</b>	<b>451,796</b>	<b>458,573</b>	<b>2,254,408</b>
Less Projected Expenditures:						
Five Yr. CIP Proposed	725,000	600,000	-	-	-	1,325,000
<b>Sub-Total Expenditures</b>	<b>725,000</b>	<b>600,000</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>1,325,000</b>
<b>Projected Available Fund Balance</b>	<b>\$ 3,160,551</b>	<b>\$ 3,007,959</b>	<b>\$ 3,453,078</b>	<b>\$ 3,904,874</b>	<b>\$ 4,363,447</b>	<b>\$ 4,363,447</b>

<b>CIP Totals--All Funding Sources</b>	<b>\$ 4,750,000</b>	<b>\$ 2,740,000</b>	<b>\$ 1,385,000</b>	<b>\$ 1,329,000</b>	<b>\$ 1,285,000</b>	<b>\$ 11,489,000</b>
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# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	
<b>PROGRAM #:</b>	602	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Police	<b>USEFUL LIFE:</b>	8 years
<b>CATEGORY:</b>	Public Facility - Equipment		

**PROJECT TITLE:** Silicon Valley Radio Communications System (SVRCS)

## PROJECT DESCRIPTION

The Silicon Valley Regional Communications System (SVRCS) is a proposed county-wide, digital radio communications system in the 700MHz band that will allow public safety and government agencies in Santa Clara County and state-wide to improve voice interoperability. While much of the SVRCS is grant funded, agencies are required to fund replacement of their consoles and subscriber units. Subscriber units are mobile and portable radios. It is estimated that the total cost for replacement of the subscriber units will be approximately \$600,000.

Additionally, the scope of this project is being expanded to incorporate anticipated replacement of the three existing Orbacom radio consoles with consoles that will work with the new digital, trunked radio system. The cost to replace the three existing radio consoles is estimated at a total of \$300,000.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Improved safety for the community

## ALTERNATIVES

Project may be able to be deferred depending upon dependability of existing equipment and the ability of the Silicon Valley Regional Interoperability Authority to meet project milestones.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 900,000		\$ -	\$ -	\$ -	\$ -	\$ 900,000
2017/18							\$0
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 900,000</b>	<b>\$ -</b>	<b>\$ 900,000</b>				

**PROJECT MANAGER:** Rita Thibodeau, Support Services Manager

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 602   
 DEPARTMENT: Police   
 CATEGORY: Public Facility - Equipment

PROJECT TITLE: Silicon Valley Radio Communications System (SVRCS)

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction						-
City Staff						-
Equipment	900,000					900,000
<b>TOTAL</b>	<b>\$ 900,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 900,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay	900,000					
Debt Service						
<b>TOTAL</b>	<b>\$ 900,000</b>	<b>\$ -</b>				
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition		X																			
Design																					
Bids Received																					
Bid Award																					
Construction																					

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:**  
**PROGRAM #:** 604  
**DEPARTMENT:** Police  
**CATEGORY:** Equipment

**NEW PROJECT:**  
**ADD'L APPROP:**  
**USEFUL LIFE: 10 Years**



**PROJECT TITLE:** Public Safety Forensic 3D Scanner

## PROJECT DESCRIPTION

The Police Department's Major Accident Investigation Team (MAIT) and Crime Scene Investigation Team (CSI) currently use an electronic distance measuring device for their investigations. It is critical to accurately measure and record the hundreds (if not thousands) of evidentiary items that can be present at a scene for later use in court. The current system, while accurate, is becoming outdated and does not have certain features, including 3D mapping, that are becoming standard. It also takes many hours to process a scene which can cause major traffic delays as well the extended length of time it takes personnel to process a scene.

New technology has been identified which will help mitigate these issues as well as providing a new and updated tool that provides enhanced details and options over our current system. 3D scanners provide officers with a portable way to capture accurate details of a scene for accident investigation and crime scene reconstruction. Traffic is minimally disrupted after the accident and evidence is recorded without compromising a crime scene.

The level of precision and detail collected from the 3D laser scanning solutions allows investigators to create an accurate 3D model of the scene for later analysis, such as the extraction of exact measurements or the creation of 3D simulations of accidents and crimes for use in litigation. The requested 3D scanner will replace the existing (and outdated) system that the PD currently uses.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Minimizes staff time and utilizes the most up to date technology. Reduces impacts on the community associated with crime and accident scene processing.

## ALTERNATIVES

1. Continue to utilize current system.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 75,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 75,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 75,000</b>	<b>\$ -</b>	<b>\$ 75,000</b>				

**PROJECT MANAGER:** Gary Berg

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 604   
 DEPARTMENT: Police   
 CATEGORY: Equipment

PROJECT TITLE: Public Safety Forensic 3D Scanner

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction						-
City Staff						-
Equipment	75,000					-
<b>TOTAL</b>	<b>\$ 75,000</b>		<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 75,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition					X																
Design																					
Bids Received																					
Bid Award																					
Construction																					

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	xx	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	50 years
<b>CATEGORY:</b>	Parks & Open Space		

**PROJECT TITLE:** Los Gatos Creek Trail Feasibility Study

**PROJECT DESCRIPTION**

This project will fund a study that will assess the feasibility of constructing a creek trail on the west side of the Los Gatos Creek between Hamilton and Campbell Aveunes. The study will assess and evaluate environmental issues, ownership issues, and constructability issues. The study would also be used to amend the creek trail master plan and allow the City to pursue grant funding and other outside funding sources.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Supports Strategic Goal 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles.

**ALTERNATIVES**

1. Do not perform the study.

**SOURCE OF FUNDING**

	Park In-lieu						TOTAL
2016/17		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	\$ 100,000						100,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #: xx  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Parks & Open Space

PROJECT TITLE: Los Gatos Creek Trail Feasibility Study

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction		90,000				90,000
City Staff		10,000				10,000
Equipment						-
<b>TOTAL</b>	<b>\$ -</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>
Staff Hours		100				100

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design							X													
Bids Received							X													
Bid Award								X												
Construction																				

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	xx	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20
<b>CATEGORY:</b>	Streets & Signals		

**PROJECT TITLE:** Eden Avenue Sidewalk Improvements

## PROJECT DESCRIPTION

Eden Avenue between Hamilton Avenue and the northern city limits is a major walk route feeding into Rosemary Elementary School, which is located on the northwest corner of Eden Avenue and Hamilton Avenue. The east side of Eden Avenue and the abutting Rosemary Lane lack sidewalk and adequate storm drainage facilities. This phase of the project will focus on design while additional funding sources are being identified to fund the construction phase.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles, and Objective 3.4 - Streets that are safe, clean and well maintained.

