



**SITE AND ARCHITECTURAL REVIEW COMMITTEE
TUESDAY, JUNE 28, 2016
6:30 p.m.**

**Doetsch Conference Room/City Hall
70 N. First Street, Campbell, CA 95008**

AGENDA

ITEM/FILE NO.		ADDRESS	START TIME / DURATION	APPLICANT
1.	PLN2016-73	300 Orchard City Dr	6:30 p.m. / 20 Minutes	
Site and Architectural Review Permit. Project Planner: <i>Stephen Rose, Associate Planner</i>				
2.	PLN2016-138	1045 Salerno Dr	6:50 p.m. / 15 Minutes	
Site and Architectural Review Permit. Project Planner: <i>Stephen Rose, Associate Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** June 28, 2016

From: Stephen Rose, Associate Planner 

Via: Paul Kermoyan, Community Development Director 

Subject: The Cannery (Water Tower Plaza)

Application: Modification (PLN2016-73) to previously approved Planned Development Permits (PD84-02, PD84-05, PD90-01 and M92-11) to allow the exterior remodel of an existing building that is listed on the City's Historic Resource Inventory (George Hyde Co. Sunsweet Growers) as well as associated on-site and off-site improvements and a Tree Removal Permit (PLN2016-154) to allow the removal of protected tree(s)

Project Site: 300 & 307 Orchard City Drive

PROJECT SITE

The project site is the Water Tower Plaza and includes portions of City parking lots and right-of-way¹ located at and along south side of Orchard City drive, west of Railway Avenue, and east of S. First Street (reference **Attachment 1**, Location Map). The Water Tower Plaza, which includes the George E. Hyde Company/Sunsweet Growers building (reference **Attachment 2** – Primary Record), is listed as a significant historic resource on the Santa Clara County Heritage Resource Inventory and the City of Campbell Historic Resources Inventory. Over the years, the site (which includes the City parking lot) has assumed several addresses (including 93 N. Central Avenue), but is recognized as 300 & 307 Orchard City Drive.

PROJECT PROPOSAL

The applicant is seeking approval of a Modification (PLN2016-73) to allow exterior façade and site upgrades to the Water Tower Plaza. The proposal is intended to renovate the site with 'particular sensitivity to the early eras of the Campbell Fruit Growers Union and the George E. Hyde Company' (1892-1937). The proposal would remove non-historic elements of the building and site², reconfigure entrances³, and improve accessibility. A more detailed/bulleted scope of work has been included on page 2 of the applicant's design consultation memo (reference **Attachment 5** – Applicant's Consultant Memo - Page & Turnbull). The applicant is also requesting approval of a tree removal permit, to allow the removal of two olive trees located near the outdoor open space to the rear/southwest of Building A

¹ Work in the City right-of-way and parking lots

² Removed features include green fabric awnings throughout the site, brick planters, an arched entry system at Building J, and a parapet which obscured original clerestory windows on Building G.

³ The reconfigured entrance at Building G results in a 163 sq. ft. increase in floor area in that it serves to enclose an existing covered area. The increase in floor area is not considered to contribute to a parking impact, in consideration of the scale of the overall site and provided that the purpose of enclosing the area is to add architectural interest and visibility to a prominent building entrance.

& D and one podocarpus⁴ tree located at the front/northeast of Building G (reference **Attachment 3** – Project Plans; Sheet A1.0)

This proposal has no use related component, nor would it serve to supersede or modify any previously established operational restriction.

PROJECT DATA

Net Lot Area:	3.90 acres (including 4,032 sq. ft. of City property)
Gross Lot Area:	4.66 acres
Zoning:	P-D (Planned Development)
General Plan:	<i>Commercial/Med.-High Density Residential (14-27 units/gr. acre) and High Density Residential (21-27 units/gr. acre)</i>

BACKGROUND

On May 25, 2016 this item was reviewed by the City’s Historic Preservation Board. The board was supportive of the project forwarding a recommendation of approval to the City’s Planning Commission (reference **Attachment 5** – Historic Preservation Board Resolution).

SCOPE OF REVIEW

The purpose of the Site and Architectural Review Committee’s (SARC) review is to provide feedback on the site design, circulation, architectural materials, colors, and landscaping. In consideration of the applicant’s proposal, the SARC should also consider that the P-D Zoning District is intended to provide a degree of flexibility that is not available in other zoning districts so as to allow for a superior development, particularly related to the development’s design and provision of open space. To aid in achieving this goal, the Zoning Code provides a list of considerations that should be taken into account in review of this project ([CMC 21.12.030.H.12](#)). A focused review of the applicants proposal, as it pertains to the considerations provided in the Zoning Code have been provided in the project discussion.

Todd Walter, member of the Historic Preservation Board (HPB), will be in attendance at the SARC meeting to offer guidance or feedback on any changes to the project design arising from the discussion which could impact Historic Preservation.

DISCUSSION

ARCHITECTURE AND SITE DESIGN

A detailed discussion of the project’s site and architectural design, in consideration of the Secretary of Interior Standards for Historic Preservation, had been provided in the May 24, 2016 Historic Preservation Board Report (reference **Attachment 4**). To assist the project review, the City contracted with Mark Sandoval, Consulting Architect, to provide an analysis of the proposal. In Mark Sandoval’s report (reference **Attachment 8**), the overall impression is that the alterations are imaginative,

⁴ The subject tree species has been assumed by staff; not a protected tree species (redwood, oak, cedar, or ash).

reinforce the existing industrial narrative of the site’s past, and serve to add vitality of the historic resource.

In consideration of the project’s strong support by the City’s Historic Preservation Board (HPB), and City Consulting Architect, the SARC Memo serves to focus on items either requiring additional clarification, or still outstanding in the project review.

Master Sign Plan: The subject application shows speculative signs which will require review and approval through a master sign plan. The removal of the green fabric canopies, which in some locations serve to identify existing tenants, could result in tenants installing temporary banners while waiting for a master sign plan to be reviewed and approved. As such, a discussion point has been raised to determine if the item should be continued to a date uncertain to request the applicant to return with a master sign program, or whether a condition of approval should be forwarded to the Planning Commission requiring approval of a new master sign program prior to building permit issuance.



Figure 1 – Prospective Tenant Signs

Lighting & Furniture: The property has a combination of historically-themed/decorative light poles and benches, and more simple hanging lights, directory signs and trash cans. Whereas the Historic Preservation Board (HPB) expressed a desire to retain the existing site lighting and benches, the SARC may wish to consider if any of the existing lighting or furniture should be replaced with more industrial designs commensurate with the building alterations.



Figure 2– Existing Lighting & Furniture



Figure 3– Staff Prepared Exhibits of Industrial Lighting & Furniture (discussion purposes only)

Historic Plaques: The Historic Preservation Board (HPB) recommended that a new historic plaque, including a narrative and pictures of the historic building, to be provided somewhere onsite. In addition to this new plaque, the HPB inquired if the existing metal plaque (shown below) would be retained on the property. While the applicant indicated that the metal plaque would be retained, a location had not been identified. As such, a discussion point has been raised to determine the appropriate location of both plaques.



Figure 4 – Historic Plaque

Tree Removal: As part of the proposed development, the applicant is requesting the removal of two olive trees which are located to the rear/southwest of Building A & D and one podocarpus⁵ tree located at the front/northeast of Building G (reference **Attachment 3** – Project Plans; Sheet A1.0). Pursuant to CMC 21.32 (Tree Protection Regulations) a minimum of three 24-inch box trees shall be required as replacements. In that the proposed schematic landscape plan (reference **Attachment 3** – Project Plans; Sheet A1.2) does not indicate replacement trees, a discussion point has been raised to determine if the SARC would have a preferred planting location.



Figure 5 - Trees Proposed for Removal (two olive trees on left & podocarpus tree on right)

SUMMARY

If the SARC believes that the applicant has adequately addressed the considerations for review of a Planned Development Permit, as specified by CMC 21.12.030, it could recommend approval to the Planning Commission as proposed or subject to revisions. The following questions are meant to facilitate SARC's discussion of the project details:

- **Master Sign Plan:** Should the applicant be required to provide a master sign plan for concurrent review and approval? Alternatively, should this be placed as a requirement on the applicant's proposal prior to building permit issuance?

⁵ The subject tree species has been assumed by staff; not a protected tree species (redwood, oak, cedar, or ash).

- **Lighting & Furniture:** Should industrial lighting or furniture, commensurate with the building alterations, be required?
- **Historic Plaques:** Does the SARC have a recommended location for either plaque?
- **Trees:** Does the SARC have a preferred location for the three replacement trees?

Attachments:

1. Location Map
2. Primary Record
3. Project Plans
4. May 25, 2016 – Historic Preservation Board Report
5. May 25, 2016 – Historic Preservation Board Resolution
6. May 25, 2016 – Historic Preservation Board Draft Minutes (Excerpt)
7. Applicant's Consultant Memo - Page & Turnbull
8. City Consulting Architect Evaluation Report -Mark Sandoval
9. Applicant Responses to Consulting Architect Feedback
10. Historic Plaque

Location Map



State of California – The Resources Agency	Primary # _____
DEPARTMENT OF PARKS AND RECREATION	HRI # _____
PRIMARY RECORD	Trinomial _____
	NRHP Status Code _____
Other Listings _____	
Review Code _____	Reviewer _____ Date _____

Page 1 of 2 *Resource Name or #: George Hyde Co./Sunsweet Growers

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County Santa Clara and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T: _____ R: _____ ; ¼ of _____ ¼ of Sec _____ ; B.M. _____

c. Address: 93 S. Central Ave (Currently 300 Orchard City Drive) City Campbell Zip 95008

d. UTM: (Give more than one for large and/or linear resources) Zone _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 412-07-048

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Several interconnected brick/wood commercial/industrial buildings of two or one-story height. Wood-frame windows, sloped roofs of corrugated tin.

Structures were developed twice for commercial use; in the 1970's for a retail/business center commonly known as "The Factory", and again in 1984-85, for a primarily business/office complex commonly known as "Water Tower Plaza." The exterior of the buildings have been completely remodeled, bearing little resemblance to the original structures described above. Present appearance features color-coordinated painting of wood trim/awnings; wood sideboard and extensive landscaping.

*P3b. Resource Attributes: (List attributes and codes) 1-3 story Commercial Building

*P4. Resources Present:

Building Structure Object
 Site District Element of District
 Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Side View,

10/21/2008

*P6. Date Constructed/Age and Source: Historic

Prehistoric

Both

1892-1909

*P7. Owner and Address: _____

*P8. Recorded by: (Name, affiliation, and address)

Peggy Coats

City of Campbell Museum

51 N. Central Ave.

*P9. Date Recorded: 10/1985

*P10. Survey Type: (Describe)
Inventory Update

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P11. Report Citation: (Cite survey report and other sources, or enter "none.") 1977-78 Historic Survey. "Sunsweet", A history (Sunsweet Inc.)

