



**SITE AND ARCHITECTURAL REVIEW COMMITTEE
TUESDAY, JUNE 14, 2016
6:30 p.m.**

**Doetsch Conference Room/City Hall
70 N. First Street, Campbell, CA 95008**

AGENDA

ITEM/FILE NO.		ADDRESS	START TIME / DURATION	APPLICANT
1.	PLN2016-143	910 Michael Drive	6:30 p.m. / 15 Minutes	Mike Masoumi
Site and Architectural Review Permit to allow a 106-square-foot second-story addition (converting balcony space to living space) to the rear of two units of an existing fiveplex. Project Planner: <i>Stephen Rose, Associate Planner</i>				
2.	PLN2016-123	1149 'A' S. San Tomas Aquino Road	6:45 p.m. / 15 Minutes	Terry Martin, AIA
Site and Architectural Review Permit to allow the construction of a new single-family residence to reusing portions of the existing dwelling. Project Planner: <i>Stephen Rose, Associate Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** June 14, 2016
From: Stephen Rose, Associate Planner
Via: Paul Kermoyan, Community Development Director
Subject: Site and Architectural Review Permit
File No.: PLN2015-143 ~ 910 Michael Drive

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow for a 106 square foot second-story addition (converting balcony space to living space) to the rear of two units of an existing fiveplex (reference **Attachment 1** – Project Plans).

PROJECT SITE

The project site is located on the south side of Michael Drive, south of E. Campbell Avenue, north of Apricot Avenue, east of Union Avenue, and west of S. Bascom Avenue in the R-3 (Multi-Family Residential) Zoning District. The property is developed with a two-story fiveplex which has two units stacked at the front, and three units (one below, two above) at the rear of the property.

PROJECT DATA

Zoning Designation:	R-3 (Multi-Family Residential)	
General Plan Designation:	High-Density Residential (21-27 units/gr. acre)	
Net Lot Area:	10,807 square feet	
Building Height:	24-feet	40 feet / 3 stories
Building Square Footage:		
Total Existing Area:	4,096 square-feet	1,920 rear unit + 2,176 front unit
Proposed Addition:	<u>+106 square-feet</u>	Added to second story of rear unit
	4,202 square-feet	5493 square-feet maximum
Floor Area Ratio (FAR):	39%	55% maximum
Building (Lot) Coverage:	33% (3,575 sq. ft.)	40% maximum allowed
Setbacks	<u>Existing/Proposed</u>	<u>Required</u>
Front (east):	36 feet / No Change	20 feet
Side (west):	13 feet / No Change	5 feet or half the wall height
Side (east):	5 feet / No Change	5 feet or half the wall height
Rear (west):	13 feet / 10 feet	5 feet or half the wall height ¹
Parking:	8 Parking Spaces	8 Parking Spaces

¹ Rear wall height is 19 feet; half the wall height reflects a 9½ feet requirement where 10 feet is proposed.

DISCUSSION

Background: On August 16, 1971 the Planning Commission approved “S” 71-55 (Site Approval) which allowed for a duplex to be moved from 1980 S. Bascom Avenue onto the property. On November 15, 1971 the Planning Commission approved a ‘move-in’ triplex (two units above, one below), which was placed at the rear of the property. The two structures, while originally considered a separate duplex and triplex respectively, were thereafter referred to as a single fiveplex.

On or around July 17, 2015², the three rear units of the fiveplex were severely damaged in a fire resulting in the units being rendered unsafe for habitation. Since that time, the three rear units have remained boarded up and unoccupied (reference **Attachment 3** – Property Photos).

Design: Review of the subject application is governed by the General Plan, the R-3 Zoning Ordinance, and ‘[considerations in review of applications](#)’ subject to Site and Architectural Review (CMC21.42.040). Generally these documents are not meant to prescribe any particular style, but serve to provide developments standards and guidelines to minimize potentially adverse impacts to surrounding properties and the environment, and promote compatibility with the site and surrounding neighborhood.

The applicant’s proposal, which encloses an existing second-story balcony, does not appear to present any significant design, privacy³, or neighborhood compatibility concerns. The enclosed area will be fabricated to match the existing building walls (beige stucco) and install windows which maintain the symmetry of the existing design of the second-story.

Trash Bins: When the project site was originally developed, the City’s trash collection agency did not require or provide waste bins for residential properties to recycle materials. As such, the original site design anticipated a total of five waste bins (one for each unit) which were to be located on the west side of the property on a concrete pad near the PG&E meters (reference **Attachment 4** – “S”71-70 – Project Site Plan. Over the years, the demand for varied waste disposal bins has exceeded the capacity of this area which has resulted in larger (combined) waste bins being stored in parking stall #6, which detracts from the available number of guest parking spaces and is highly visible from the street. As such, staff is recommending the SARC consider appropriate screening (such as a wooden fence) and location for the trash bins such as adjacent or behind parking stall #2, or #7, or as an expansion of their original location next to the PG&E gas meters.

Tree Removal: The applicant is not proposing to remove any protected trees. Several branches of existing trees were damaged in the fire, but through coordination with staff have since been pruned to remove deadwood and improve their appearance.

Misc. Items: The following items do not fall under a particular category of interest, or warrant a discussion on their own, and as such have been summarized and numbered for convenience:

- 1) Accessory Structures: Two sheds occur on the property, which are not reflected on the project plans (reference **Attachment 3** – Property Photos). As a consideration on the

² Santa Clara County Fire Department responded to a fire incident at the subject address on July 17, 2015. The property owner noted that the fire occurred on or around November 2015. Google Earth imagery appears to indicate that the fire occurred between June and October of 2015, consistent with the SCC Fire Dept. incident report.

³ Generally, balconies are considered to impact privacy more than enclosed second-story areas. Moreover, trees separate the property from a driveway of a development to the south.

permit, staff is recommending that the structure against the carport is removed and that the shed at the rear of the property (if it can comply with setbacks) be repaired.

- 2) Wires: Several loose wires extend overhead between buildings providing cable and other utility services. Staff is requiring, with the reconstruction of the rear unit, that such wires are integrated into the structure (installed inside the walls), run through conduit (painted to match the building walls) or placed underground, to eliminate the need for overhead connections between units.
- 3) Landscaping: Patches of landscaping throughout the site which were damaged by weeds are to be replanted pursuant to the original “S”71-70 approval.

OPTIONS

The SARC should discuss the project for compliance with the applicable policy documents. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions. The following option(s) are intended to facilitate discussion of the project’s site and architectural review:

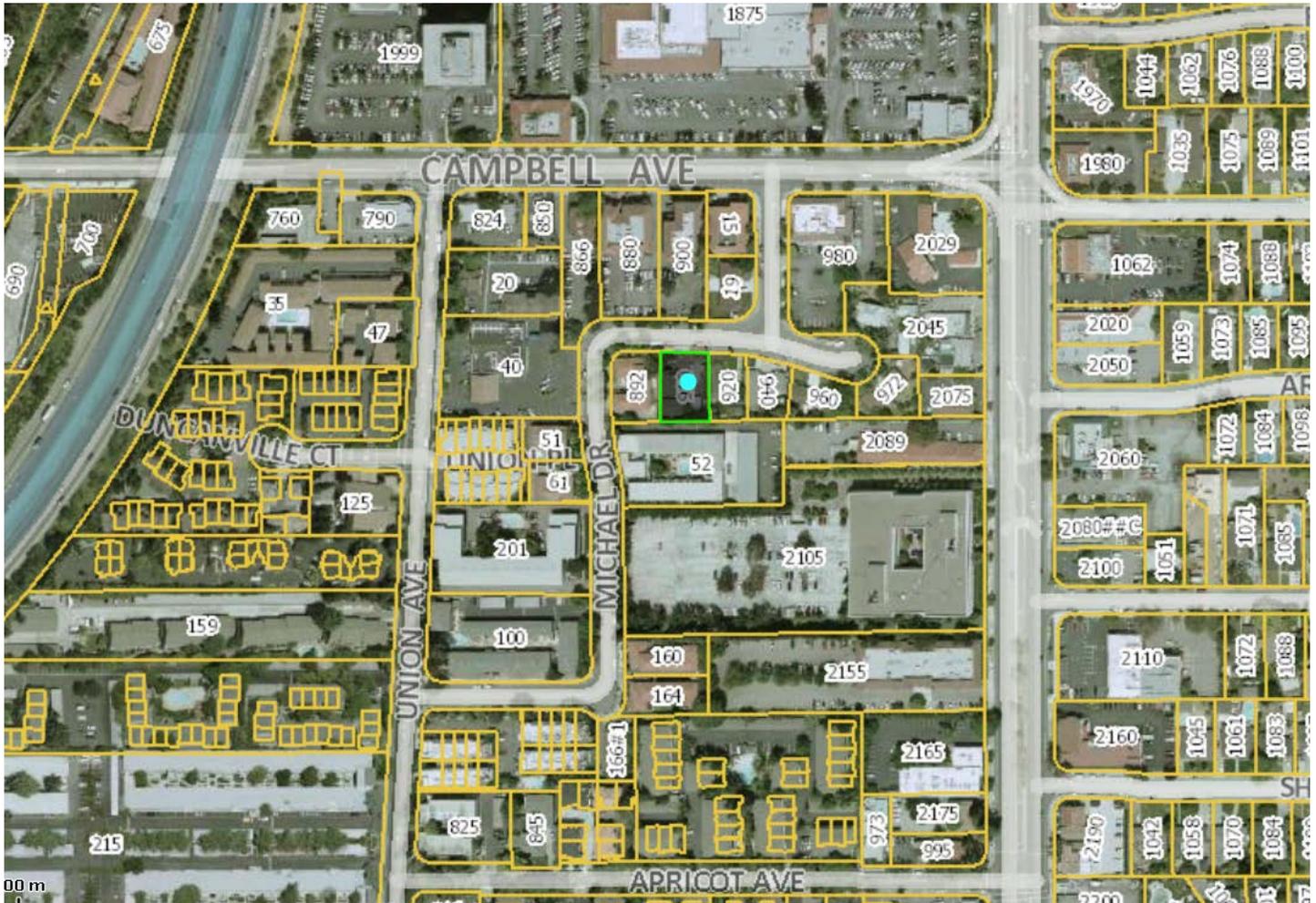
- Should a new trash area be proposed for the waste bins? Should smaller/individual (residential sized) bins be required? If so, where should the new trash area be located?