## ALTERNATIVES

1. Take no action to resolve this issue.

## SOURCE OF FUNDING

	Const. Tax	Env't'l Services					TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	50,000	50,000					100,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #: XX  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Streets & Signals

PROJECT TITLE: Eden Avenue Sidewalk Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services		80,000				80,000
Construction						-
City Staff		20,000				20,000
Equipment						-
<b>TOTAL</b>	<b>\$ -</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design							X	X												
Bids Received																				
Bid Award																				
Construction																				

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	xx	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	780	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Public Facility-Buildings		

**PROJECT TITLE:** City Hall Space Plan

## PROJECT DESCRIPTION

This project will fund the development of a space plan to be used to provide customer service and employee space improvements at City Hall.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for the maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Allow the current conditions to remain.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 50,000		\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 780   
 DEPARTMENT: Public Works   
 CATEGORY: Public Facility-Buildings

PROJECT TITLE: City Hall Space Plan

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	45,000					45,000
City Staff	5,000					5,000
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>
Staff Hours	50					50

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design		X																		
Bids Received		X																		
Bid Award			X																	
Construction				X																

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>		<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	780	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	15 years
<b>CATEGORY:</b>	Public Facility-Buildings		

**PROJECT TITLE:** City Hall Refresh

**PROJECT DESCRIPTION**

This project will fund a series of improvements related to improving customer service, improved functionality, increased work space for employees, and improved meeting room space. Accessibility issues will be addressed and included as appropriate.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

This project will address Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for the maximum community use, benefit and enjoyment.

**ALTERNATIVES**

1. Allow the current conditions to remain.

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ 50,000		\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18	\$ 50,000						50,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 780   
 DEPARTMENT: Public Works   
 CATEGORY: Public Facility-Buildings

PROJECT TITLE: City Hall Refresh

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	45,000	45,000				90,000
City Staff	5,000	5,000				10,000
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>
Staff Hours	50	50				100

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design		X				X														
Bids Received		X				X														
Bid Award			X				X													
Construction				X				X												

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	xx	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Streets & Signals		

**PROJECT TITLE:** Campisi Way Feasibility Study

## PROJECT DESCRIPTION

Campisi Way is situated over an existing landfill. The material in the landfill continues to deteriorate causing soil settlement along sidewalk and roadway service. This project would conduct investigation on the extent of the settlement and provide analysis of alternatives to properly address the issue.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles, and Objective 3.4 - Streets that are safe, clean and well maintained.

## ALTERNATIVES

1. Take no action to resolve this issue.
2. Defer this project until later date.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 150,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 150,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ 150,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #: xx  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Streets & Signals

PROJECT TITLE: Campisi Way Feasibility Study

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	120,000					120,000
Construction						-
City Staff	30,000					30,000
Equipment						-
<b>TOTAL</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 150,000</b>
Staff Hours	300					300

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design			X	X																
Bids Received																				
Bid Award																				
Construction																				

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	17-	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	435	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 Years
<b>CATEGORY:</b>	Streets & Signals		

**PROJECT TITLE:** Bike/Pedestrian and Traffic Safety Improvements

## PROJECT DESCRIPTION

This annual project provides minor improvements to streets and signals to increase safety as deemed necessary by the City's Traffic Engineer and City Engineer. This project also constructs Class II bike lanes, sidewalks, paths, and other improvements to enhance pedestrian and bicyclist safety on City streets. TDA funds represent the majority of the project funding.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Supports Strategic Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles.

## ALTERNATIVES

1. Allow the current conditions to remain.
2. Submit each minor project/improvement to the City Council for approval.

## SOURCE OF FUNDING

	Const. Tax	Grant					TOTAL
2016/17	\$ 25,000	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ 45,000
2017/18	\$ 25,000	20,000					45,000
2018/19	\$ 25,000	20,000					45,000
2019/20	\$ 25,000	20,000					45,000
2020/21	\$ 25,000	20,000					45,000
<b>TOTAL</b>	<b>\$ 125,000</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 225,000</b>

**PROJECT MANAGER:** Matthew Jue, Traffic Engineer

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 435   
 DEPARTMENT: Public Works   
 CATEGORY: Streets & Signals

PROJECT TITLE: Bike/Pedestrian and Traffic Safety Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	40,000	40,000	40,000	40,000	40,000	200,000
City Staff	5,000	5,000	5,000	5,000	5,000	25,000
Equipment						-
<b>TOTAL</b>	<b>\$ 45,000</b>	<b>\$ 225,000</b>				
Staff Hours	60	60	60	60	60	300

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

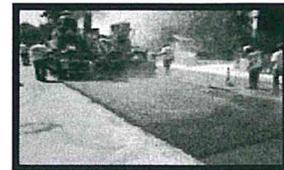
PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition																					
Design	X				X				X				X				X				
Bids Received		X				X				X				X				X			
Bid Award			X				X				X				X				X		
Construction			X	X			X	X			X	X			X	X			X	X	

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:** xx  
**PROGRAM #:** 730  
**DEPARTMENT:** Public Works  
**CATEGORY:** Streets & Signals

**NEW PROJECT:**  
**ADD'L APPROP:** X  
**USEFUL LIFE:** 20 Years



**PROJECT TITLE:** Annual Street Maintenance

## PROJECT DESCRIPTION

Annual Street Maintenance per the City's Pavement Management Program. Includes anticipated funding from City's Vehicle Impact Fee on construction and solid waste collection vehicles. Also includes anticipated funds from County Measure B allocation.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.4 - Streets that are safe, clean and well maintained.

## ALTERNATIVES

1. Only pursue stop-gap maintenance.
2. Fund the City's pavement maintenance program at an alternate level.

## SOURCE OF FUNDING

	CIPR	VIF (Building)	VIF (Garbage)	Grants/Private			TOTAL
2016/17	\$ 355,000	\$ 300,000	\$ 330,000	\$ 215,000	\$ -	\$ -	\$ 1,200,000
2017/18	\$ 355,000	300,000	\$ 330,000	\$ 215,000			1,200,000
2018/19	\$ 355,000	200,000	\$ 330,000	\$ 215,000			1,100,000
2019/20	255,000	200,000	\$ 330,000	\$ 215,000			1,000,000
2020/21	255,000	200,000	\$ 330,000	\$ 215,000			1,000,000
<b>TOTAL</b>	<b>\$ 1,575,000</b>	<b>\$ 1,200,000</b>	<b>\$ 1,650,000</b>	<b>\$ 1,075,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 5,500,000</b>

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #: xx  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Streets & Signals