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List): _____

*NRHP Status Code _____

Page 2 of 2 *Resource Name or # (Assigned by recorder) _____

B1. Historic Name: George Hyde Co./Sunsweet Growers

B2. Common Name: George Hyde Co./Sunsweet Growers

B3. Original Use: Industrial B4. Present Use: Commercial

*B5. Architectural Style: Brick Commercial/ Industrial building

*B6. Construction History: (Construction date, alterations, and date of alterations)

Built, 1892-1909.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme Economic/Industrial Area _____

Period of Significance _____ Property Type _____

Applicable Criteria _____

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The site was originally occupied from 1887-1890, by Flemmings Fruit Dryer, which employed 700 people and shipped 120 carloads of fruit during their first season of operation. They were acquired in 1890 by Frank Buxton's Dryer, which was in turn acquired, in 1892 by the Campbell Fruit Growers Union. Original complex consisted of a packing house, and 17 acres of fruit dry-yards, headed by Campbell grower F.M. Righter. In 1909, George Hyde bought the acreage and converted the packing house to a canning and dehydrating plant. In 1937, Hyde sold the facility to the California Prune and Apricot Growers Association, which he had been affiliated with since 1917. The site/complex became known as the Campbell Cooperative Dryer, one of five experimental dryers in the Sunsweet Association. It expanded to become a 48-tunnel plant, the largest in the world during the eleven affiliated dehydrators and dryers: Campbell, Feather River, Hollister, Morgan Hill, Napa, Oak Grove, Santa Rosa, Silverado, Solano, Tehama and Ukiah. Plant closed in 1971, and has since been used commercially.

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

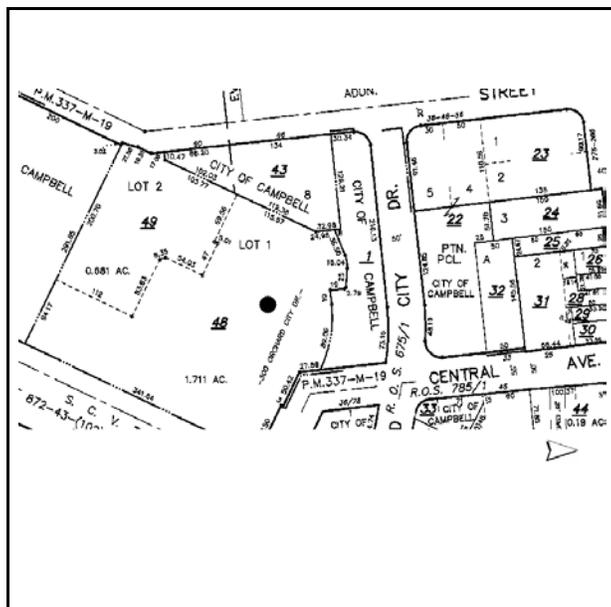
Tom M. King (October 20, 1977)
 City of Campbell Historic Survey 1977-78

B13. Remarks:

*B14. Evaluator: See P8

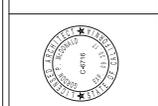
*Date of Evaluation: See P9

(This space reserved for official comments.)





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THE CANNERY AT WATER TOWER PLAZA
 EXTERIOR IMPROVEMENTS
 300 ORCHARD CITY DRIVE
 CAMPBELL, CA. 95008

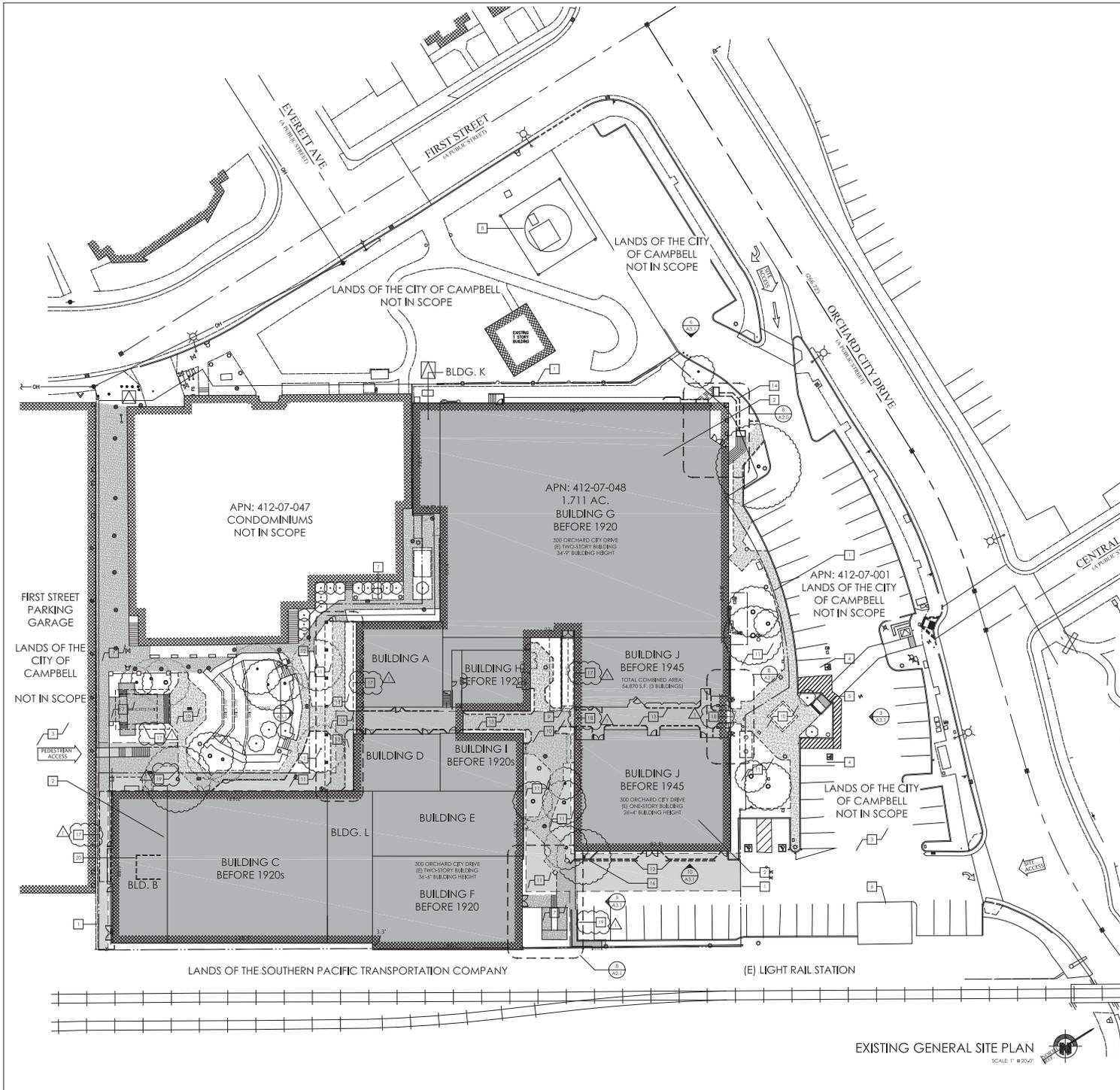
ISSUE
 2016.02.24
 PLANNING SUBMITTAL
 2016.03.31
 PLANNING COMMENT RESPONSE
 2016.03.31
 HISTORIC PRESERVATION BOARD REC.

COVER SHEET & GENERAL NOTES
 Date: 2015.09.25
 Scale: N.T.S.
 Drawn: 1339-6
 Sheet:

A0.1
 PLANNING SUBMITTAL

A PLANNING SUBMITTAL FOR: THE CANNERY AT WATER TOWER PLAZA SITE AND BUILDING EXTERIOR IMPROVEMENTS 300 ORCHARD CITY DRIVE (FORMERLY 93 CENTRAL AVENUE) CAMPBELL, CA 95008

ABBREVIATIONS	
AB	ANCHOR BOLT
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADJ	ADJACENT
AF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
AR	ARCHITECTURAL
AVG	AVERAGE
AWC	ACCIDENTAL WALL COVERING
BD	BOARD
BLDG	BUILDING
BSC	BLOCKING
BR	BROCK
BTM	BOTTOM
BTWN	BETWEEN
BTW	BOTHWAYS
CB	CATCH BASIN
CC	CUBIC FEET
CG	CORNER GUARD
CD	CORNER JOINT
CCG	CALLING
CE	CERAMIC TILE
CF	CORNER
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CH3	CHINA
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CH9	CHINA
CH0	CHINA
CH1	CHINA
CH2	CHINA
CH3	CHINA
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CH1	CHINA
CH2	CHINA
CH3	CHINA
CH4	CHINA



SHEET NOTES

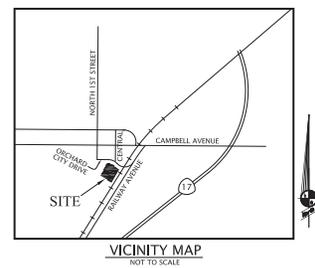
- 1 (E) PROPERTY LINE TO REMAIN
 - 2 (E) BUILDING TO REMAIN. SEE ELEVATION SHEETS FOR FACADE WORK
 - 3 (E) PARKING TO REMAIN
 - 4 (E) ACCESSIBLE PARKING STALL TO REMAIN
 - 5 (E) ACCESSIBLE CURB RAMP TO REMAIN
 - 6 (E) TRASH ENCLOSURE TO REMAIN
 - 7 (E) CONCRETE PAVING TO REMAIN
 - 8 (E) HISTORIC WATER TOWER. NOT IN SCOPE
 - 9 (E) NON-COMPLIANT RAMP TO BE REMOVED
 - 10 (E) PAVING TO BE REMOVED AND REPLACED
 - 11 (E) LANDSCAPE TO BE REMOVED AND REPLACED. TREES LISTED ON SHEET A1.2 TO REMAIN
 - 12 (E) OLIVE TREE TO BE REMOVED. OLIVE TREE CROPS FRUIT ON ACCESSIBLE PATH OF TRAVEL
 - 13 (E) BRICK PLANTER TO BE REMOVED. SALVAGE BRICKS FOR REUSE
 - 14 REMOVE FINISHES AND PLANTER FROM (E) PAVES
 - 15 (E) BALCONY ABOVE TO BE RENOVATED AND REFORCED
 - 16 (E) BRICK PLANTER AROUND TREE TO REMAIN
- 17 (E) GREEN CLOTH AWNING TO BE REMOVED. ALL GREEN CLOTH AWNING WILL BE REMOVED THROUGHOUT SITE. THE FUTURE CALLS OUT A LARGER AWNING.
 - 18 (E) RESTERENING GATE TO REMAIN
 - 19 (E) PUBLIC ACCESS EASMENT TO REMAIN
 - 20 (E) WOOD ROOF SCREEN TO BE REMOVED AND REPLACED