After discussion the SARC may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Property Photos
4. “S”71-70 – Project Site Plan

Location Map



FIRE REPAIR & REMODEL AT: 910 MICHAEL DRIVE, CAMPBELL, CA

REVISIONS	BY



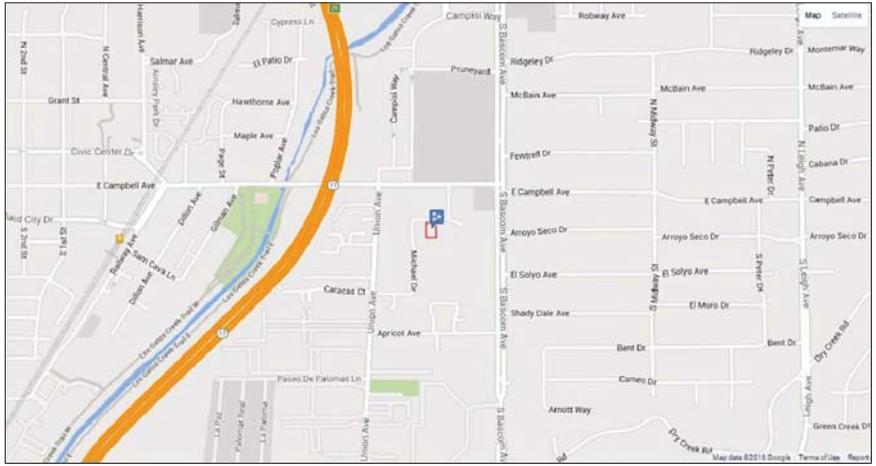
BASSA
Architecture
916.435.0609
408.674.9077

PROJECT SUMMARY

**NEW PROJECT AT:
180 REDDING AVENUE
CAMPBELL, CA**

DATE: 4-15-2016
SCALE: -
DRAWN: CB
JOB NO: -
SHEET NO. A1

OF SHEETS



VICINITY MAP

SHEET INDEX

A1	PROJECT DATA
A1.1	SITE PLAN
A1.2	OPEN SPACE ANALYSIS
A2.1	LOWER LEVEL FLOOR PLAN
A2.2	UPPER LEVEL FLOOR PLAN

SHEET INDEX

910 MICHAEL DRIVE, CAMPBELL, CA
CAMPBELL, CA 95008

MIKE MASOUMI
(408) 666-2112

APN # 412-10-033

ZONING : MR
MUTI FAMILY RESIDENTIAL

LOT AREA: 10,750 SQ. FT.

EXISTING TOTAL UNITS: 5 UNITS IN 2 BUILDINGS
(FRONT BLDG. 2 UNITS / REAR BLDG. 3 UNITS)

EXISTING PARKING: 8 STALLS
5 COVERED, 3 UN-COVERED

PROJECT SCOPE:
REPAIR AND REMODEL OF THE FIRE DAMAGED REAR STRUCTURE

NO CHANGE PROPOSED AT THE FRONT STRUCTURE OPEN SPACE OR EXSITING PARKING.

TOTAL EXSITING SQUARE FOOTAGE: 4,096 SQ. FT.
PROPOSED SQUARE FOOTAGE: 4,202 SQ. FT.

REAR UNITS :
EXISTING REAR BUILDING : 1,920 SQ. FT.
PROPOSED REMODELED REAR UNIT : 2,026 SQ. FT.
ADDITION : 106 SQ. FT.

FRONT UNITS :
EXISTING FRONT BUILDING: 2,176 SQ. FT. (NO CHANGE)