PROJECT TITLE: Annual Street Maintenance

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	30,000	30,000	30,000	30,000	30,000	150,000
Construction	1,070,000	1,070,000	970,000	870,000	870,000	4,850,000
City Staff	100,000	100,000	100,000	100,000	100,000	500,000
Equipment						-
<b>TOTAL</b>	<b>\$ 1,200,000</b>	<b>\$ 1,200,000</b>	<b>\$ 1,100,000</b>	<b>\$ 1,000,000</b>	<b>\$ 1,000,000</b>	<b>\$ 5,500,000</b>
Staff Hours	1,100	1,100	1,100	1,100	1,100	5,500

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design		X	X			X	X			X	X			X	X				X	X
Bids Received			X				X				X				X					X
Bid Award			X				X				X				X					X
Construction	X	X		X	X	X		X	X	X		X	X	X		X	X	X		X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	17-	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	435	<b>ADD'L APPROP:</b>	
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Streets/Signals		

**PROJECT TITLE:** Winchester Boulevard ITS Phase II Project

**PROJECT DESCRIPTION**

Replace older video detection systems at six intersections (Winchester at Latimer, Kennedy, Budd, Camden, Sunnoaks, and Hacienda); replace older copper interconnect cable between Hacienda Avenue and Sunnoaks Avenue; install new emergency vehicle preemption equipment at Winchester/Hacienda and Winchester/Camden.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Supports Strategic Objective 3.7 - Streets that operate efficiently and effectively

**ALTERNATIVES**

1. Do nothing.
2. Use City funds to purchase and install equipment.

**SOURCE OF FUNDING**

	Grant						TOTAL
2016/17	\$ 250,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 250,000</b>	<b>\$ -</b>	<b>\$ 250,000</b>				

**PROJECT MANAGER:** Matthew Jue, Traffic Engineer

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 435   
 DEPARTMENT: Public Works   
 CATEGORY: Streets/Signals

PROJECT TITLE: Winchester Boulevard ITS Phase II Project

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	85,000					85,000
City Staff	40,000					40,000
Equipment	125,000					125,000
<b>TOTAL</b>	<b>\$ 250,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 250,000</b>
Staff Hours	450					450

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition		X																		
Design		X																		
Bids Received		X																		
Bid Award		X																		
Construction			X	X																

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Streets		

**PROJECT TITLE: Sidewalk and Curb & Gutter Improvements**

**PROJECT DESCRIPTION**

Replace newly damaged sidewalks that are identified for replacement or grinding. The City uses concrete and no longer uses asphalt as sidewalk replacement material when removing sections of sidewalk. Sidewalk grinds are performed on raised sidewalks where the sidewalk deflection is less than 1 and 1/2 inches. Curb and gutters are replaced in kind when the damaged or raised curb and gutter prohibits safe pedestrian access to travel ways. These locations are typically at intersections or in front of crosswalks. Curb and gutter water flow issues are NOT a criteria for replacement under this ongoing maintenance project proposal.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Strategic Plan Objective 3.1 - Safe residential neighborhoods. Strategic Plan Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles.

**ALTERNATIVES**

1. Continue to replace damaged sidewalk with asphalt
2. Do not replace any curb and gutter

**SOURCE OF FUNDING**

	Const. Tax	CIPR					TOTAL
2016/17	\$ 50,000	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ 100,000
2017/18	\$ 50,000	50,000					100,000
2018/19	\$ 50,000	50,000					100,000
2019/20	\$ 50,000	50,000					100,000
2020/21	\$ 50,000	50,000					100,000
<b>TOTAL</b>	<b>\$ 250,000</b>	<b>\$ 250,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>

**PROJECT MANAGER: Alex Mordwinow, Public Works Superintendent**

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 730   
 DEPARTMENT: Public Works   
 CATEGORY: Streets

PROJECT TITLE: Sidewalk and Curb & Gutter Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	100,000	100,000	100,000	100,000	100,000	500,000
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ 500,000</b>				
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design																				
Bids Received	X				X				X				X				X			
Bid Award		X				X				X				X				X		
Construction		X	X	X		X	X	X		X	X	X		X	X	X		X	X	X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	780	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Public Facility - Building		

**PROJECT TITLE:** Service Center Storage Bins and Covers

## PROJECT DESCRIPTION

Replace the existing deteriorated material storage bins located at the back of the service center. The existing bins are made of wood and are susceptible to damage by heavy equipment. The project will replace the wooden structures with cinder block constructed walls. The new walls will be higher and covered allowing for more material to be stored, using less space than the current bins do. Portions of the service center land have been sold to adjacent property developers. The project will allow for better use of the remaining service center space. Additionally, the project will provide coverage of material during rain events, which is a current clean water regulation.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Rebuild the storage bins with other materials at a lower project cost. Other materials will not provide the long term life of the proposed project and may cost more in maintenance and ongoing costs.

## SOURCE OF FUNDING

	Grants/Private (Service Yard Reserves)						TOTAL
2016/17	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 60,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 60,000</b>	<b>\$ -</b>	<b>\$ 60,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 780   
 DEPARTMENT: Public Works   
 CATEGORY: Public Facility - Building

PROJECT TITLE: Service Center Storage Bins and Covers

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	60,000					60,000
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 60,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 60,000</b>
Staff Hours	80					80

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X																			
Bids Received	X																			
Bid Award	X																			
Construction	X																			

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	780	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Public Facility - Building		

**PROJECT TITLE:** Service Center Solar Canopy

## PROJECT DESCRIPTION

Construct carports and install solar panels on top of the carports to generate energy savings and protection for City vehicles and equipment

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Continue to store vehicles and equipment unprotected from the sun and weather.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	\$ 100,000						100,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 780   
 DEPARTMENT: Public Works   
 CATEGORY: Public Facility - Building

PROJECT TITLE: Service Center Solar Canopy

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services		10,000				10,000
Construction		90,000				90,000
City Staff						-
Equipment						-
<b>TOTAL</b>	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
Staff Hours		80				80

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design					X															
Bids Received						X														
Bid Award							X													
Construction								X												

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	780	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	30 years
<b>CATEGORY:</b>	Public Facility - Building		

**PROJECT TITLE: Service Center Portable Building Replacement**

## PROJECT DESCRIPTION

Replace the existing portable building at the service center that is used for staff offices, workshops, traffic monitoring, and storage with a new pre-fabricated metal building. The existing building was bought used over 22 years ago and does not meet the current demands of the space. The building not only has capacity issues, but has been repaired many times for rot and structural damage. The new warehouse/office building will provide a more efficient use of the building footprint and address some of the space needs generated from the sale of portions of service center lands.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Have staff remain in and operate from the existing building, continue to store equipment in unsecure and unprotected areas,
2. Design and build a "brick & mortar" building to meet operational needs. This option will be substantially higher in cost than the proposed project.