LEGEND

- (E) CONCRETE TO BE REMOVED
- (E) CONCRETE TO REMAIN
- FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK. NO CHANGE TO FOOTPRINT. SEE ELEVATIONS FOR FACADE WORK.
- (E) PUBLIC ACCESS EASMENT TO REMAIN

GENERAL NOTES

1. TOTAL OF ALL IN PERVIOUS SURFACES TO BE LESS THAN 10,000 S.F.
2. REMOVE BRICK PLANTERS THROUGHOUT SITE UNLESS OTHERWISE NOTED. SALVAGE BRICKS FOR REUSE.
3. REMOVE BRICK LANDSCAPE THROUGHOUT SITE.
4. REMOVE (E) PART FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED. REPLACE DAMAGED WOOD STRUCTURE.
5. REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
6. REMOVE (E) GREEN AWNINGS OVER WALKWAY THROUGHOUT SITE.
7. PATCH, REPAIR & PAINT ALL AREAS DAMAGED DUE TO CONSTRUCTION. MATCH (E) OR APPROVED EQUAL.
8. ALL (E) TREES TO REMAIN PER CITY OF CAMPBELL TREE REMOVAL GUIDELINES



EXISTING GENERAL SITE PLAN
SCALE: 1" = 200'



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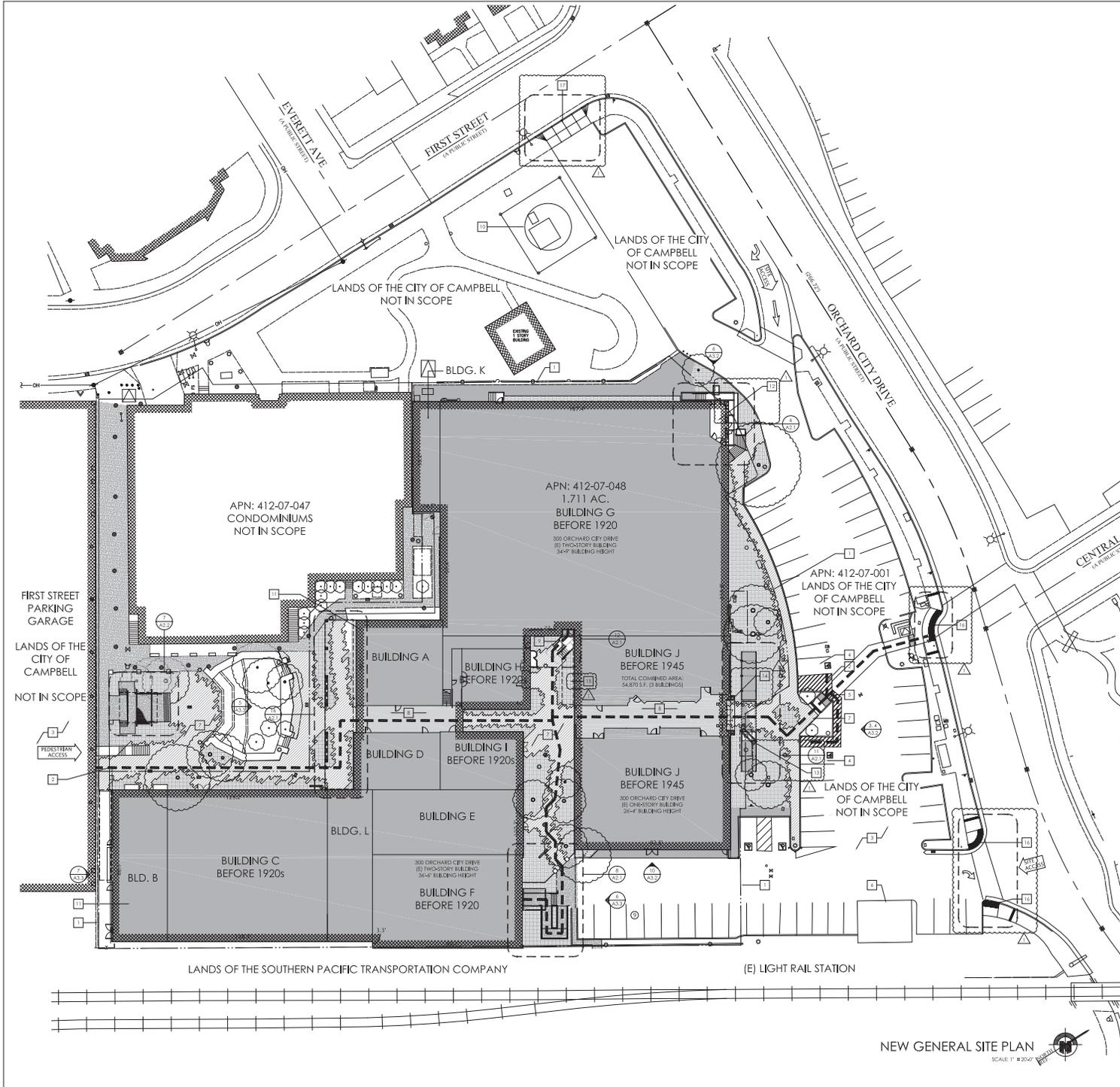
Written dimensions on this drawing shall have precedence over any scaled dimensions. Do not scale the drawing for accuracy. Dimensions and notes indicate any discrepancies.



**THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS**
300 ORCHARD CITY DRIVE
CAMPBELL CA, 95008

ISSUE	
2014.02.24	PLANNING SUBMITTAL
2014.03.31	PLANNING COMMENT RESPONSE
2014.03.31	HISTORIC PRESERVATION BOARD REC.
DEMO AND EXISTING GENERAL SITE PLAN	
Date:	2015.09.25
Scale:	1" = 20'-0"
Drawn:	
As:	1339-6
Sheet:	

P:\13\1339-6 The Cannery Comments\13396_Existing Improvements\A1-Cannery_S12-30.mxd



SHEET NOTES

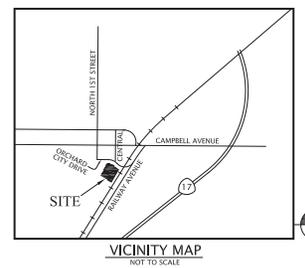
- 1 (E) PROPERTY LINE TO REMAIN
 - 2 (E) AND (N) ACCESSIBLE PATH OF TRAVEL
 - 3 (E) PARKING TO REMAIN
 - 4 (E) ACCESSIBLE PARKING STALL TO REMAIN
 - 5 (E) ACCESSIBLE CURB RAMP TO REMAIN
 - 6 (E) TRASH ENCLOSURE TO REMAIN
 - 7 (N) PAVING: STEPS/STAIRS 6-48 CONCRETE PAVERS MAX. 2% SLOPE, 2% CROSS-SLOPE AND 1/4" VERTICAL ELEVATION CHANGE ALONG ACCESSIBLE PATH OF TRAVEL; AREA OF (N) EXTERIOR PAVING TO BE 8,800 S.F. MAX.
 - 8 (N) PAVING CONTIGUOUS TO BREEZEWAY
 - 9 (N) ADA-COMPLIANT WHEELCHAIR MAT
 - 10 (E) METEORIC WATER TOWER; NOT IN SCOPE
 - 11 CORRUGATED METAL SCREEN ON ROOF OF (E) BUILDING; SCREEN WILL NOT EXCEED MAXIMUM HEIGHT OF (E) BUILDINGS ON SITE.
- 12 FLOOR AREA CHANGE; NO FLOOR AREA CHANGE; +10 S.F. (E) COVERED AREA TO BE ENCLOSED
- 13 LOT COVERAGE CHANGE; NO FLOOR AREA CHANGE; +25 S.F. (N) FEATURE WALL
- 14 LOT COVERAGE CHANGE; NO FLOOR AREA CHANGE; +48 S.F. (N) ENTRY FRAME
- 15 LOT COVERAGE CHANGE; NO FLOOR AREA CHANGE; -200 S.F. AT (E) RAMP AND CANOPY TO BE DEMOLISHED AND CONVERTED TO LANDSCAPE
- 16 UPGRADE (E) CURB RAMP TO (E) LAND OR IN-PUBLIC RIGHT-OF-WAY TO BE ADA-COMPLIANT; SEE CITY OF CAMPBELL STANDARD DETAILS
- 17 UPGRADE (E) COVERED ENTRY FRAME; REPAIR/REPLACE TO BE ADA-COMPLIANT; SEE TYPICAL ADA DETAILS ON SHEET A11.1 AND SEE CITY OF CAMPBELL STANDARD DETAILS

LEGEND

- (N) PAVING: STEPS/STAIRS 6-48 CONCRETE PAVERS; MAX. 2% SLOPE, 2% CROSS-SLOPE, AND 1/4" VERTICAL ELEVATION CHANGE ALONG ACCESSIBLE PATH OF TRAVEL; AREA OF (N) EXTERIOR PAVING TO BE 8,800 S.F. MAX.
- (E) CONCRETE TO REMAIN
- AREA OF (N) LANDSCAPE; (E) TREES TO REMAIN
- FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK; NO CHANGE TO FOOTPRINT; SEE EXTERIOR WORK FOR FACEWORK
- (E) TREE TO REMAIN; SEE SHEET A11.2

GENERAL NOTES

- 1. TOTAL OF ALL (N) IMPERVIOUS SURFACES TO BE LESS THAN 10,000 S.F.
- 2. REMOVE BRICK PLANTERS THROUGHOUT SITE UNLESS OTHERWISE NOTED; SALVAGE BRICKS FOR REUSE.
- 3. REMOVE (E) LANDSCAPING THROUGHOUT SITE.
- 4. REMOVE (E) PART FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED; REPLACE DAMAGED WOOD STRUCTURE.
- 5. REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
- 6. REMOVE (E) GREEN AWNINGS OVER WINDOVS THROUGHOUT SITE.
- 7. PATCH REPAIR (E) PARTIAL AREAS DAMAGED DUE TO CONSTRUCTION; MATCH (E) OR APPROVED EQUAL.
- 8. ALL (E) TREES TO REMAIN PER CITY OF CAMPBELL TREE REMOVAL GUIDELINES.