NO CHANGE PROPOSED TO EXTERIOR ELEVATIONS DESIGN

EXSITING FAR: 38%
PROPOSED FAR: 39%

PROJECT SUMMARY

REVISIONS	BY

CB
BASSAI
Architecture
 916.433.0603
 4102 BROADFORD PL
 ROCKLIN, CA 95765



SITE PLAN

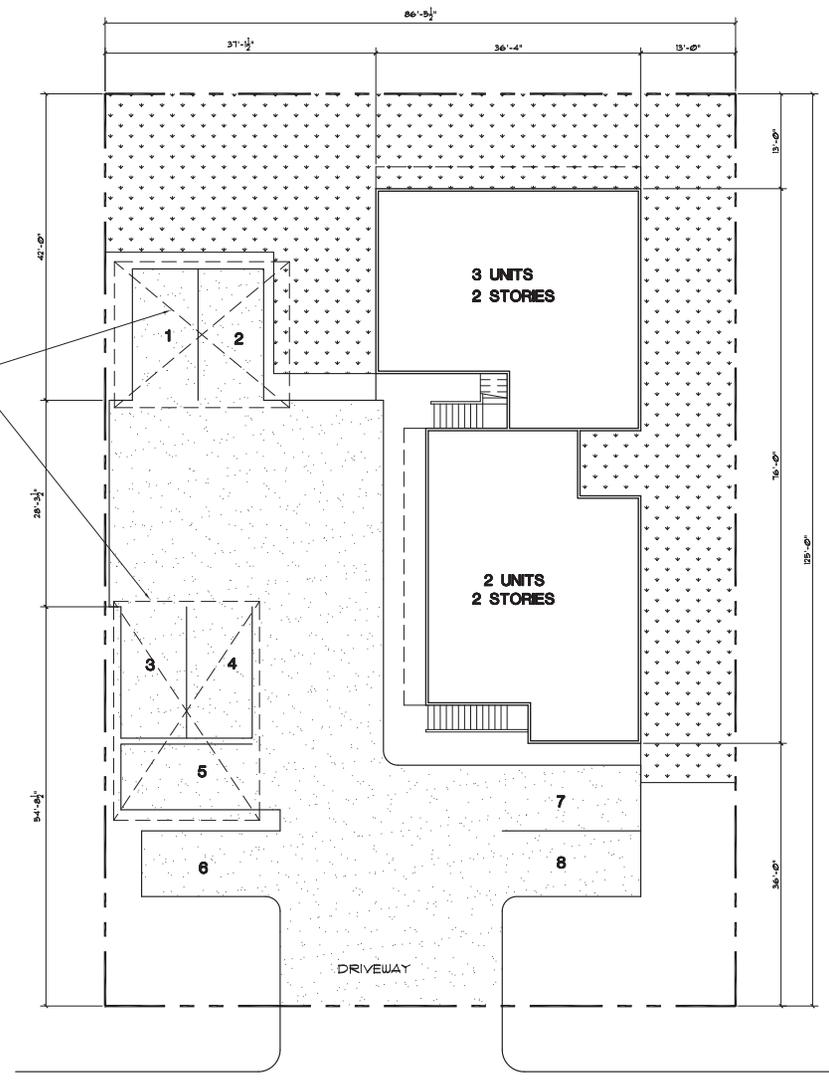
PROPOSED REMODEL AT :
910 MICHAEL DRIVE
CAMPBELL, CALIFORNIA

DATE: 4-19-2016
 SCALE: 1/8"=1'-0"
 DRAWN: CB
 JOB NO: -

SHEET NO.
A.11
 OF SHEETS

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INDICATES COVERED
 PARKING



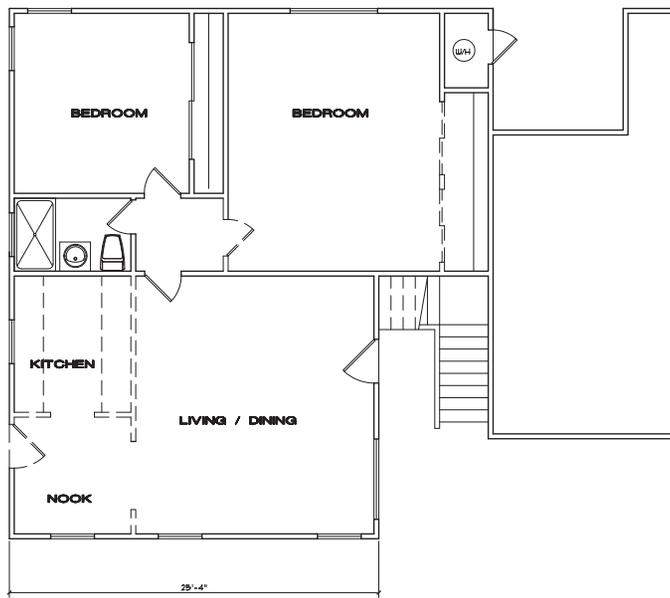
910 MICHAEL DRIVE



INDICATES TOTAL OPEN SPACE: 2,600 SQ. FT.

SITE PLAN

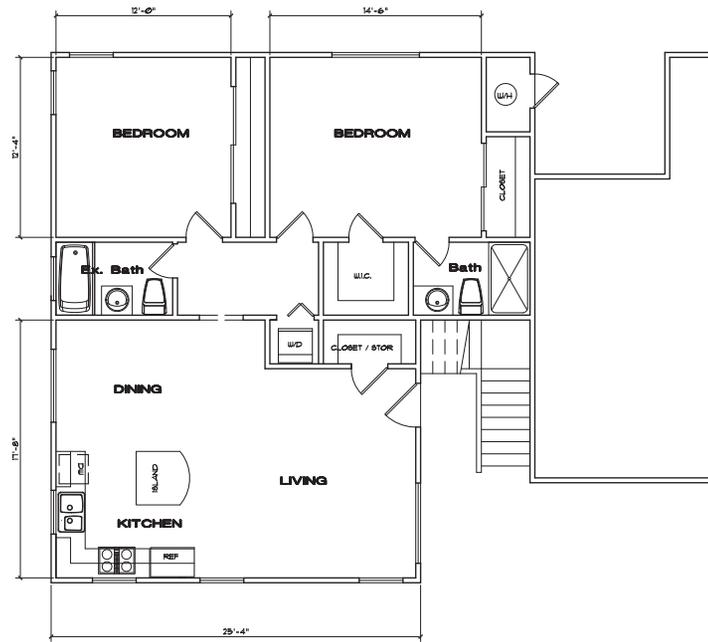
1/8"=1'-0"



EXISTING LOWER LEVEL
 +/- 1,030 SQ. FT.

WALLS LEGEND:

- INDICATES NEW WALLS (2 X4 DFP @ 16" OC)
- INDICATES EXISTING WALLS TO REMAIN
- INDICATES WALLS TO BE REMOVED



PROPOSED LOWER LEVEL
 +/- 1,030 SQ. FT.
 (NO CHANGE)

REVISIONS	BY

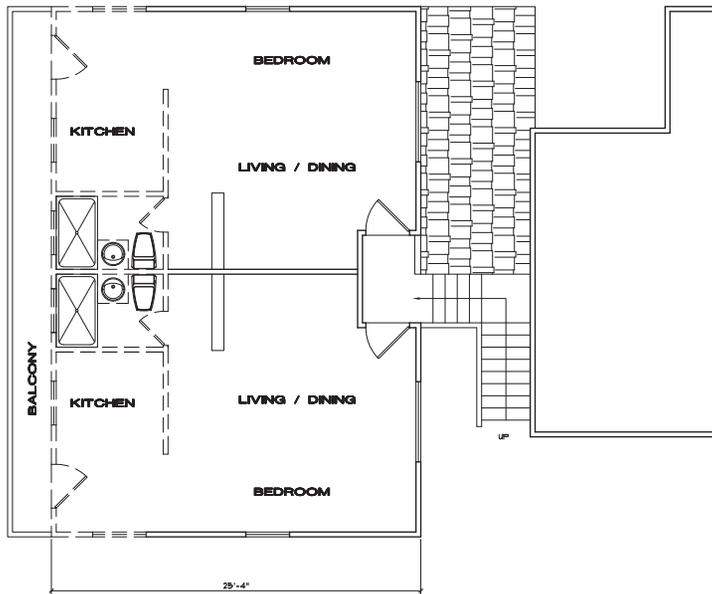
CB
BASSAI
Architecture
 916.433.0603
 492 BROADFORD PL
 ROCKLIN, CA 95764

LOWER LEVEL FLOOR PLAN

PROPOSED REMODEL AT :
 910 MICHAEL DRIVE
 CAMPBELL, CALIFORNIA

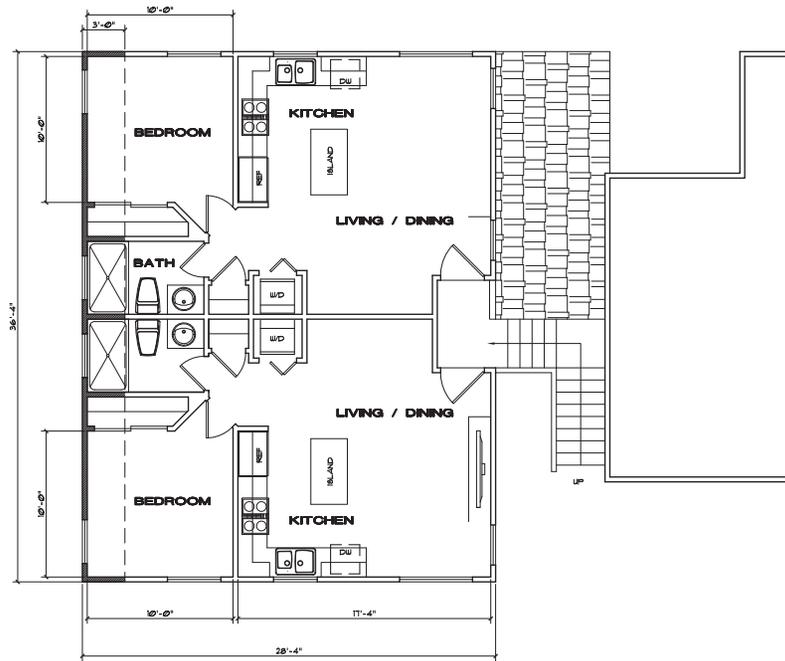
DATE: 4-19-2016
 SCALE: 1/4"=1'-0"
 DRAWN: CB
 JOB NO:
 SHEET NO: **A2.1**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. ALL WALLS ARE TO BE CONCRETE BLOCK UNLESS OTHERWISE NOTED. 3. ALL FLOORING IS TO BE 3/4" TYPICAL. 4. ALL CEILING IS TO BE 5'0" TYPICAL. 5. ALL DOORS ARE TO BE 6'0" TYPICAL. 6. ALL WINDOWS ARE TO BE 6'0" TYPICAL. 7. ALL LIGHT FIXTURES ARE TO BE 4'0" TYPICAL. 8. ALL ELECTRICAL IS TO BE 120V SINGLE PHASE. 9. ALL MECHANICAL IS TO BE 120V SINGLE PHASE. 10. ALL PLUMBING IS TO BE 1/2" TYPICAL. 11. ALL FINISHES ARE TO BE AS NOTED. 12. ALL MATERIALS ARE TO BE AS NOTED. 13. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA BUILDING CODE. 14. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA ELECTRICAL CODE. 15. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA MECHANICAL CODE. 16. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA PLUMBING CODE. 17. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA FIRE CODE. 18. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2015 CALIFORNIA ENERGY CODE. 19. 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EXISTING UPPER LEVEL
 +/- 890 SQ. FT.