## SOURCE OF FUNDING

	Grants/Private (Service Yard Reserve)						TOTAL
2016/17	\$ 125,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 125,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 125,000</b>	<b>\$ -</b>	<b>\$ 125,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 780   
 DEPARTMENT: Public Works   
 CATEGORY: Public Facility - Building

PROJECT TITLE: Service Center Portable Building Replacement

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	10,000					10,000
Construction	110,000					110,000
City Staff	5,000					5,000
Equipment						-
<b>TOTAL</b>	<b>\$ 125,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 125,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X																			
Bids Received		X																		
Bid Award			X																	
Construction				X																

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Parks & Open Space		

**PROJECT TITLE:** Citywide Park Playground Renovations Phase II

**PROJECT DESCRIPTION**

To renovate playgrounds and tot-lots at John D. Morgan, Virginia, and Hyde Parks. Playground equipment and surfacing will be replaced as appropriate to address accessibility and safety requirements.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

**ALTERNATIVES**

1. Replace playground components in kind if they are available and/or continue to make repairs when possible. Safety conditions and rating will continue to fall as the equipment ages.

**SOURCE OF FUNDING**

	Park-in-lieu						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	\$250,000						250,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 250,000</b>	<b>\$ -</b>	<b>\$ 250,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 730   
 DEPARTMENT: Public Works   
 CATEGORY: Parks & Open Space

PROJECT TITLE: Citywide Park Playground Renovations Phase II

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services		40,000				40,000
Construction		200,000				200,000
City Staff		10,000				10,000
Equipment						-
<b>TOTAL</b>	\$ -	\$ 250,000	\$ -	\$ -	\$ -	\$ 250,000
Staff Hours		100				100

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Funding Source						
Additional Revenue						

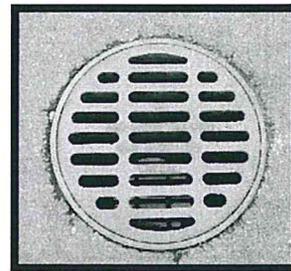
PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design					X	X														
Bids Received							X													
Bid Award							X													
Construction								X												

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:** XX  
**PROGRAM #:** 730  
**DEPARTMENT:** Public Works  
**CATEGORY:** Streets & Signals

**NEW PROJECT:**  
**ADD'L APPROP:**  
**USEFUL LIFE:** 20 Years



**PROJECT TITLE:** Miscellaneous Storm Drainage Improvements

## PROJECT DESCRIPTION

This biennial maintenance project provides minor drainage improvements to streets to increase safety and decrease pavement deterioration. Environmental Services Funds support this project.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.4 - Streets that are safe, clean and well maintained; and Objective 3.6 - Streets that serve the needs of adjacent land uses.

## ALTERNATIVES

1. Allow the current conditions to remain and continue stop gap maintenance efforts.
2. Submit each individual location/project site and improvement to the City Council for approval.

## SOURCE OF FUNDING

	Env't'l. Services						TOTAL
2016/17	50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19	50,000						50,000
2019/20							-
2020/21	50,000						50,000
<b>TOTAL</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ 150,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #:  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Streets & Signals

PROJECT TITLE: Miscellaneous Storm Drainage Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	43,000		43,000		43,000	129,000
City Staff	7,000		7,000		7,000	21,000
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ 150,000</b>
Staff Hours	100		100		100	300

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design																				
Bids Received	X								X								X			
Bid Award		X								X								X		
Construction		X								X								X		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 Years
<b>CATEGORY:</b>	Parks & Open Space		

**PROJECT TITLE: Fischer Park Playground Improvements**

## PROJECT DESCRIPTION

Review, design and replace playground equipment at Fischer Park. Many components of the existing play structures are at the end of their life expectancy and the existing wooden structures will be replaced with equipment made of current industry recommended materials.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Plan Objective 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

## ALTERNATIVES

1. Do not replace the existing equipment resulting in higher maintenance cost and staff time and closures of some of the play components.
2. Design a new play area to increase and improve amenities in order to serve a growing population. This option will be significantly higher in cost but could qualify for Park-in-Lieu Funds.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100,000
2017/18	-						-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #: XX  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Parks & Open Space

PROJECT TITLE: Fischer Park Playground Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	100,000					100,000
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>
Staff Hours	100					100

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X																			
Bids Received	X																			
Bid Award		X																		
Construction			X																	

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	xx	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	435	<b>ADD'L APPROP:</b>	
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Streets/Signals		

**PROJECT TITLE:** Citywide ITS Enhancements Project

**PROJECT DESCRIPTION**

Purchase traffic signal controllers, install communication equipment, replace older video detection systems, purchase and install emergency vehicle preemption equipment, and/or procure and install controller cabinet replacements and service pedestals at various locations; purchase computer monitors for the City's Advanced Traffic Management System (ATMS) workstations in City Hall and the Service Center.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Supports Strategic Objective 3.7 - Streets that operate efficiently and effectively

**ALTERNATIVES**

1. Do nothing.
2. Use City funds to purchase and install equipment.

**SOURCE OF FUNDING**

	Grant						TOTAL
2016/17	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ 500,000</b>				

**PROJECT MANAGER:** Matthew Jue, Traffic Engineer

# CAPITAL PROJECT

PROJECT #: xx  
 PROGRAM #: 435  
 DEPARTMENT: Public Works  
 CATEGORY: Streets/Signals

PROJECT TITLE: Citywide ITS Enhancements Project

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	175,000					175,000
City Staff	25,000					25,000
Equipment	300,000					300,000
<b>TOTAL</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>
Staff Hours	300					300

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition		X																		
Design		X																		
Bids Received		X																		
Bid Award		X																		
Construction			X	X																

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 Years
<b>CATEGORY:</b>	Community Center		

**PROJECT TITLE:** Community Center - Turf Conversions

**PROJECT DESCRIPTION**

Convert grass areas that are located next to Community Center classrooms into useable open spaces. Funding will include the review of potential projects that could create outdoor classrooms, conference rooms, stages & seating. Scope will be determined by a community input process led by the Parks and Recreation Commission.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Strategic Plan Objective 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

**ALTERNATIVES**

1. Do not renovate areas and leave turf.

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ 25,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 25,000
2017/18	25,000						25,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 730   
 DEPARTMENT: Public Works   
 CATEGORY: Community Center

PROJECT TITLE: Community Center - Turf Conversions

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	5,000					5,000
Construction	15,000	20,000				35,000
City Staff	5,000	5,000				10,000
Equipment						-
<b>TOTAL</b>	<b>\$ 25,000</b>	<b>\$ 25,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X				X															
Bids Received		X				X														
Bid Award			X				X													
Construction				X				X												

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>		<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	775	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	10 years
<b>CATEGORY:</b>	Community Center		

**PROJECT TITLE:**      **Community Center Track Resurface**

**PROJECT DESCRIPTION**

Resurfacing of track surface at the Community Center. The resurfacing will extend the track's useful life.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

This project will address Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum use, benefit and enjoyment.