NEW GENERAL SITE PLAN
SCALE: 1" = 200'



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**THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS**
300 ORCHARD CITY DRIVE
CAMPBELL CA., 95008

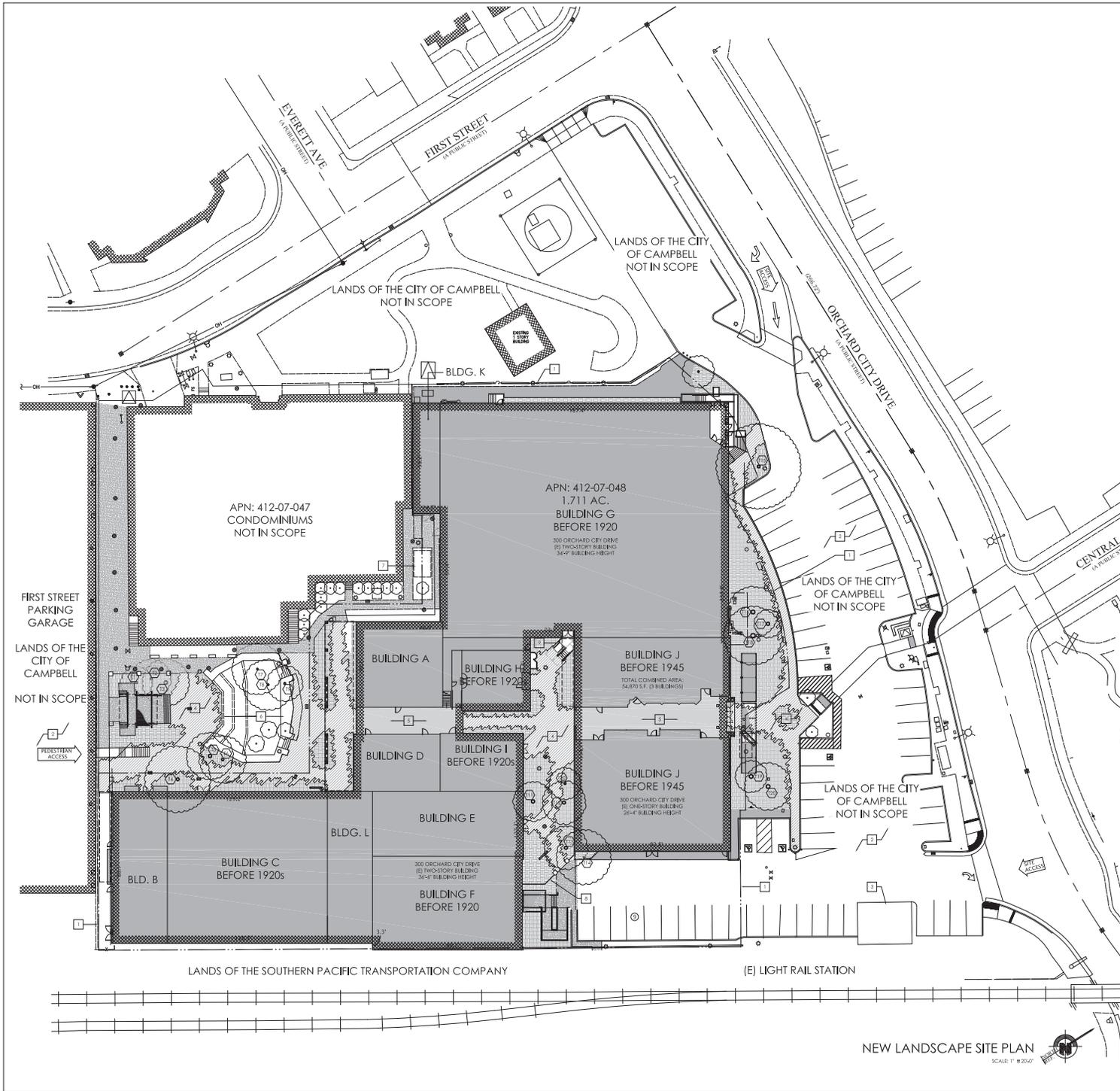
ISSUE	
2014.02.24	PLANNING SUBMITTAL
2014.03.31	PLANNING COMMENT RESPONSE
2014.05.31	METEORIC PRESERVATION BOARD REC.

NEW GENERAL SITE PLAN	
Date	2015.09.25
Scale	NA
Drawn	
As	1339-6
Sheet	

A1.1

PLANNING SUBMITTAL

PL1311339-6 The Cannery at Water Tower Plaza Exterior Improvements (A) - Drawing 1311339-6



SHEET NOTES

- 1 (E) PROPERTY LINE TO REMAIN
- 2 (E) PAVING TO REMAIN
- 3 (E) TRASH ENCLOSURE TO REMAIN
- 4 (N) PAVING: SEE SPEC #448 CONCRETE PAVES: MAX. 2% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 48" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL; AREA OF (N) EXTERIOR PAVING TO BE 8,400 S.F. MAX. (INCLUDING AREA UNDER BALCONY AT BUILDINGS A AND D)
- 5 (N) PAVING: CONTINUOUS CONC. GREENPAV
- 6 (E) BRICK LOW-WAIST WALL TO REMAIN
- 7 (E) AS-GRADE MECHANICAL LINES TO REMAIN
- 8 (N) WOODEN FENCE TO REPLACE (E) WROUGHT-IRON FENCE

LEGEND

- (N) PAVING: SEE SPEC #448 CONCRETE PAVES: MAX. 2% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 48" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL; AREA OF (N) EXTERIOR PAVING TO BE 8,400 S.F. MAX. (INCLUDING AREA UNDER BALCONY AT BUILDINGS A AND D)
- AREA OF (N) LANDSCAPE, (E) TREES TO REMAIN
- FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK. NO CHANGE TO FOOTPRINT. SEE ELEVATIONS FOR FACADE WORK.
- (E) TREE WITH A TRUNK DIAMETER OF LESS THAN 12" (NON-PROTECTED TREE TO REMAIN UNLESS NOTED ON SEE LANDSCAPE PLAN)
- (E) TREE WITH A TRUNK DIAMETER OF 12" OR GREATER (PROTECTED TREE TO REMAIN UNLESS APPROVED BY A CITY OF CAMPBELL TREE REMOVAL PERMIT)
- (E) LIGHT FEATURE TO REMAIN

PROTECTED TREE SCHEDULE

TREE SPECIES	TRUNK DIAMETER	CANOPY DIAMETER	NOTES
(E) REDWOOD	18"	216'	
(E) REDWOOD	19"	207'	
(E) REDWOOD	23"	224'	
(E) WILLOW	21"	434'	
(E) REDWOOD	24"	424'	
(E) REDWOOD	18"	424'	
(E) MAGNOLIA	12"	426'	
(E) MAGNOLIA	12"	426'	
(E) WILLOW	15"	418'	
(E) REDWOOD	14"	416'	
(E) REDWOOD	24"	227'	TREE IN RAISED PLANTER
(E) REDWOOD	22"	227'	
(E) REDWOOD	22"	227'	
(E) TRD	14"	228'	TREE IN RAISED PLANTER
(E) WESTERN DOUGLASS	20"	444'	
(E) REDWOOD	27"	424'	
(E) REDWOOD	25"	414'	
(E) REDWOOD	30"	430'	TRUNK ENVOUCHES ON SEWER CLEAN-OUT
(E) REDWOOD	25"	416'	
(E) REDWOOD	27"	424'	

NOTE: ONLY TREES DEFINED AS "PROTECTED" BY THE CITY OF CAMPBELL ARE LISTED. PROTECTED TREES MAY ONLY BE REMOVED IN COMPLIANCE WITH THE CITY OF CAMPBELL TREE REMOVAL PERMIT APPLICATION.



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THE CANNERY AT WATER TOWER PLAZA
 EXTERIOR IMPROVEMENTS
 300 ORCHARD CITY DRIVE
 CAMPBELL CA, 95008

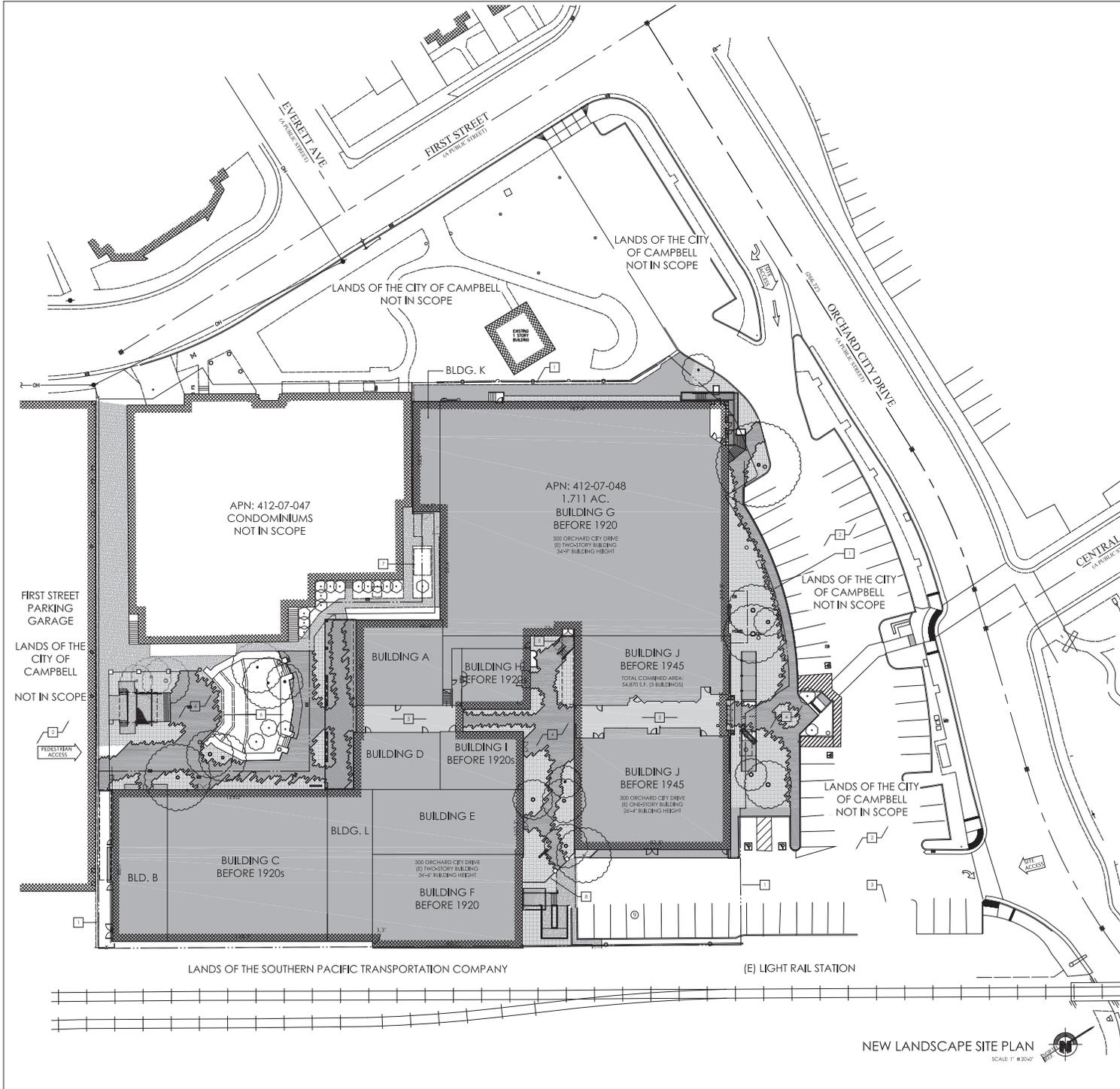
ISSUE
2014.02.24 PLANNING SUBMITTAL
2014.03.31 PLANNING COMMENT RESPONSE
2014.03.31 METRO PRESERVATION BOARD REC.