- WALLS LEGEND:**
- INDICATES NEW WALLS (2 X4 DP2 @ 16\"/>
 - INDICATES EXISTING WALLS TO REMAIN
 - INDICATES WALLS TO BE REMOVED



PROPOSED UPPER LEVEL
 +/- 996 SQ. FT.

REVISIONS	BY



BASSAI
Architecture
 916.435.0605
 4102 BENDSFORD PL
 ROCKLIN, CA 95765

**UPPER LEVEL
 FLOOR PLAN**

PROPOSED REMODEL AT :
 910 MICHAEL DRIVE
 CAMPBELL, CALIFORNIA

DATE:	4-18-2016
SCALE:	1/4"=1'-0"
DRAWN:	CB
JOB NO.:	

SHEET NO.
A22

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MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee

Date: June 14, 2016

From: Stephen Rose, Associate Planner

Via: Paul Kermoyan, Community Development Director

Subject: Site and Architectural Review Permit – New SFR

File No.: PLN2016-138

Address: 1149 'A' S. San Tomas Aquino Road¹

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow the construction of a new single-family residence using portions of the existing dwelling (reference **Attachment 2**, Project Plans).

PROJECT SITE

The project site is an approximately 15,246 square-foot property (9,530 sq. ft. exclusive of right of way) located along Turner Way, west of San Tomas Aquino Road, south of Westmont Avenue, and north of Hacienda Avenue within the City's San Tomas Area Neighborhood in the R-1-9 (Single-Family Residential) Zoning District (reference **Attachment 1** – Location Map). The site is currently developed with a 1,533 sq. ft. single-story single-family residence (reference **Attachment 2** – Project Plans). As illustrated on the Location Map (Attachment 1) the property extends 10-feet to the center line of Turner Way (a private street) and for a length of approximately 330 feet to the east and 89 feet to the west. Single-family residential properties border the site on all sides.

PROJECT DATA

Zoning Designation:	R-1-9 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	15,246 square-feet (9,530 sq. ft. assumed for area calculations ²)	
Building Height:	20 feet, 3 inches	28 feet Maximum Allowed
Building Wall Height:	9 feet, 8 inches	(N.G. to Top of Plate)
Floor Area:		
Living Area:	2,658 square-feet	
Attached Garage:	<u>520 square feet</u>	
Total floor area:	3,178 square-feet ³	

Floor Area Ratio (FAR):	33%	45% Maximum Allowed
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Building (Lot) Coverage:	34% ⁴	35% Maximum Allowed
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<u>Setbacks</u>	<u>Proposed</u>	<u>Minimum Required</u>
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¹ The property address is 1149 'A' S. San Tomas Aquino Road; this address is distinct from 1149 S. San Tomas Aquino Road which a different property located to the west of the project site.

² In the San Tomas Area Neighborhood Plan, building coverage and FAR calculations are calculated based on the net lot area, exclusive of private streets, common areas or the stem of flag lots.

³ A small reduction in floor area is anticipated to account for the removal of a non-conforming segment of the structure.

⁴ Including an approximately 32 sq. ft. covered front porch.

Garage:	25 feet	25 feet
Front:	31 feet (porch post)	20 feet
Left (West) Side:	8 feet, 4.5 inches	8 feet or 60% of wall ht.
Right (East) Side:	14 feet, 7 inches	10 feet or 60% of wall ht.
Rear:	21 feet, 4 inches	25 feet ⁵

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [San Tomas Area Neighborhood Plan \(STANP\)](#). The Plan provides development standards (e.g., height, setback, lot coverage, etc.) as well as design guidelines in terms of design compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for evaluating the design of new residences. Pursuant to CMC Sec. 21.54.050, the Site and Architectural Review Committee's (SARC) purview is to review the project's architectural design and site configuration, upon which a recommendation may be made to the Planning Commission.

Project Description: The proposed single-story, single-family residence would total 3,178 sq. ft. inclusive of a 520 sq. ft. attached garage. While substantial portions of the existing residence would be retained, the scope of work, which doubles the size of the home, substantially remodels the interior of the dwelling, and reconstructs substantial portions of the building exterior, constitutes new construction⁶.

Architectural Design: The applicant is proposing to retain the ‘California Ranch’ style of the existing residence, while introducing a more prominent front entry, attached garage, and stone wainscoting to the streetscape. The home would include composition shingle roofs (grey), white stucco walls, and beige trim (eaves, window frames) similar to the existing home. The streetscape schematic (reference Attachment 2 – Project Plans; Sheet A-5) indicates that the home would be complementary to the surrounding structures.

Site Layout: The single-story residence is located on a large lot and incorporates larger than required front and side setbacks. At the rear of the property, a portion of the existing residence encroaches roughly 4½-feet into the 25-foot required rear setback of the STANP and is required to be removed. A discussion point has been raised to determine if this item should be continued (returning to SARC to reflect the changes) or proceed forward to the Planning Commission with changes reflecting this requirement.

Landscaping: The property's existing front yard landscaping (planter beds, palm and citrus tree) would be maintained as part of the project. Any substantial change to the landscaping scheme, however, will require compliance with the State mandated landscape water efficient guidelines, which will require incorporation of various water conservation measures, including planting of drought-resistance vegetation.

Trees: The applicant is not proposing to remove any trees. As the applicant’s proposal constitutes new construction, the applicant is required to plant two new trees in accordance with the STANP requirement for two trees for every 2,000 sq. ft. of lot area. The SARC may elect to advise on species or location(s) for the two new trees, or leave the decision up to the property owner.

⁵ A portion of the home does not meet the 25-foot minimum rear setback requirement of the San Tomas Area Neighborhood Plan and shall be required to be removed.

⁶ In accordance with Campbell Municipal Code Section 18.32.010 – Definition of “Scope of Work”.

OPTIONS

The SARC should review the project's proposed architecture, materials, and landscaping for compliance with the San Tomas Area Neighborhood Plan. The following options are intended to facilitate discussion of the project's site and architectural review:

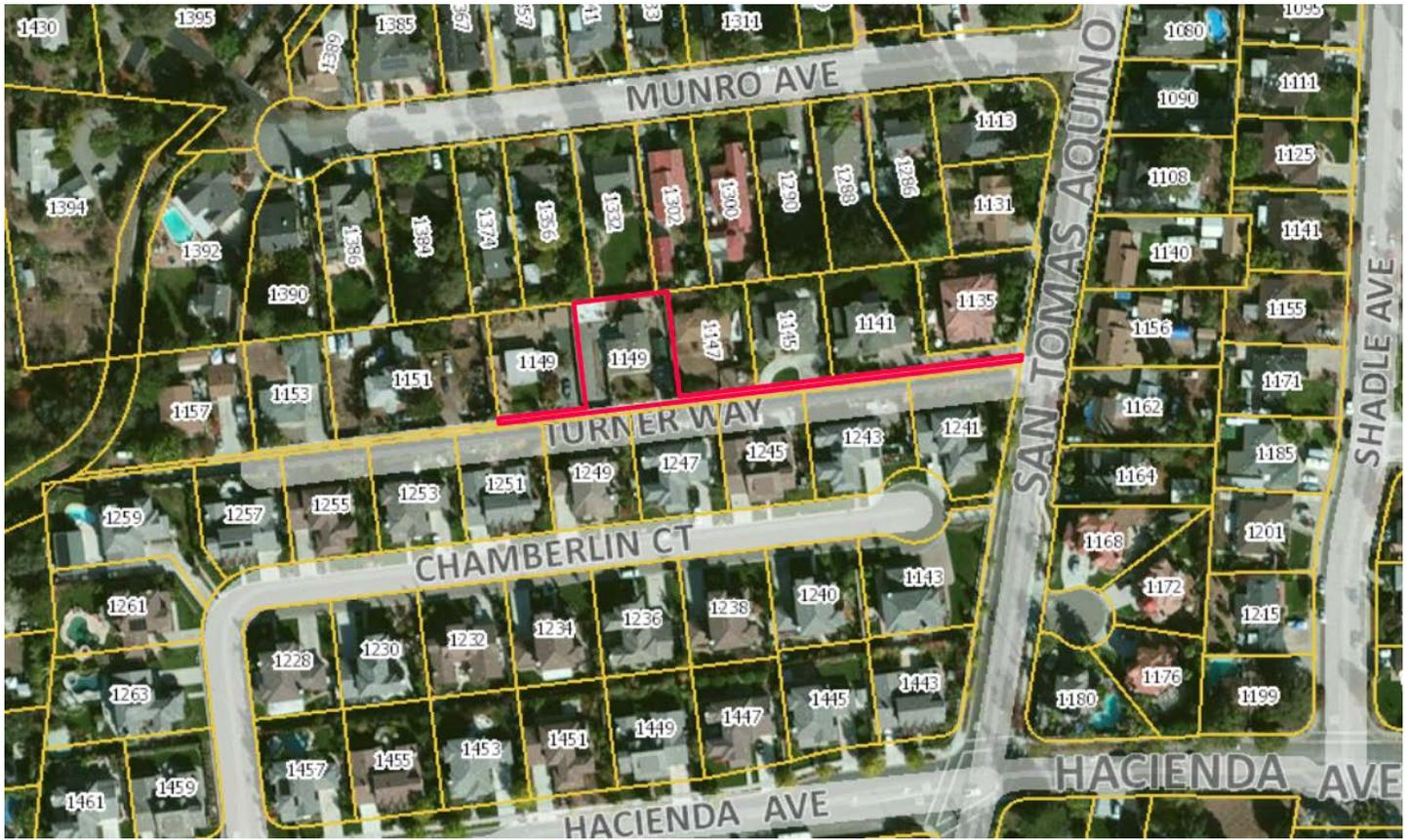
- As the applicant's scope of work constitutes 'new construction', a non-conforming portion of the existing building (which is also being reconstructed) must be removed to comply with current setbacks. Assuming this wall is pulled back to meet setbacks, and no other changes are made, would the SARC request the item to be continued back to SARC to review the changes before forwarding a recommendation to the Planning Commission?
- Does the SARC have a preference where two additional box trees should be planted on the property (i.e. front, rear, side yard)?