**ALTERNATIVES**

1.            Defer resurfacing and allow track to deteriorate.

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	150,000						150,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ 150,000</b>				

**PROJECT MANAGER:** Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 775   
 DEPARTMENT: Public Works   
 CATEGORY: Community Center

PROJECT TITLE: Community Center Track Resurface

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction		140,000				140,000
City Staff		10,000				10,000
Equipment						-
<b>TOTAL</b>	<b>\$ -</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 150,000</b>
Staff Hours		100				100

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design					X															
Bids Received					X															
Bid Award					X															
Construction						X														

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	775	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	10 years
<b>CATEGORY:</b>	Community Center		

**PROJECT TITLE:      Community Center Outdoor Exercise Station Renovation**

## PROJECT DESCRIPTION

Project will include the review & design and removal & replacement of non-operational, outdated and under utilized exercise equipment located at the Campbell Community Center's Track area. The equipment is specifically designed for use by Senior Citizens and the new equipment will be similar in nature. The surrounding surface treatments will be replaced to provide safe acces to all equipment.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; 5.3 - Safe, attractive and efficient parks and buildigns that operate for maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Remove non-functional equipment and existing surface treatments. Do not replace any equipment.

## SOURCE OF FUNDING

	Park-in-lieu						TOTAL
2016/17	\$ 115,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 115,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 115,000</b>	<b>\$ -</b>	<b>\$ 115,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 775   
 DEPARTMENT: Public Works   
 CATEGORY: Community Center

PROJECT TITLE: Community Center Outdoor Exercise Station Renovation

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	10,000					10,000
Construction	100,000					100,000
City Staff	5,000					5,000
Equipment						-
<b>TOTAL</b>	<b>\$ 115,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 115,000</b>
Staff Hours	50					50

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X																			
Bids Received	X																			
Bid Award	X																			
Construction		X																		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	730	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Public Works	<b>USEFUL LIFE:</b>	20 years
<b>CATEGORY:</b>	Parks & Open Space		

**PROJECT TITLE:** Community Center - Sports Fields Irrigation Upgrades

**PROJECT DESCRIPTION**

This project will add one new water meter and backflow in order to split the existing irrigation system that irrigates all sports fields at the Community Center into two indepent systems. The project will provide improved water pressure to the system and will allow for improved watering times.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

Strategic Plan Objective 5.3 - Safe, attractive, and efficient parks and buildings that operate for maximum community use, benefit, and enjoyment.

**ALTERNATIVES**

1. Do not add the new meter and backflow leaving the existing irrigation system in place. Irrigation times and coverage will continue to be problematic resulting in wasted staff time and decling turf conditions.

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>				

**PROJECT MANAGER:** Alex Mordwinow, Public Works Superintendent

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 730   
 DEPARTMENT: Public Works   
 CATEGORY: Parks & Open Space

PROJECT TITLE: Community Center - Sports Fields Irrigation Upgrades

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	50,000					50,000
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>
Staff Hours	50					50

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition																					
Design	X																				
Bids Received		X																			
Bid Award			X																		
Construction			X																		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:** **NEW PROJECT:** X  
**PROGRAM #: 730** **ADD'L APPROP:** X  
**DEPARTMENT: Public Works** **USEFUL LIFE:** 20 years  
**CATEGORY: Parks and Open Space**

**PROJECT TITLE:** Campbell Park Improvements

**PROJECT DESCRIPTION**

This project will renovate and expand amenities at Campbell Park. The project will include the demolition and reconstruction of the following elements - playgrounds, restroom, and picnic areas. Scope will be determined by a community input process led by the Parks and Recreation Commission.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

This project will address Strategic Plan Objectives 5.2 - Enhanced recreational opportunities for Campbell residents; 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

**ALTERNATIVES**

1. Do not move forward with improvements - repair as elements fall into disrepair.

**SOURCE OF FUNDING**

	Park-in-Lieu Fees						TOTAL
2016/17	\$ 500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ 500,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 730   
 DEPARTMENT: Public Works   
 CATEGORY: Parks and Open Space   
 PROJECT TITLE: Campbell Park Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	50,000					50,000
Construction	430,000					430,000
City Staff	20,000					20,000
Equipment						-
<b>TOTAL</b>	<b>\$ 500,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 500,000</b>
Staff Hours	200					200

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition																					
Design		X	X																		
Bids Received			X																		
Bid Award				X																	
Construction				X	X																

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:**  
**PROGRAM #:** 730  
**DEPARTMENT:** Public Works  
**CATEGORY:** Public Facility

**NEW PROJECT:**  
**ADD'L APPROP:** X  
**USEFUL LIFE:** 20 Years



**PROJECT TITLE:** ADA Transition Plan Improvements

## PROJECT DESCRIPTION

Consistent with the City's American's with Disability Act (ADA) Transition Plan, this project continues to implement identified improvements at the Community Center, Service Center, City Hall and other City facilities. Scope of work includes modifications to doors, bathroom fixtures and public counters.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project will address Strategic Plan Objective 5.3 - Safe, attractive and efficient parks and buildings that operate for maximum community use, benefit and enjoyment.

## ALTERNATIVES

1. Phase improvements and revise funding level.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19	50,000						50,000
2019/20							-
2020/21	50,000						50,000
<b>TOTAL</b>	<b>\$ 150,000</b>	<b>\$ -</b>	<b>\$ 150,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #:  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Public Facility

PROJECT TITLE: ADA Transition Plan Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	43,000		43,000		43,000	129,000
City Staff	7,000		7,000		7,000	21,000
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>	<b>\$ 150,000</b>
Staff Hours	80		80		80	240

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

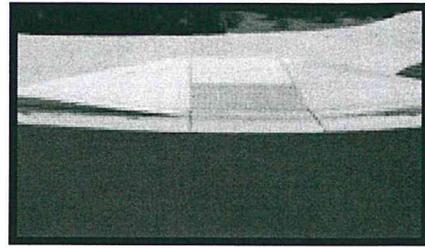
PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	X								X								X			
Bids Received		X								X								X		
Bid Award		X								X								X		
Construction			X	X							X	X							X	X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:**  
**PROGRAM #:** 730  
**DEPARTMENT:** Public Works  
**CATEGORY:** Streets & Signals

**NEW PROJECT:**  
**ADD'L APPROP:**  
**USEFUL LIFE:** 20 Years



**PROJECT TITLE:** Accessibility Ramps

## PROJECT DESCRIPTION

This project addresses curb ramps throughout the City. The installation of American's with Disability Act (ADA) compliant curb ramps is consistent with the City's ADA Transition Plan. Funding from Construction Tax revenue supports this bi-annual improvement project.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

This project addresses Strategic Plan Objective 3.3 - Streets that safely and comfortably accommodate pedestrians and bicycles.