NEW SCHEMATIC LANDSCAPE SITE PLAN

Date: 2015.09.25
 Scale: 20' = 1'-0"
 Draw: 1339-6
 Job: 1339-6
 Sheet:

A1.2

PLANNING SUBMITTAL



SHEET NOTES

- 1 (E) PROPERTY LINE TO REMAIN
- 2 (E) PAVING TO REMAIN
- 3 (E) TRASH ENCLOSURE TO REMAIN
- 4 (N) PAVING: 2" MINIMUM 4" MAX CONCRETE PAVES: MAX. 2% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 48" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL. AREA OF (N) EXTERIOR PAVING TO BE 8,400 S.F. MAX. (INCLUDING AREA UNDER BALCONY AT BUILDINGS A AND D)
- 5 (N) PAVING: CONTIGUOUS CONCRESITIVE BREEZEWAY
- 6 (E) BRICK LOW-HEIGHT WALL TO REMAIN
- 7 (E) AL-GRADE MECHANICAL LINES TO REMAIN
- 8 (N) WOODEN FENCE TO REPLACE (E) WROUGHT-IRON FENCE

LEGEND

- (N) PAVING: 2" MINIMUM 4" MAX CONCRETE PAVES: MAX. 2% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 48" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL. AREA OF (N) EXTERIOR PAVING TO BE 8,400 S.F. MAX. (INCLUDING AREA UNDER BALCONY AT BUILDINGS A AND D)
- (N) AREA OF (N) LANDSCAPE, (E) TREE TO REMAIN
- (E) FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK. NO CHANGE TO FOOTPRINT. SEE ELEVATIONS FOR FACADE WORK.
- (N) PAVED AREA. SEE BREAKDOWN TABLE BELOW
- (E) PAVED AREA TO REMAIN UNCHANGED

NEW PAVED (IMPERVIOUS) AREA BREAKDOWN

0.75" 4" CONCRETE PAVES, EXCLUDING COVERED AREAS	6,860 S.F.
BLDG. A AND D BALCONY AND ARCADE	1,400 S.F.
BLDG. J SOUTH PAIRD	300 S.F.
BLDG. G CORNER PAIRD	336 S.F.
ACCESSIBLE LIFT AND STAIRS	90 S.F.
BLDG. J ENTRY FEATURE WALL	25 S.F.
(D) DIRECTORBEL TOTAL	10 S.F.
SITE TOTAL	9,061 S.F.

NOTE: PROJECTS THAT ADD OR REPLACE 10,000 S.F. OR MORE OF IMPERVIOUS SURFACE MUST COMPLY WITH THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM



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THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS
300 ORCHARD CITY DRIVE
CAMPBELL CA., 95008

ISSUE

2014.02.24	PLANNING SUBMITTAL
2014.03.31	PLANNING COMMENT RESPONSE
2014.03.31	ARCHIVE PRESERVATION BOARD REC.

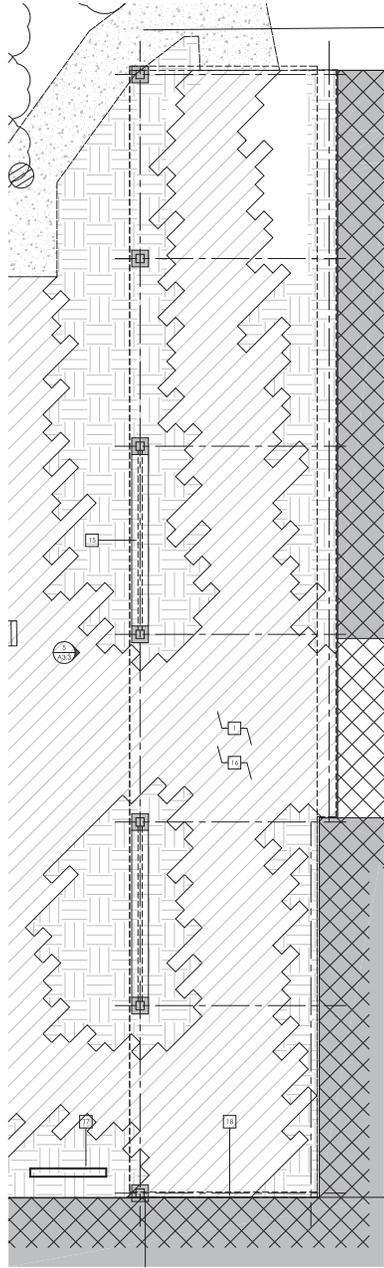
NEW PAVING SITE PLAN

Date: 2015.09.25
Scale: 20' = 1'-0"
Drawn: 1339-6
Sheet:

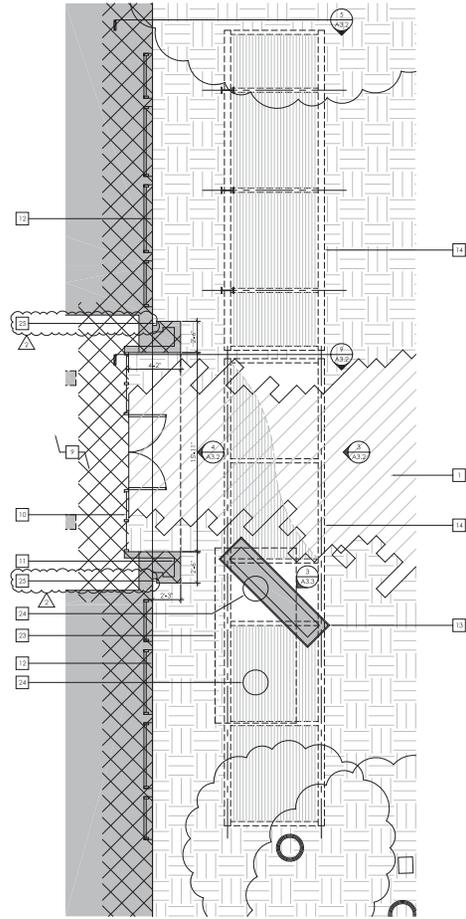
A1.3

PLANNING SUBMITTAL

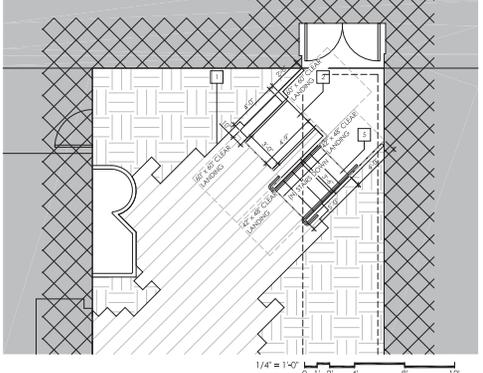
PL131339-6 The Cannery at Water Tower Plaza, exterior improvements (A) - Drawing 1.3 - Sheet 1