After discussion the SARC may recommend approval to the Planning Commission as proposed (excepting the portion of the home required to be removed), or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Existing Residence & Surrounding Property Photos

Location Map



ABBREVIATIONS

5	AND	EQUIPMENT	EQ	EQUIPMENT	EQ	PARALLEL	
6	AP	APPLY	AP	APPLY	AP	PERPENDICULAR	⊥
7	ANGLE (READING, TIME)	ANG	ANG	ANGLE	ANG	PLATE	PL
8	APPLY	AP	AP	APPLY	AP	PLASTER	PS
9	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
10	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
11	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
12	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
13	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
14	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
15	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
16	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
17	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
18	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
19	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
20	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
21	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
22	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
23	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
24	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
25	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
26	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
27	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
28	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
29	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
30	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
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32	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
33	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
34	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
35	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
36	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
37	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
38	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
39	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
40	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
41	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
42	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
43	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
44	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
45	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
46	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
47	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
48	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
49	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB
50	APPLY (ANGLE, READING, TIME)	ANG	ANG	ANGLE	ANG	PLASTER BOARD	PSB

WANDY CZ RESIDENCE

New Custom Home w/ Portions of Original Structure

1149 S. San Tomas Aquino Road Campbell, CA 95008



ADDITIONAL DOCUMENTS & REQUIREMENTS

GEOTECHNICAL INVESTIGATION / SOIL REPORT
NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROPERTY. NOTIFY THE ARCHITECT OF RECORD IF ANY OTHER SUBSTANDARD CONDITIONS ARE ENCOUNTERED.

TITLE 24 CALIFORNIA ENERGY CODE COMPLIANCE
"WANDY CZ RESIDENCE TITLE 24 ENERGY REPORT", #TBD, DATED TBD, PREPARED BY FRI ENERGY CONSULTANTS, LLC, PROJECT TITLE 24 ENERGY CONSULTANT, IS PART OF THE CONSTRUCTION DOCUMENTS. ALL WORK MUST COMPLY WITH ENERGY REPORT REQUIREMENTS & RECOMMENDATIONS, CALIFORNIA ENERGY CODE, & ALL OTHER APPLICABLE CODES & ORDINANCES AS ADOPTED, AMENDED, & ENFORCED BY LOCAL JURISDICTION.

ARBORIST
DUE TO THE SCOPE OF WORK FOR THIS PROJECT, NO ARBORIST REPORT HAS BEEN PREPARED. IN THE EVENT THAT PROJECT SCOPE CHANGES, CONTACT ARCHITECT & AUTHORITY HAVING JURISDICTION (AHJ) TO DETERMINE IF AN ARBORIST REPORT IS REQUIRED. NO WORK SHALL BE COMMENCED WITHIN THE DRIFLINE OF ANY TREE PROTECTED BY ANY AHJ PRIOR TO RETAINING A LICENSED ARBORIST.

COORDINATION REQUIREMENTS
COORDINATE WITH ARCHITECT
SEE CONSTRUCTION OBSERVATION NOTE ON THIS SHEET. PROVIDE ARCHITECT WITH MINIMUM 48 HOUR NOTICE OF MILESTONE REQUIRING CONSTRUCTION OBSERVATION. COPY ARCHITECT ON ALL CORRESPONDENCE WITH ALL PROJECT CONSULTANTS.

COORDINATE WITH ARCHITECT & INSTALLER
TITLE 24 ENERGY CODE INSTALLATION REQUIREMENTS
ARCHITECT, GENERAL CONTRACTOR, & INSTALLERS MUST BE PRESENT FOR SITE MEETING PRIOR TO COMPLETION & SIGNING OF ENERGY CODE COMPLIANCE FORMS & INSTALLATION CERTIFICATES BY THE INSTALLERS. PROVIDE ARCHITECT WITH MINIMUM 48 HOUR PRIOR NOTICE. REQUIRED FORMS ARE LISTED IN THE TITLE 24 ENERGY REPORT.

COORDINATE WITH STRUCTURAL ENGINEER
COORDINATE WITH ARCHITECT & STRUCTURAL ENGINEER TO PROVIDE REQUIRED NOTICE & TO SCHEDULE MANDATORY CONSTRUCTION OBSERVATION. PROVIDE ARCHITECT WITH MINIMUM 48 HOURS ADVANCE NOTICE AND THE OPPORTUNITY TO BE PRESENT FOR ANY & ALL SITE VISITS & CONSTRUCTION OBSERVATION ATTENDED BY THE STRUCTURAL ENGINEER. SUBMIT ALL REQUESTS FOR INFORMATION TO ARCHITECT. COPY ARCHITECT ON ALL CORRESPONDENCE WITH PROJECT STRUCTURAL ENGINEER, ENERGY CONSULTANT, AND ALL OTHER PROFESSIONAL CONSULTANTS.

61 East Main Street, Suite D
Los Gatos, CA 95030
Phone: (408) 395-8016
Fax: (408) 395-8016
www.tjmartinassociates.com

TERRY J. MARTIN ASSOCIATES, A.I.A.
REGISTERED ARCHITECT

Print Date: 04/04/2016

Date: 04/04/2016

Planned Development Permit Application

Rev Description

AREA CALCULATIONS

BUILDING AREA:	
(N) LIVING AREA	2,658 Sq Ft
+ (N) ATTACHED GARAGE:	520 Sq Ft
TOTAL FLOOR AREA:	3,178 Sq Ft
ALLOWABLE FLOOR AREA:	4,289 Sq Ft @ 45%
PROPOSED FLOOR AREA RATIO:	33.3%
(PFAR=3,178 Sq Ft / 9,530 Sq Ft)	
ALLOWABLE LOT COVERAGE:	3,336 Sq Ft @ 35%
PROPOSED LOT COVERAGE:	33.3%
(PLOT=3,178 Sq Ft / 9,530 Sq Ft)	

CONSTRUCTION OBSERVATION REQUIRED

GENERAL CONTRACTOR IS REQUIRED TO SCHEDULE & COORDINATE THE FOLLOWING MANDATORY CONSTRUCTION OBSERVATION SITE VISITS WITH ARCHITECT PRESENT. PROVIDE NOTICE TO ARCHITECT AT LEAST 48 HOURS PRIOR TO SUCH VISITS. PRIOR TO BEGINNING WORK, PROVIDE ARCHITECT & OWNER WITH A CRITICAL PATH SCHEDULE, SHOWING THE FOLLOWING CONSTRUCTION MILESTONES:

INITIALS RECD SITE VISIT MILESTONE

- PRE CONSTRUCTION SITE MEETING
- AFTER FINISH REMOVAL, PRIOR TO STRUCTURAL DEMOLITION
- ROUGH FRAMING
- WINDOW SELECTION, PRIOR TO ORDERING WINDOWS
- ROUGH ELECTRICAL, MOUNTED BOXES PRIOR TO PULLING WIRE
- FRAMING & INSULATION, PRIOR TO COVERING FRAMING W/ FINISHES

ADDITIONALLY, CONTRACTOR SHALL SCHEDULE A MANDATORY WALKTHRU WITH ARCHITECT & OWNER PRESENT AT SUBSTANTIAL COMPLETION.