## ALTERNATIVES

1. Reduce or increase the number of accessible curb ramps for installation each year.

## SOURCE OF FUNDING

	Const. Tax						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	50,000						50,000
2018/19							-
2019/20	50,000						50,000
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** City Engineer

# CAPITAL PROJECT

PROJECT #:  
 PROGRAM #: 730  
 DEPARTMENT: Public Works  
 CATEGORY: Streets & Signals

PROJECT TITLE: Accessibility Ramps

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction		43,000		43,000		86,000
City Staff		7,000		7,000		14,000
Equipment						-
<b>TOTAL</b>	\$ -	\$ 50,000	\$ -	\$ 50,000	\$ -	\$ 100,000
Staff Hours		80		80		160

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design							X								X					
Bids Received								X								X				
Bid Award								X								X				
Construction											X	X							X	X

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>		<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	528	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	Recreation	<b>USEFUL LIFE:</b>	20 years+
<b>CATEGORY:</b>	Storage facility building		

**PROJECT TITLE: Museum Warehouse Storage Remodel**

## PROJECT DESCRIPTION

The Warehouse facility at the Community Center has been used as the large storage space for Museum Collection Items. The Warehouse space houses large oversized items such as carriages, furniture, agricultural equipment, and many items made of wood and leather, which are very susceptible to insect activity. There is extensive evidence of rodent activity in the warehouse, as well as insect infestation, including termites and beetles. Objects housed there are inadequately covered and it is highly likely that many will need to be deaccessioned and disposed of due to damage from pests. There is no HVAC system. The Warehouse ceiling, walls, and floor are unfinished. It is currently unsuitable for storage of a majority of our collection items.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Goal: Improve Museum Storage

## ALTERNATIVES

1. Do not make improvements to Community Center Museum storage space

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18							-
2018/19							-
2019/20	94,000						94,000
2020/21							-
<b>TOTAL</b>	<b>\$ 94,000</b>	<b>\$ -</b>	<b>\$ 94,000</b>				

**PROJECT MANAGER:** Kerry Perkins/Lance Rostege

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 528   
 DEPARTMENT: Recreation   
 CATEGORY: Storage Facility Building

PROJECT TITLE: Museum Warehouse Storage Remodel

CAPITAL COST DETAIL						
	2016/17	#REF!	2017/18	2018/19	2019/20	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services					4,800	4,800
Construction					73,400	73,400
City Staff					12,000	12,000
Permits					3,800	3,800
Equipment						-
<b>TOTAL</b>		\$ -	\$ -	\$ -	\$ 94,000	\$ 94,000
Staff Hours				200		200

OPERATING BUDGET IMPACTS						
	2016/17	#REF!	2017/18	2018/19	2019/20	TOTAL
Personnel	\$ -	\$ -	\$ -		\$ 12,000	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	\$ -	\$ -	\$ -		\$ 12,000	\$ -
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design														X						
Bids Received														X						
Bid Award														X						
Construction															X					

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	10 years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center Q80 and Q84 Improvements

## PROJECT DESCRIPTION

Q80 and Q 84 are highly utilized rooms at the Community Center for rentals, fitness and workhops. The rooms need to be updated with new flooring, fresh paint and new window coverings. City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP -2-2; Maintain and renovate exiting open space, park and recreation facilities to improve their usefulness, safety and appearance.

## ALTERNATIVES

1. Do not make improvements to Q80 and Q 84.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ 100,000</b>				

**PROJECT MANAGER:** Misty Booth/Lance Rostage

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: RCS   
 CATEGORY: CC

PROJECT TITLE: Community Center Q80 and Q84 Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	50,000					50,000
City Staff	10,000					10,000
Equipment	40,000					40,000
<b>TOTAL</b>	<b>\$ 100,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 100,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design	x																			
Bids Received	x																			
Bid Award	x																			
Construction	x																			

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	20+ years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:**      **Community Center HVAC Improvements**

**PROJECT DESCRIPTION**

Staff members in Recreation have offices located in D37. There is not a separate HVAC system for this room. The HVAC is shared and controlled by one of the tenants. At times the D37 office is too hot for staff to work in. This impacts productivity. The HVAC system at the Computer Room should be separated from the building maintenance offices so that the Computer Room could be converted to another use in the future. The HVAC system at M50 is part of the Preschool rooms. Since M50 hosts the Senior Nutrition program, often the smells of the food drift into the Preschool classrooms. It would be better to separate the systems.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

General Plan OSP -2-2; Maintain and renovate exiting open space, park and recreation facilities to improve their usefulness, safety and appearance.

**ALTERNATIVES**

1. Do not make HVAC improvements in D37, M50 and Computer Room

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>				

**PROJECT MANAGER:** Misty Booth/Lance Rostage

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: RCS   
 CATEGORY: CC

PROJECT TITLE: Community Center HVAC Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	50,000					50,000
Construction						-
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design																				
Bids Received		x																		
Bid Award		x																		
Construction		x																		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	5 years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center Area Design

## PROJECT DESCRIPTION

The Community Center does not have a play ground for children ages 5 - 12 years old. Since the Community Center has many elementary school tenants and youth who take part in recreational activities on campus, a playground for older children would be a wonderful addition. A location has been identified across from room M-50 using a small portion of the athletic fields and the picnic area. City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP -2-2; Maintain and renovate existing open space, park and recreation facilities to improve their usefulness, safety and appearance.