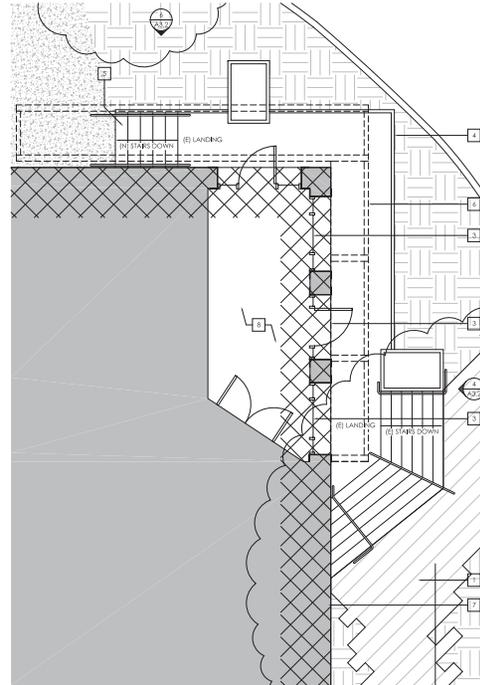
ENLARGED BUILDING A, D, AND L ARCADE 16



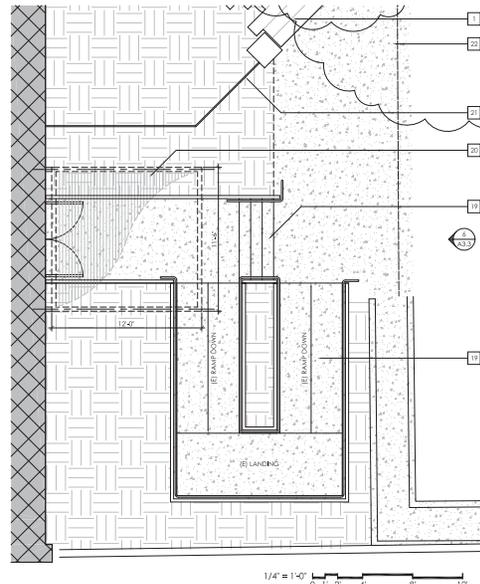
ENLARGED BUILDING J ENTRY 11



ENLARGED ACCESSIBLE LIFT 12



ENLARGED BUILDING G CORNER 6



ENLARGED BUILDING F FRONT 8

KEY NOTES

- 1 (N) STRIPTECH LARGE SCALE NARROW MODULAR PAVES, CONCRETE, 6x4x1/2" OR APPROVED EQUAL THROUGHOUT SITE
- 2 (N) GUARANTEED GENIESE PLATFORM (LIFT OR APPROVED EQUAL) (N) 3' FT
- 3 (N) INDUSTRIAL SASHSTYLE STOREFRONT (E) OPENINGS
- 4 (N) SQUARE CORNER OF PAINT, (N) GUARDRAIL, AND (N) FINISH, GUARDRAILS TO BE METAL POSTS, STEEL CABLE, AND WOOD TOP RAIL
- 5 (N) CONCRETE STAIRS AND LANDING WITH (N) BRICK SIDES AND (N) GUARDRAILS AND HANDRAILES
- 6 (N) ANNING AT PAINT, FRAME (N) ANNING WITH WIDE FLANGES AND CHANNELS (FINISH WITH CORRUGATED METAL, PROVIDE BRONZE FINISH PER OWNER'S SPECIFICATION
- 7 (N) METAL ANNING AT WINDOWS, TYP. AND PAINT WHITE WINDOW FRAMES BLACK TYP.
- 8 CONVERT (E) TO S.F. EXTERIOR AREA WITH (E) FLOOR AND CEILING TO REMOVED AREA AND PROVIDE (E) FLOOR, WALL, AND CEILING FINISHES
- 9 REMOVE (E) SPIRIT AND BUCKHEAD AND CONVERT TO FLIGHTSIGHT SPACE
- 10 ENLARGE (E) OPENING AND FILL WITH (N) INDUSTRIAL SASHSTYLE STOREFRONT AND DOORS, SEE ELEVATION 3/4.3
- 11 (N) FRAME AROUND OPENING, FINISH WITH BRICK RECYCLED FROM ELSEWHERE IN PROJECT
- 12 (N) WINDOWS TO REMAIN
- 13 (N) ENTRY FEATURE WALL, FINISH WITH BRICK, FRAME FINISH WITH CORRUGATED METAL, INCLUDE PUNCHOUT NUMBERS 200" AS SHOWN IN RENDERINGS, INCLUDE LIGHTING, FEATURE WALL 24" TALL
- 14 (N) STEEL CANOPY, FRAME WITH WIDE FLANGES AND CHANNELS, FILL WITH STEEL SLATS
- 15 (E) BALCONY ABOVE TO REMAIN, REINFORCE (E) WOOD STRUCTURE WITH (N) STEEL STRUCTURE, REPLACE UNLOADING WOOD STRUCTURAL MEMBERS, REPLACE GUARDRAIL, AND PROVIDE FINISHES, SEE ELEVATION 3/4.3.
- 16 REMOVE (E) ANNING ABOVE BALCONY AND REPLACE WITH (N) WOOD PERGOLA
- 17 (N) DIRECTORY, 48" WIDE x 15-1/2" TALL, CORRUGATED METAL FINISH, SEE 3/4.3.3
- 18 (N) CORRUGATED METAL FINISH ON BUILDING L
- 19 (E) BANK STAIRS, AND LANDING TO REMAIN WITH (N) GUARDRAILS, HANDRAILES, AND CONCRETE COLOR TOPPING
- 20 (N) ANNING COVER (E) BUILDING ENTRY, FRAME WITH STEEL CHANNELS, FILL WITH SLATS, SUSPEND FROM BUILDING WITH CABLES, AND PROVIDE BRONZE FINISH PER OWNER'S SPECIFICATION
- 21 (N) WOOD FENCE TO REPLACE (E) WROUGHT-IRON FENCE
- 22 (E) CONCRETE PAVING TO REMAIN
- 23 (E) GRADE THAT TOP OF TRAMP 48" BELOW GRADE, BOTTOM OF TRAMP 12" BELOW GRADE, 1:1, FILL WITH GRAVEL AND ABANDON IN PLACE
- 24 (E) MANHOLE, VBE
- 25 4" REVEAL BETWEEN (E) AND (N) BRICK

LEGEND

- INPAVING, STRIPTECH 6x4x1/2" CONCRETE PAVES, MAX. 5% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 4" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL, AREA OF (N) EXTERIOR PAVING TO BE SUB S.F. MAX.
- AREA OF (N) LANDSCAPE, (E) TREES TO REMAIN
- FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK, NO CHANGE TO FOOTPRINT, SEE ELEVATIONS FOR FACADE WORK.
- (E) CONCRETE PAVING TO REMAIN

GENERAL NOTES

1. REMOVE BRICK PLANTERS THROUGHOUT SITE AND SALVAGE BRICKS FOR REUSE
2. PROVIDE (N) LANDSCAPING THROUGHOUT SITE
3. REMOVE (E) PAINT FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED, REPLACE DAMAGED WOOD STRUCTURE.
4. REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
5. REMOVE (E) GREEN ANNING COVER WINDOWS THROUGHOUT SITE.



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THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS
300 ORCHARD CITY DRIVE
CAMPBELL CA., 95008

ISSUE	
2016.02.24	PLANNING SUBMITAL
2016.03.31	PLANNING COMMENT RESPONSE
2016.05.31	ARCHIVE PRESERVATION BOARD REC.
NEW ENLARGED SITE PLANS	
Date	2015.09.25
Scale	NA
Drawn	
As	1339-6
Sheet	

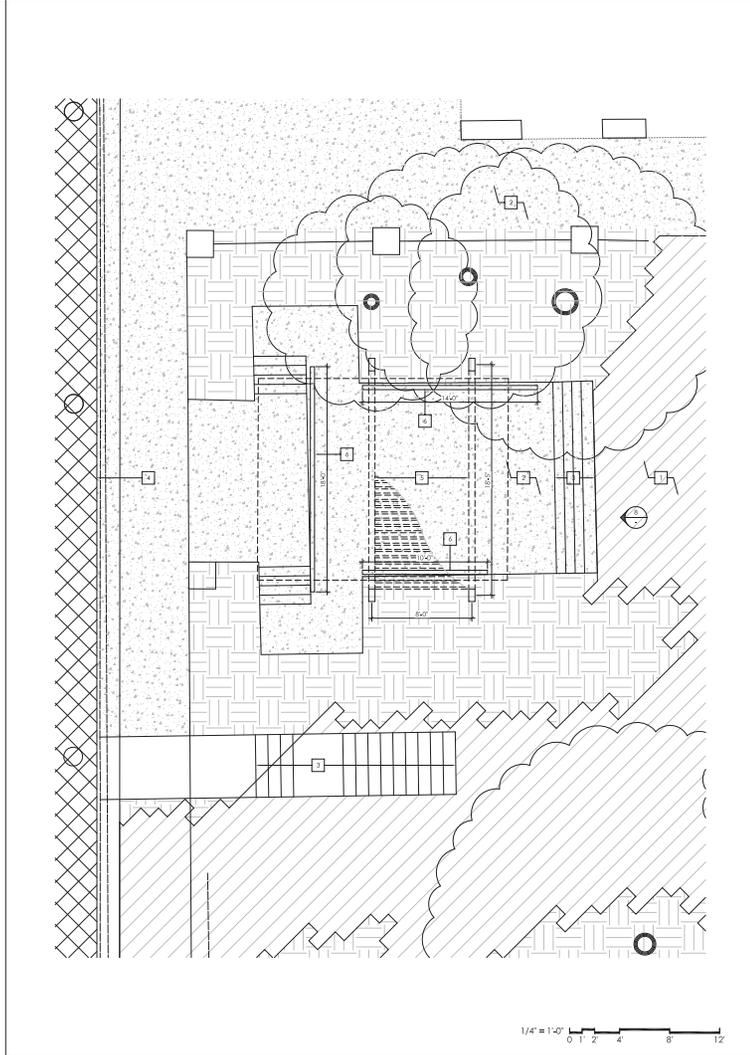
A2.1

PLANNING SUBMITAL

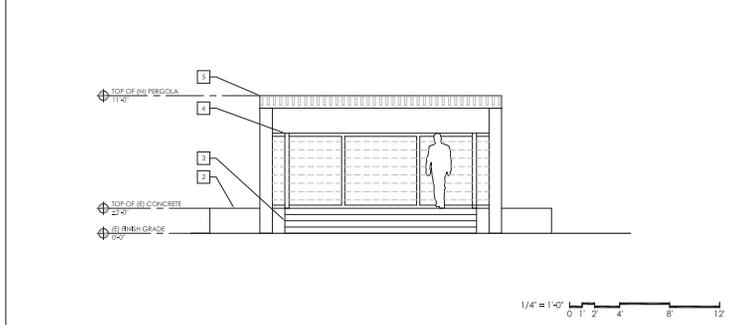
P:\13\13042 The Cannery - Corralville\13042 Exterior Improvements\A-Corralville\13-09-25.dwg

SCALE: N.T.S.

NOT USED 16



SCALE: 1/4" = 1'-0" ENLARGED PLAZA PERGOLA 7



SCALE: 1/4" = 1'-0" PLAZA PERGOLA FRONT ELEVATION 8

- ### KEY NOTES
- 1 (H) STRETCHER LARGE SCALE NARROW MODULAR PAVES, CONCRETE, 6"x6"x1/2" OR APPROVED EQUAL THROUGHOUT SITE
 - 2 (E) CONCRETE PAVING TO REMAIN
 - 3 (E) STAIRS TO REMAIN
 - 4 (E) PAVING STRUCTURE TO REMAIN
 - 5 (H) REDWOOD PERGOLA ABOVE
 - 6 (H) REDWOOD AND METAL PRIVACY SCREENS

- ### LEGEND
- REPAIRING STRETCHER 6"x6" CONCRETE PAVES: MAX. 5% SLOPE, 2% CROSS-SLOPE, 1/4" VERTICAL ELEVATION CHANGE, AND 4" WIDE PATH ALONG ACCESSIBLE PATH OF TRAVEL. AREA OF (H) EXTERIOR PAVING TO BE 5:85 S.F. MAX.
 - AREA OF (H) LANDSCAPE, (E) TREES TO REMAIN
 - FOOTPRINT OF (E) BUILDINGS WITHIN AREA OF WORK, NO CHANGE TO FOOTPRINT. SEE ELEVATIONS FOR FACEWORK.
 - (E) CONCRETE PAVING TO REMAIN

- ### GENERAL NOTES
1. REMOVE BRICK PLANTERS THROUGHOUT SITE AND SALVAGE BRICKS FOR REUSE
 2. PROVIDE (H) LANDSCAPING THROUGHOUT SITE
 3. REMOVE (E) PAINT FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED. REPLACE DAMAGED WOOD STRUCTURE.
 4. REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
 5. REMOVE (E) OTHER FINISHES OVER BRICKS THROUGHOUT SITE.



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Written dimensions on the drawing shall have precedence over any scaled dimension. Do not scale the drawing for accurate dimensions, and make reference of any discrepancies.



**THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS**
300 ORCHARD CITY DRIVE
CAMPBELL CA, 95008

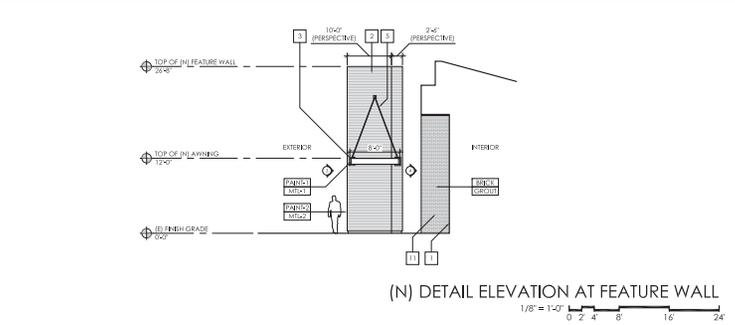
ISSUE	
2016.02.24	PLANNING SUBMITTAL
2016.03.31	PLANNING COMMENT RESPONSE
2016.03.31	HABITEC PRESERVATION BOARD REC.