ARCHITECT'S INITIALS ARE REQUIRED TO THE LEFT OF EACH SITE VISIT LISTED PRIOR TO PROCEEDING WITH SUBSEQUENT WORK & INDICATE ONLY THAT ARCHITECT WAS PRESENT & PROVIDED WITH THE OPPORTUNITY TO OBSERVE CONSTRUCTION AT THAT PHASE.

PROJECT DATA

PROJECT ADDRESS: 1149 S. San Tomas Aquino Road Campbell CA 95008

OWNER: ANTONI WANDY CZ

APN: 403-15-021

ZONING: R-1-9 (San Tomas Neighborhood)

LOT AREA: 15,246 Sq Ft (0.35 Acres ±), Assumed 9,530 Sq Ft for Calcs

BUILDING AREA: See Area Calculations on this sheet

STORIES: Single Story Residence w/ Attached Garage

CONSTRUCTION TYPE: Type VB

FIRE SPRINKLERS: YES (Deferred Submittal)

OCCUPANCY: Group R-3 Single Family Residence, Group U Private Garage

APPLICABLE CODES:
Campbell Municipal Code
2013 CA RESIDENTIAL BUILDING CODE
2013 CA Bldg Code, 2013 CA Res Bldg Code, 2013 CA Elec Code
2013 CA Mech Code, 2013 CA Plmbg Code, 2013 CA Energy Code
2013 CA Fire Code, 2013 CalGen Code, 2013 CA Ref Stds Code
All as amended by the State of California and Local Jurisdiction(s).

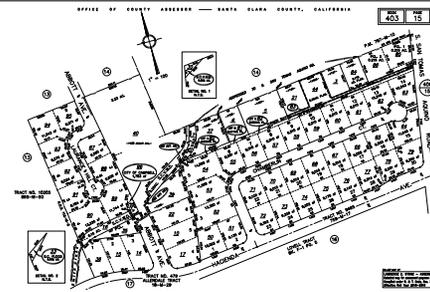
SHEET INDEX

A-1	COVER SHEET & PROJECT INFO
C-1	TOPOGRAPHIC STUDY (For Reference Only)
A-2	SCHEMATIC SITE PLAN
A-3	FLOOR PLAN
A-4	ROOF PLAN
A-5	EXTERIOR ELEVATIONS & SCHEMATIC STREETScape

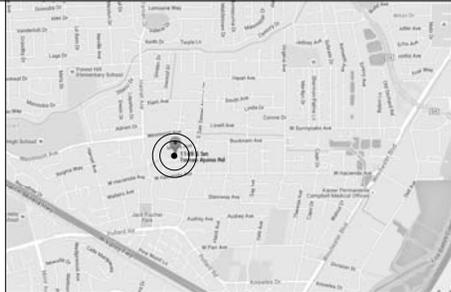
PROJECT TEAM

OWNER	ARCHITECT
ANTONI WANDY CZ 1149 S. SAN TOMAS AQUINO RD CAMPBELL, CA 95008 (650) 533-8215	TERRY J. MARTIN ASSOCIATES, A.I.A. TERRY J. MARTIN, AIA 61 E MAIN STREET, SUITE D LOS GATOS, CA 95030 (408) 395-8016
STRUCTURAL ENGINEER	TITLE 24 ENERGY COMPLIANCE
DJ ENGINEERS & ASSOCIATES DAN DREMELAS 780 MAIN STREET, SUITE 203 PLEASANTON, CA 94566 (925) 846-3423 FAX 846-9653	NICHOLAS BIGNARDI FRI ENERGY CONSULTANTS, LLC 21 N HARRISON AVE, SUITE 210 CAMPBELL, CA 95008 (408) 866-1620

PARCEL MAP



VICINITY MAP



PROJECT SCOPE

(N) Single Story Residence w/ Portions of (E) 1,533 Sq Ft Structure.

Project

WANDY CZ RESIDENCE
New Custom Home w/ Portions of Original Structure
1149 S. San Tomas Aquino Road
Campbell, CA 95008

Date: JAN 2016

Project: #16001

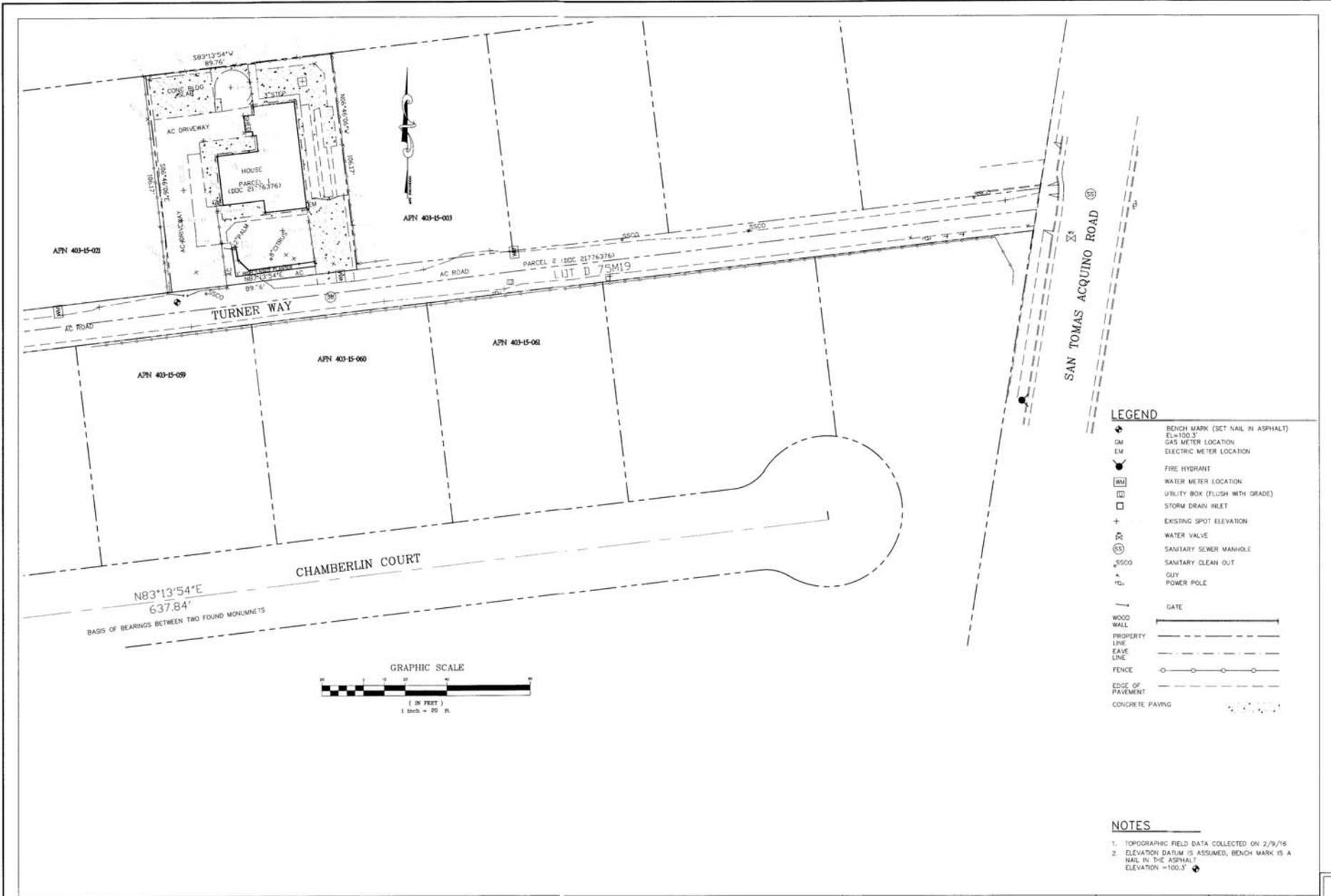
Scale: N/A

Drawn by: TJ

Sheet Title:

COVER SHEET & PROJECT INFO

A-1



LEGEND

	BENCH MARK (SET NAIL IN ASPHALT) EL=100.3'
	GAS METER LOCATION
	ELECTRIC METER LOCATION
	FIRE HYDRANT
	WATER METER LOCATION
	UTILITY BOX (FLUSH WITH GRADE)
	STORM DRAIN INLET
	EXISTING SPOT ELEVATION
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY CLEAN OUT
	GUY
	POWER POLE
	GATE
	WOOD WALL
	PROPERTY LINE
	EAVE LINE
	FENCE LINE
	EDGE OF PAVEMENT
	CONCRETE PAVING