## ALTERNATIVES

1. Do not design a playground for the Community Center

## SOURCE OF FUNDING

	Park-in-lieu						TOTAL
2016/17	\$ 50,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 50,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ 50,000</b>				

**PROJECT MANAGER:** Public Works/Regina Maurantonio

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: RCS   
 CATEGORY: CC

PROJECT TITLE: Community Center Area Design

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	\$45,000					45,000
Construction						-
City Staff	\$5,000					5,000
Equipment						-
<b>TOTAL</b>	<b>\$ 50,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 50,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition																					
Design		x	x	x																	
Bids Received	x																				
Bid Award	x																				
Construction																					

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	25+ years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center Play Area Construction

## PROJECT DESCRIPTION

The Community Center does not have a play ground for children ages 5 - 12 years old. Since the Community Center has many elementary school tenants and youth who take part in recreational activities on campus, a playground for older children would be a wonderful addition. A location has been identified across from room M-50 using a small portion of the athletic fields and the picnic area. City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP -2-2; Maintain and renovate existing open space, park and recreation facilities to improve their usefulness, safety and appearance.

## ALTERNATIVES

1. Do not construct playground at Community Center.

## SOURCE OF FUNDING

	Park-in-lieu						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	250,000						250,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 250,000</b>	<b>\$ -</b>	<b>\$ 250,000</b>				

**PROJECT MANAGER:** Public Works/Regina Maurantonio

# CAPITAL PROJECT

PROJECT #:  
 PROGRAM #: 524  
 DEPARTMENT: RCS  
 CATEGORY: CC

PROJECT TITLE: Community Center Play Area Construction

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services		50,000				50,000
Construction		125,000				125,000
City Staff		25,000				25,000
Equipment		50,000				50,000
<b>TOTAL</b>	\$ -	\$ 250,000	\$ -	\$ -	\$ -	\$ 250,000
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design																				
Bids Received					x															
Bid Award					x															
Construction						x	x	x												

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	x
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	20+ years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center E Wing Improvements

**PROJECT DESCRIPTION**

E-42 and E-46 are highly utilized rooms at the Community Center. Both rooms need to be improved with new flooring, paint and A/V equipment. New, larger windows would brighten the space. E-46 would have a kitchen support space and E-42 would have a small area where coffee could be made. The improvements to E-46 would increase the usable space and allow for additional rental income. E-44 is underutilized and it is recommended to be converted to a Conference Room similar to the Doetsch Room at City Hall. The room need to be updated with new flooring, fresh paint and new window coverings. A conference table and chairs will need to be purchased and A/V equipment as well. A small kitchenette would be installed in the back of the room. E-44 has the potential to generate additional rental income. The small room next to E44 would be converted to a staff break room. A refrigerator, microwave, counter, table and chairs would be installed. The outside vents covering the upper windows of the three rooms would be removed. City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

**RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES**

General Plan OSP -2-2; Maintain and renovate exiting open space, park and recreation facilities to improve their usefulness, safety and appearance.

**ALTERNATIVES**

1. Do not make improvements to rooms E42, E44 and E 46.

**SOURCE OF FUNDING**

	CIPR						TOTAL
2016/17	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
2017/18	280,000						280,000
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 280,000</b>	<b>\$ -</b>	<b>\$ 280,000</b>				

**PROJECT MANAGER:** Lauren Merriman/Lance Rostage

# CAPITAL PROJECT

PROJECT #:  
 PROGRAM #: 524  
 DEPARTMENT: RCS  
 CATEGORY: CC

PROJECT TITLE: Community Center E Wing Improvements

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction		250,000				250,000
City Staff		30,000				30,000
Equipment						-
<b>TOTAL</b>	<b>\$ -</b>	<b>\$ 280,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 280,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design					x															
Bids Received						x														
Bid Award						x														
Construction						x														

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	25+ years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center Bathroom Upgrades

## PROJECT DESCRIPTION

The public restrooms at the Community Center are in need of updating. Most of the restrooms are located in the classroom wings. There are also restrooms in the Q Building, the Concession Building and near the tennis courts. This project would be spread over the five year CIP with two restrooms upgraded each year. City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP -2-2; Maintain and renovate exiting open space, park and recreation facilities to improve their usefulness, safety and appearance.

## ALTERNATIVES

1. Do not upgrade the restrooms at the Community Center

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 40,000
2017/18	40,000						40,000
2018/19	40,000						40,000
2019/20	40,000						40,000
2020/21	40,000						40,000
<b>TOTAL</b>	<b>\$ 200,000</b>	<b>\$ -</b>	<b>\$ 200,000</b>				

**PROJECT MANAGER:** Public Works/Misty Booth

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: RCS   
 CATEGORY: CC

PROJECT TITLE: Community Center Bathroom Upgrades

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services						-
Construction	40,000	40,000	40,000	40,000	40,000	200,000
City Staff						-
Equipment						-
<b>TOTAL</b>	<b>\$ 40,000</b>	<b>\$ 200,000</b>				
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design																				
Bids Received		X				X				X				X				X		
Bid Award		X				X				X				X				X		
Construction		X				X				X				X				X		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

<b>PROJECT #:</b>	XX	<b>NEW PROJECT:</b>	X
<b>PROGRAM #:</b>	524	<b>ADD'L APPROP:</b>	X
<b>DEPARTMENT:</b>	RCS	<b>USEFUL LIFE:</b>	5 years
<b>CATEGORY:</b>	CC		

**PROJECT TITLE:** Community Center Aquatic Feasibility Study

## PROJECT DESCRIPTION

The pool facility at the Community Center is over 50 years old. A Feasibility Study is needed to determine the current condition of the pool and the mechanical systems and to explore options such as adding a second pool. Ways to improve the locker room area, lifeguard offices and attached exercise room would also be included in the study. The City Council expressed support for this project at the October 29, 2015 Study Session on Community Center Improvements.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

General Plan OSP -2-2; Maintain and renovate exiting open space, park and recreation facilities to improve their usefulness, safety and appearance.

## ALTERNATIVES

1. Do not conduct a feasibility study.

## SOURCE OF FUNDING

	Park-in-lieu						TOTAL
2016/17	\$ 60,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 60,000
2017/18							-
2018/19							-
2019/20							-
2020/21							-
<b>TOTAL</b>	<b>\$ 60,000</b>	<b>\$ -</b>	<b>\$ 60,000</b>				

**PROJECT MANAGER:** Public Works/Aaron Bueno

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: RCS   
 CATEGORY: CC

PROJECT TITLE: Community Center Aquatic Feasibility Study

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	\$50,000					50,000
Construction						-
City Staff	\$10,000					10,000
Equipment						-
<b>TOTAL</b>	<b>\$ 60,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 60,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																				
	2016/17				2017/18				2018/19				2019/20				2020/21			
	Q1	Q2	Q3	Q4																
Acquisition																				
Design		x	x	x																
Bids Received	x																			
Bid Award	x																			
Construction																				