NEW ENLARGED SITE PLANS

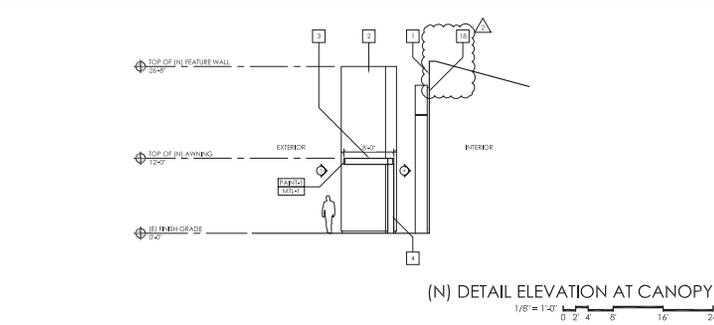
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Sheet	

A2.2

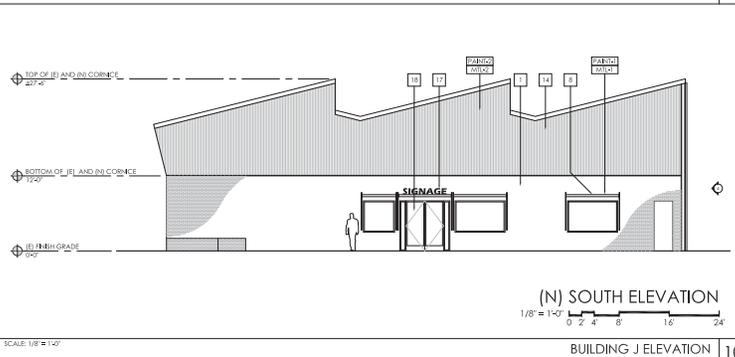
PLANNING SUBMITTAL



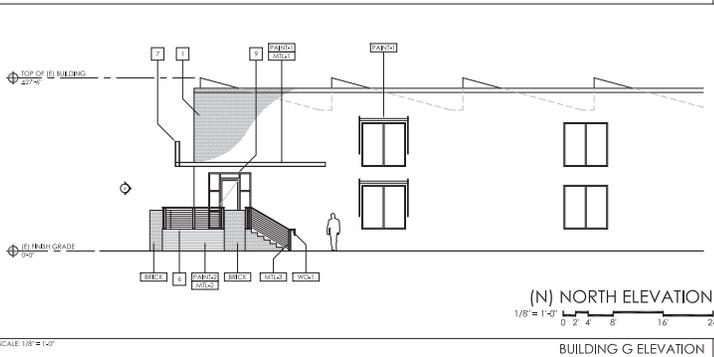
(N) DETAIL ELEVATION AT FEATURE WALL
SCALE: 1/8" = 1'-0"
BUILDING J ELEVATION 9



(N) DETAIL ELEVATION AT CANOPY
SCALE: 1/8" = 1'-0"
BUILDING J ELEVATION 5



(N) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
BUILDING J ELEVATION 10

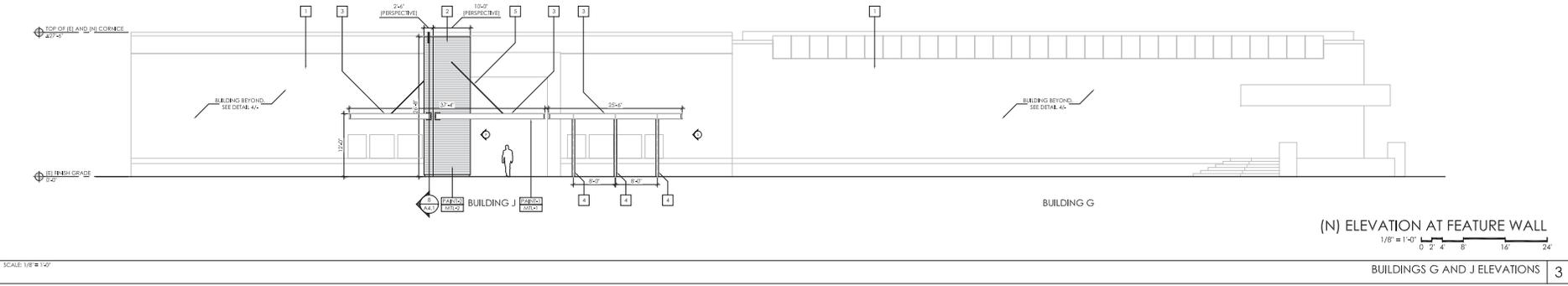


(N) NORTH ELEVATION
SCALE: 1/8" = 1'-0"
BUILDING G ELEVATION 6

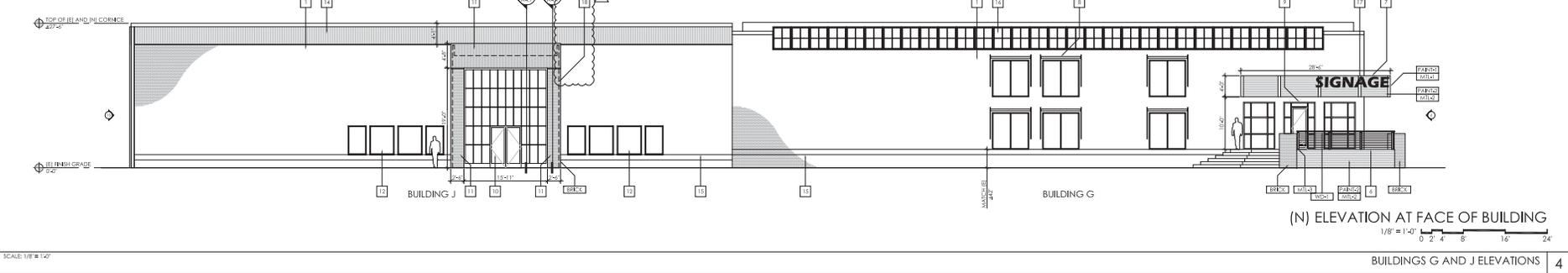
- ### KEY NOTES
- (E) BUILDING; (E) BRICK TO REMAIN
 - (N) BRICK ACCENT WALL FEATURE WALL. MINIMUM 1050#B STEEL FRAME. FINISH WITH CORRUGATED METAL. INCLUDE NUMBERS 300" AS SHOWN IN RENDERINGS. INCLUDE LIGHTING. WALL 24" TALL x 104" WIDE x 2'-0" DEEP. SEE B4.
 - (N) STEEL CANOPY. FRAME WITH WIDE FLANGES AND CHANNELS. FILL WITH STEEL SLATS
 - (N) STEEL WIDE FLANGES COLLARS
 - (N) STRUCTURAL CABLES
 - (N) HANDRAIL AND FINISH AT (E) PAIR
 - (N) AWNING AT LOCATION OF (E) AWNING. REUSE (E) FRAMING IF POSSIBLE. FRAME (N) AWNING WITH WIDE FLANGES AND CHANNELS. FINISH WITH CORRUGATED METAL.
 - (N) AWNINGS AND WINDOWS. TOP AND PAINT (E) WHITE WINDOW FRAMES BLACK, TOP.
 - (N) INDUSTRIAL SASHSTYLE STOREFRONT (E) OPENINGS
 - ENLARGE (E) OPENING AND FILL WITH (N) INDUSTRIAL SASHSTYLE STOREFRONT
 - (N) FRAME AROUND OPENING. FINISH WITH BRICK RECYCLED FROM ELSEWHERE IN PROJECT
 - (E) WINDOWS TO REMAIN
 - NOT USED
 - CORRUGATED METAL CORNICE
 - (N) BRICK BAND AT HEIGHT OF (E) STUCCO BAND. REUSE BRICK RECYCLED FROM ELSEWHERE IN PROJECT
 - (N) INDUSTRIAL SASHSTYLE WINDOWS IN (E) CLERESTORY WINDOW OPENINGS.
 - (N) SIGNAGE FOR FUTURE MASTER SIGN PROGRAM SUBMITAL

- ### FINISH LEGEND
- (P) (N) EXTERIOR PAINT. DUNNEDWARDS. DE 6370 CHARCOAL SAUSAGE. MATTE
 - (P) (N) EXTERIOR PAINT. DUNNEDWARDS. DE 6366 SILVER SPOON. GLOSS
 - (P) (N) EXTERIOR PAINT. DUNNEDWARDS. DE 6367 COVERED IN PLATINUM. MATTE
 - (M) (N) GALVANNEED AND PAINTED STEEL STRUCTURAL MEMBERS
 - (M) (N) CORRUGATED METAL
 - (M) (N) METAL GUARDRAIL HARDWARE. ADALCO. PAREASY
 - (B) (N) BRICK RECYCLED FROM QUALIFIER WORK IN PROJECT. IF ADDITIONAL (N) BRICKS ARE NEEDED, (N) BRICKS SHALL HAVE SIMILAR COLOR AND WEATHERING TO (E) BRICKS.
 - (G) (N) GROUT. MANUFACTURER T.B.D., COLOR T.B.D.
 - (W) (N) WOOD GUARDRAILS AND HANDRAILS. SPECIES T.B.D., STAIN WITH WEATHERWOOD SALVAGE
 - (W) (N) WEATHERWOOD SALVAGE STAIN (N) OR (N) OR (E) HEAVY WOOD FINISHING. SPECIES T.B.D.
 - (W) (N) REMOVE ANY (E) PAINT PRIOR TO STAINING.

- ### GENERAL NOTES
- REMOVE BRICK PLANTERS THROUGHOUT SITE AND SALVAGE BRICKS FOR REUSE
 - REMOVE (E) UNDESIRABLE TREES THROUGHOUT SITE. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED. CHANGED WOOD STRUCTURE
 - REMOVE (E) PAINT FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED. REPLACE CHANGED WOOD STRUCTURE
 - REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
 - REMOVE (E) GREEN AWNINGS OVER WINDOWS THROUGHOUT SITE
 - REMOVE AND REPLACE (E) EXTERIOR SIGNAGE UNLESS OTHERWISE NOTED.
 - REMOVE AND REPLACE (E) EXTERIOR LIGHTING UNLESS OTHERWISE NOTED.