NOTES

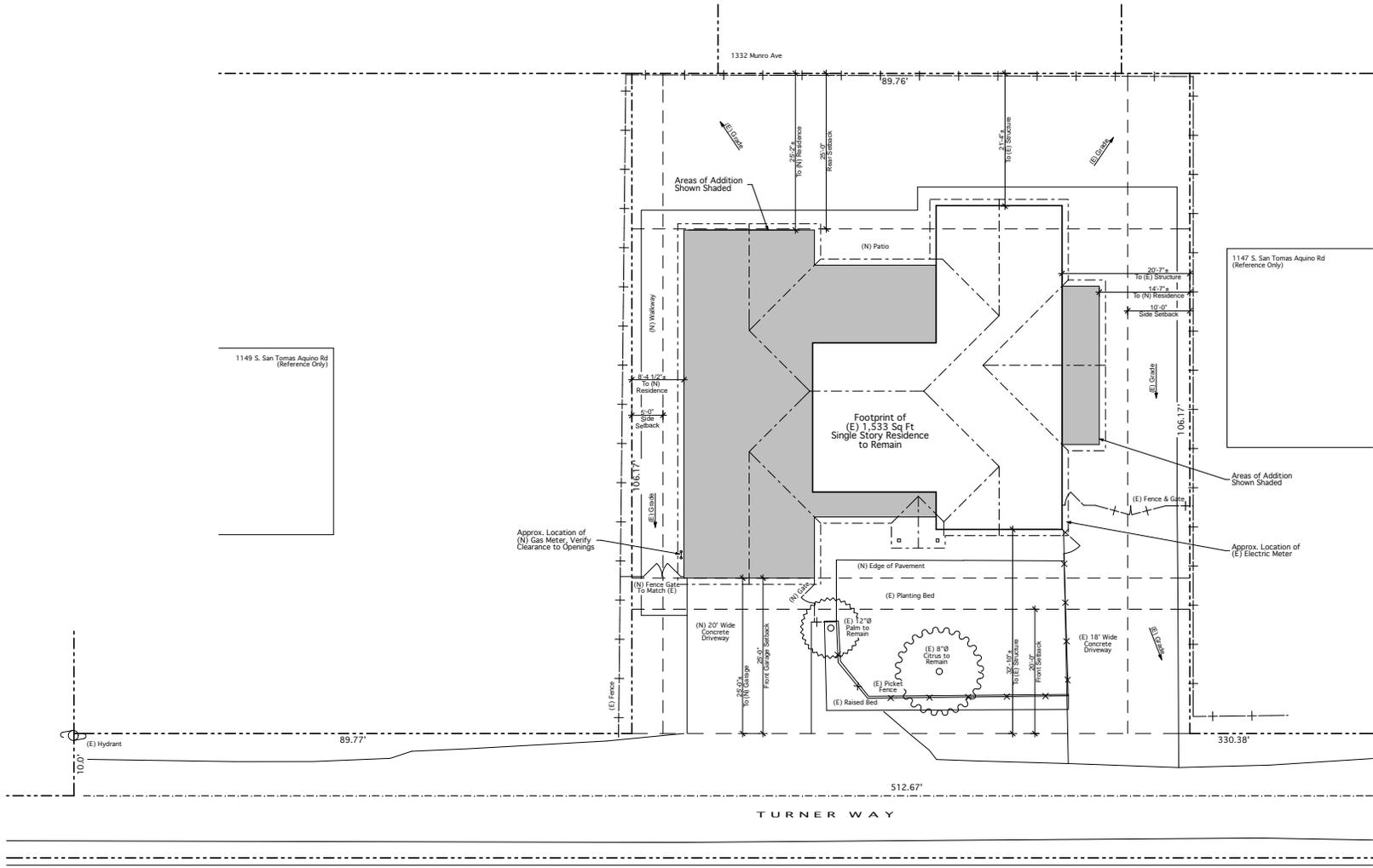
1. TOPOGRAPHIC FIELD DATA COLLECTED ON 2/9/16
2. ELEVATION DATUM IS ASSUMED, BENCH MARK IS A NAIL IN THE ASPHALT ELEVATION = 100.3'

DATE	REVISION	BY
PROJECT ENGINEER	MICHAEL F. GOODHUE, P.E., L.S.	
	19111 15th St., Suite 100 San Diego, CA 92128 (619) 444-1111 CEL. (619) 501-9519	
APN 403-15-044 TOPOGRAPHIC MAP 1149A SAN TOMAS ACQUINO RD, CAMPBELL, CA.		
DRAWN:	MFG	
CHECKED:	MFG	
DATE:	2/2016	
SCALE:	1"=20'	
JOB NO.		

FOR REDUCED PLANS
ORIGINAL SCALE IN INCHES

SHEET NAME: DRAWING NAME:

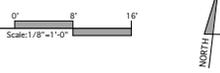
C-1



DEVELOPMENTAL DATA	SQUARE FEET		% OF SITE	
	Existing	Proposed	Existing	Proposed
Building Coverage	1,533 sf	3,178 sf	16.3%	33.3%
Landscape Coverage	2,824 sf	3,302 sf	29.6%	34.7%
Paving Coverage	5,173 sf	3,050 sf	53.3%	32.0%
Floor Area Ratio (FAR)	1,533 sf	3,178 sf	16.3%	33.3%

SCHEMATIC SITE PLAN
 PREP SITE FOR NEW CONSTRUCTION. VERIFY ALL DIMENSIONS & SITE CONDITIONS IN FIELD.
 NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY IN WRITING.

APN: 403-15-021
 LOT SIZE: 15,246 Sq Ft ± (Assumed 9,530 Sq Ft for Calcs)
 ZONING: R-1-9
 EXISTING SINGLE STORY RESIDENCE 1,533 Sq Ft
 ALLOWABLE FAR: 4,289 Sq Ft @ 45%
 ALLOWABLE LOT COVERAGE: 3,336 Sq Ft @ 35%



61 East Main Street, Suite D
 Los Gatos, CA 95030
 Phone: 415-355-9416
 Fax: 415-355-9416
 Email: tjmartin@tjmartin.com

TERRY J. MARTIN ASSOCIATES, A.L.A.
 Licensed Professional Architect

Print Date: 04/04/2016
 Date: 04/04/2016
 Planned Development Permit Application
 Rev. Description

Project
WANDYCZ RESIDENCE
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 Campbell, CA 95008

Date: JAN 2016
 Project: #16001
 Scale: 1/8" = 1'
 Drawn by: TJ

Sheet Title:
SCHEMATIC SITE PLAN

A-2

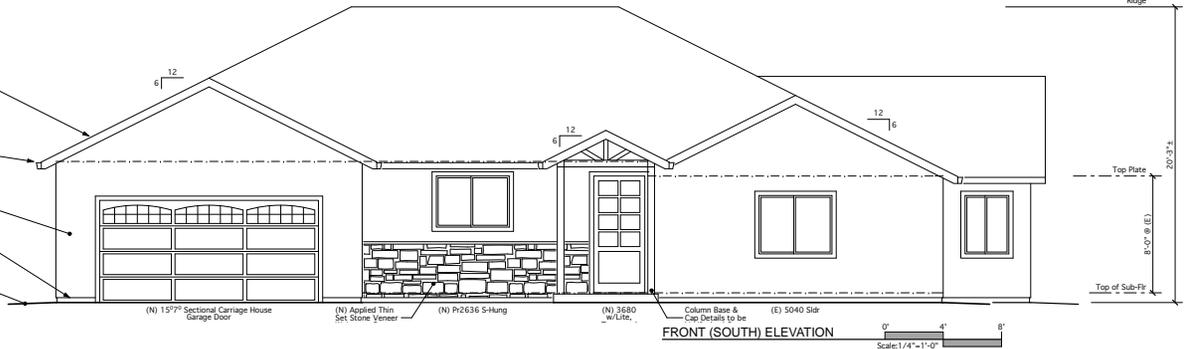
Comp. Asphalt Roofing, Blended Color Class 'A' Roofing System. Owner to Approve Prior to Installation. Install per Mfr. Specs.

4" Fascia Gutter Or 2x6 Fascia All Storm Water to be Retained On Site via Rain Water Leaders to Concrete Slaton Blocks at Grade. Slope away from building. Field Verify Locations of Rain Water Leaders with Owner prior to installation. Typ.