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# CAPITAL PROJECT

**PROJECT #:** **NEW PROJECT:** X  
**PROGRAM #:** 524 **ADD'L APPROP:**  
**DEPARTMENT:** Recreation **USEFUL LIFE:** 20 years+  
**CATEGORY:** Public Facility Buildings

**PROJECT TITLE:** Ainsley Garden Rear Patio Enhancement

## PROJECT DESCRIPTION

The Ainsley Garden is a beautiful outdoor space located behind the Ainsley House. The garden was landscaped in 1994, four years after the House was moved. The landscaping consists of garden beds and roughly 3000 square feet of manicured turf. For 20 years the garden has been the site of numerous weddings and special events, with the primary activities taking place on the turf. The wedding season lasts from May to mid October each year. While, the enclosed garden atmosphere offers an intimate space for weddings or private events, the turf itself has proven to be a difficult element for garden rentals. The turf has poor drainage in the area closest to the Porte Cochere patio of the House, resulting in muddy turf. The continual walking, dancing and usage of the turf nearest the aggregate patio under the arbor results in loss of turf and unsightly bare dirt patches. The placement of tables, chairs and other rented equipment on the turf, not only leaves burn marks on hot dry days, but the turf does not allow for stability of the items, which can be a safety hazard. Conversion of the turf to permeable pavers will increase water conservation and allow for events to be held year round. Permeable pavers provide an eco-friendly hardscape design and optimum aesthetic appeal.

## RELATIONSHIP TO STRATEGIC GOALS, OBJECTIVES AND ACTION STRATEGIES

Strategic Goals: 1.8, 2.3, 5.3, 7.1, 7.3, 7.4

## ALTERNATIVES

1. Install a stained concrete or stamped concrete instead of pavers at a lesser cost.
2. Defer the turf conversion to a later date.
3. Keep the garden turf the way it is.

## SOURCE OF FUNDING

	CIPR						TOTAL
2016/17	55,000						55,000
2017/18							-
2018/19							-
2019/20							-
<b>TOTAL</b>	<b>\$ 55,000</b>	<b>\$ -</b>	<b>\$ 55,000</b>				

**PROJECT MANAGER:** Kerry Perkins/Lance Rostege

# CAPITAL PROJECT

PROJECT #:   
 PROGRAM #: 524   
 DEPARTMENT: Recreation   
 CATEGORY: Public Facility Buildings

PROJECT TITLE: Ainsley Garden Rear Patio Enhancement

CAPITAL COST DETAIL						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Land	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	15,000					15,000
Construction	30,000					30,000
City Staff						-
Equipment	10,000					10,000
<b>TOTAL</b>	<b>\$ 55,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 55,000</b>
Staff Hours						-

OPERATING BUDGET IMPACTS						
	2016/17	2017/18	2018/19	2019/20	2020/21	TOTAL
Personnel	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Supplies & Services						
Capital Outlay						
Debt Service						
<b>TOTAL</b>	<b>\$ -</b>					
Funding Source						
Additional Revenue						

PROJECT SCHEDULE/CASH FLOW																					
	2016/17				2017/18				2018/19				2019/20				2020/21				
	Q1	Q2	Q3	Q4																	
Acquisition																					
Design		X																			
Bids Received		X																			
Bid Award		X																			
Construction			X																		

Q1 = July - September / Q2 = October - December / Q3 = January - March / Q4 = April - June

# FY 2017-2021 CAPITAL IMPROVEMENT PLAN

## UNFUNDED PROJECTS--SORTED BY CIP CATEGORY

### Streets and Signals

Project	Newly Added	Total	Priority
City Gateways		\$ 100,000	Medium
Citywide LED Streetlight Conversion	x	500,000	Medium
Community Development and Public Works Office Remodel	x	450,000	Medium
Curb Cuts [Biennial Program]		148,000	Medium
Deferred Street Maintenance [Additional Funds]		16,500,000	High
Hamilton / Hwy 17 Southbound Off Ramp Widening	x	1,500,000	Medium
Harriet Avenue Rehabilitation Project	x	3,000,000	Medium
Hamilton Avenue /San Tomas Expressway Signal Priority System		200,000	Low
Median Landscaping [Campbell, Bascom, Hamilton and Harriet Avenues]		2,065,000	Low
Pollard Road/Burrows Avenue Traffic Signals		175,000	Low
Street Name Sign Replacement		150,000	Low
UPS/LED Traffic Signal Upgrades		300,000	Medium
<b>Sub-Total</b>		<b>\$ 25,088,000</b>	

### Community Center

Project	Newly Added	Total	Priority
Adult Center & Recreation Expansion		\$ 8,750,000	Low
Swimming Pool Deck Improvements (Awning/Seating)			
<i>Aquatic Feasibility Study to be conducted in FY 2016-17</i>		84,000	Medium
<b>Sub-Total</b>		<b>\$ 8,834,000</b>	

### Parks and Open Space

Project	Newly Added	Total	Priority
Future Park Acquisition (4-Acres)		\$ 12,000,000	Low
Los Gatos Creek Trail Extension	x	3,000,000	Medium
<b>Sub-Total</b>		<b>\$ 15,000,000</b>	

### Public Facility - Building

Project	Newly Added	Total	Priority
Car Ports for Marked Police Vehicles		\$ 140,000	Medium
New Campbell Library		20,000,000	Medium
Parking Guidance System for City Garages	x	180,000	Medium
Resurfacing of Public Parking Lots [Downtown, Parks]		150,000	Low
Service Center Administrative Building Renovation	x	900,000	Medium
<b>Sub-Total</b>		<b>\$ 21,370,000</b>	

### TOTAL UNFUNDED PROJECTS

	Total
<b>TOTAL</b>	<b>\$ 70,292,000</b>



associated equipment to be added to an existing monopole located at **16146 Mozart Avenue**.

6. Application of Majid Sanenejad for a Tentative Parcel Map, Zoning Map Amendment and Planned Development Permit for a three unit townhome development, and Tree removal Permit (PLN2016-19) to allow the removal of one protected tree on property located at **1223 Walnut Drive**.
7. City-initiated Text Amendment (PLN2016-135) to allow minor changes to the **Density Bonus Ordinance**.

B. **SARC Meeting of May 24, 2016:** SARC will review the following item(s):

1. PLN2016-91 – 363 Curtner Ave - Site and Architectural Review Permit for an addition to an existing single-family residence.
2. PLN2016-107 – 1600 W. Campbell Ave – Modification to previously-approved Conditional Use Permit to allow a wireless facility (Verizon).
3. PLN2015-388 – 2220 S. Winchester Blvd – Administrative Planned Development Permit for redevelopment of the former Mishi Sushi site.