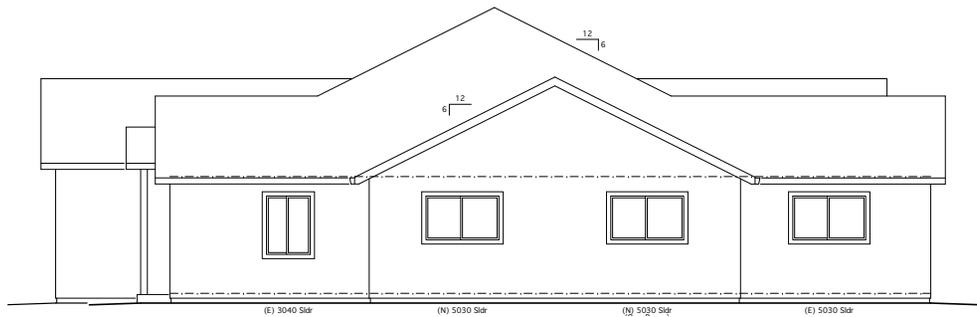
Painted Cement Plaster Stucco To Match (E)

Galvanized 26 ga Weep Screed 4" min above grade @ softscape 2" min above grade @ hardscape

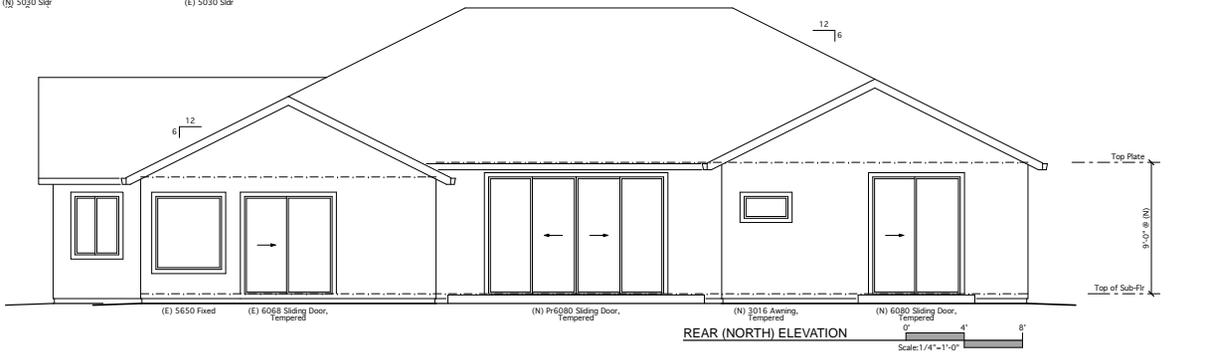
Slope grade away from bldg 2% min at hardscape 5% min at softscape



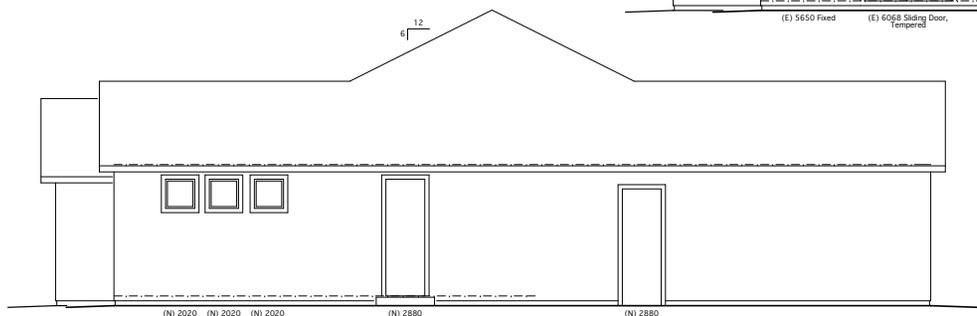
FRONT (SOUTH) ELEVATION
Scale: 1/4" = 1'-0"



RIGHT SIDE (EAST) ELEVATION
Scale: 1/4" = 1'-0"



REAR (NORTH) ELEVATION
Scale: 1/4" = 1'-0"



LEFT SIDE (WEST) ELEVATION
Scale: 1/4" = 1'-0"



SCHEMATIC STREETSCAPE
Scale: 1/16" = 1'-0"

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http://www.tjmartin.com
tj@tjmartin.com

TERRY J. MARTIN ASSOCIATES, A.L.A.
ARCHITECTURE

Print Date: 04/04/2016
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Date: JAN 2016
Project: #16001
Scale: 1/4" = 1'
Drawn by: TJ

Sheet Title:
EXTERIOR ELEVATIONS & SCHEMATIC STREETSCAPE

A-5

ENVIRONMENTAL SETTING

Terry J. Martin Associates, A.I.A.
03/30/2016

Wandycz Residence
1149 S. San Tomas Aquino Rd
Campbell, CA 95008

34. Existing project site:
- Relatively flat topography
 - Stable soil
 - Little to no native plant and animal presence
 - No cultural, historical, or scenic aspects
 - Existing structure: one-story single-family dwelling, to remain, with main level additions



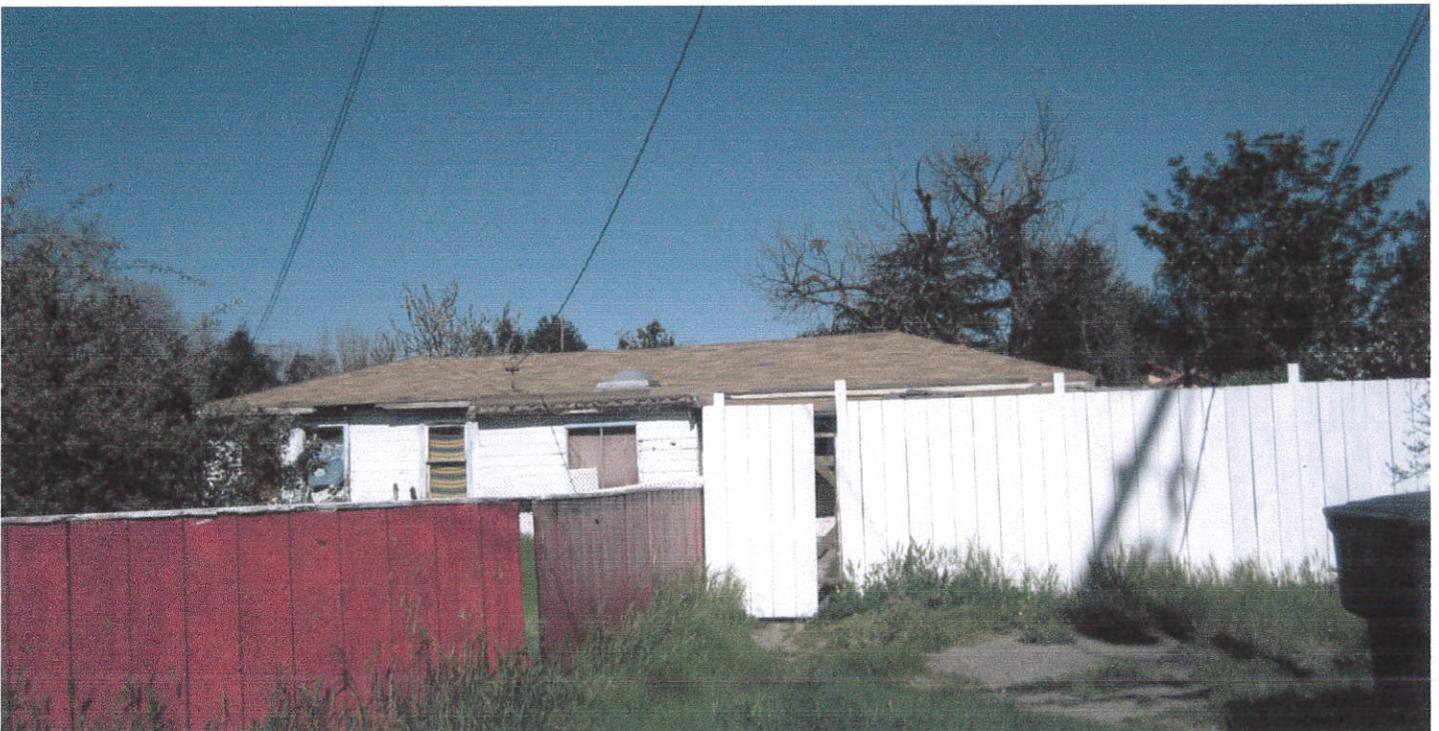
35. Surrounding properties:

- Low density residential neighborhood on all sides, composed of one- and two-story single-family dwellings
- Little to no native plant and animal presence
- No cultural, historical, or scenic aspects

Left Neighbor: 1149 S. San Tomas Aquino Rd



Right Neighbor: 1147 S. San Tomas Aquino Rd



Rear Neighbor: 1332 Munro Ave



36. Development applications associated with property:
- None. Question not applicable.