(N) ELEVATION AT FEATURE WALL
SCALE: 1/8" = 1'-0"
BUILDINGS G AND J ELEVATIONS 3



(N) ELEVATION AT FACE OF BUILDING
SCALE: 1/8" = 1'-0"
BUILDINGS G AND J ELEVATIONS 4



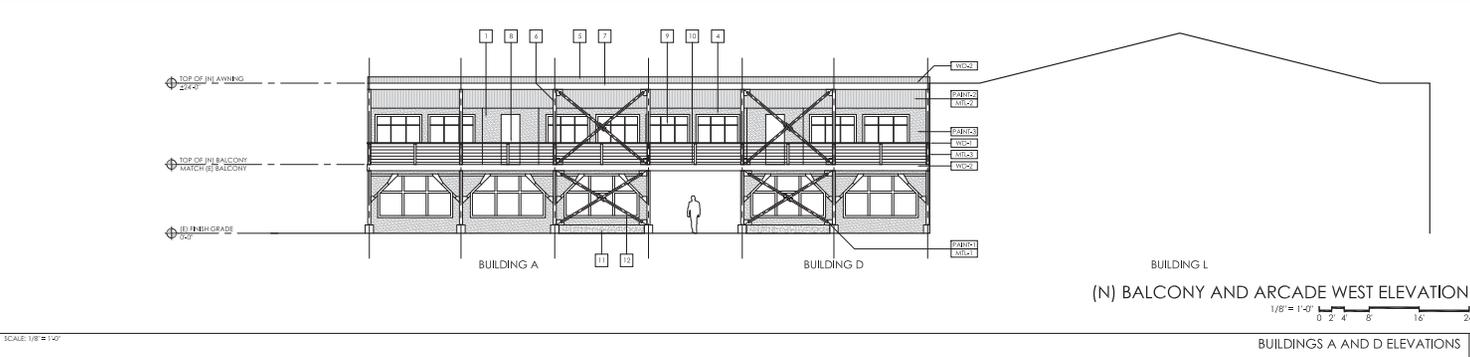
DATE	ISSUE
2014.02.24	PLANNING SUBMITTAL
2014.05.31	PLANNING COMMENT RESPONSE
2014.05.31	ARCHITECTURAL PRESERVATION BOARD REC.

PROPOSED ELEVATIONS BUILDINGS A, D, AND F

Date: 2015.09.25
 Scale: AS NOTED
 Draw: 1339-6
 Job: 1339-6
 Sheet:

A3.3

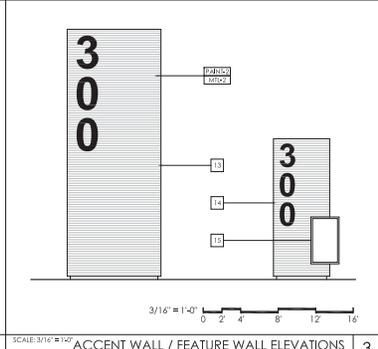
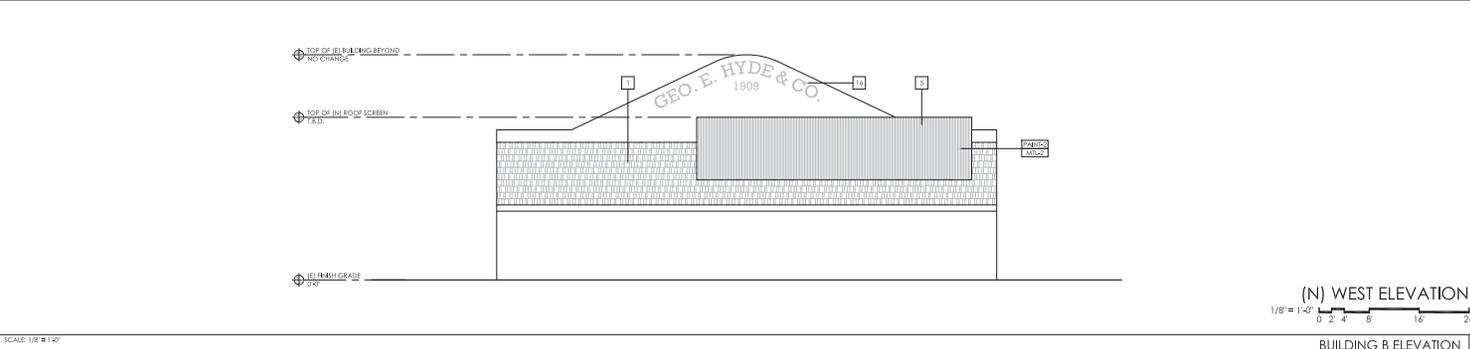
PLANNING SUBMITTAL



- ### KEY NOTES
- (E) BUILDING TO REMAIN
 - (N) FINISH OVER (E) BUILDING ENTRY FRAME WITH STEEL CHANNELS, FILL WITH SLATS, SUSPEND FREE END FROM BUILDING WITH CABLES, AND PROVIDE STORAGE FOR FUTURE MASTER SIGN PROGRAM.
 - (N) GUARDRAILS, HANDRAILS AND FINISH AT (E) RAMP, STAIRS, AND LANDINGS, GUARDRAIL TO BE METAL POSTS, WOOD TOP RAIL, AND STEEL CABLE.
 - PAIN (E) WHITE WINDOW FRAMES WITH 29101 TYP.
 - (N) CORRUGATED METAL ROOF SCREEN.
 - (E) WOOD FRAMING WITH (N) STEEL REINFORCEMENT PER STRUCTURAL DRAWINGS, REPLACE UNSOUND WOOD MEMBERS AS REQUIRED BY STRUCTURAL ENGINEER.
 - (N) WOOD SHADE PERGOLA ABOVE (E) BALCONY.
 - (N) GUARDRAIL, GUARDRAIL TO BE METAL POSTS, WOOD TOP RAIL, AND STEEL CABLE.
 - (N) INDUSTRIAL SASHETTE STOREFRONT IN (E) OPENINGS.
 - (N) FINISH ON (E) FLOOR OF BALCONY.
 - (N) CONCRETE TIE BEAM DOWNLOED TO (E) FOOTINGS, SEE STRUCTURAL DRAWINGS.
 - (N) HSR4444 DIAGONAL BRACES, SEE STRUCTURAL DRAWINGS.
 - (N) ENTRY ACCENT WALL / FEATURE WALL, MINIMUM HSR446 STEEL FRAME, FINISH WITH CORRUGATED STEEL, INCLUDE NUMBERS '300' AS SHOWN IN RENDERINGS, INCLUDE LIGHTING, WALL 26'-0" TALL X 10'-0" WIDE X 2'-0" DEEP.
 - (N) DIRECTORY WALL, MINIMUM HSR446 STEEL FRAME, FINISH WITH CORRUGATED STEEL, INCLUDE NUMBERS '300' AS SHOWN, INCLUDE LIGHTING, WALL 12'-0" TALL X 6'-0" WIDE X 4'-0" DEEP.
 - (N) DIRECTORY, COORDINATE WITH BRANDING CONSULTANT
 - (E) HISTORIC 'GEO. E. HYDE & CO.' SIGN PAINTED ON (E) BRICK TO REMAIN



- ### GENERAL NOTES
- REMOVE BRICK PLANTERS THROUGHOUT SITE AND SALVAGE BRICKS FOR REUSE
 - PROVIDE DRILLING AND FINISH THROUGHOUT SITE, ALL TREES TO REMAIN UNLESS OTHERWISE NOTED.
 - REMOVE (E) PAINT FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED, REPLACE DAMAGED WOOD STRUCTURE.
 - REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
 - REMOVE (E) GREEN AWNINGS OVER WINDOWS THROUGHOUT SITE.
 - REMOVE AND REPLACE (E) EXTERIOR SIGNAGE UNLESS OTHERWISE NOTED.
 - REMOVE AND REPLACE (E) EXTERIOR LIGHTING UNLESS OTHERWISE NOTED.



SCALE: 1/8" = 1'-0"	BUILDING B ELEVATION	7	SCALE: 3/16" = 1'-0"	ACCENT WALL / FEATURE WALL ELEVATIONS	3
SCALE: 1/8" = 1'-0"					4



**THE CANNERY AT WATER TOWER PLAZA
EXTERIOR IMPROVEMENTS**
300 ORCHARD CITY DRIVE
CAMPBELL CA., 95008

ISSUE	
2016.02.24	PLANNING SUBMITTAL
2016.05.31	PLANNING COMMENT RESPONSE
2016.05.31	HISTORIC PRESERVATION BOARD REC.

SCHEMATIC PROPOSED SECTIONS
BUILDING J

Date: 2015.09.25
Scale: AS NOTED
Draw: 1339-6
Sheet:

A4.1

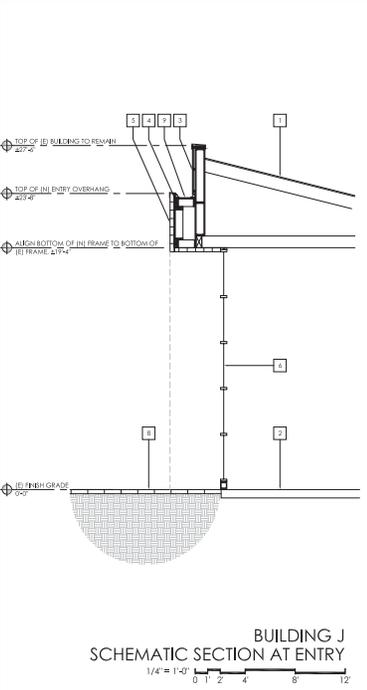
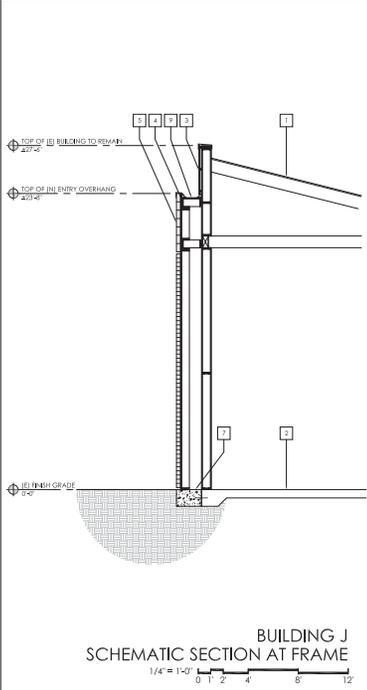
PLANNING SUBMITTAL

KEY NOTES

- 1 (E) WOODFRAMED BUILDING TO REMAIN
- 2 (E) CONCRETE FOUNDATIONS TO REMAIN
- 3 (N) CORRUGATED METAL CORNICE ON (E) PARAPET
- 4 (N) WOOD OR METAL FRAMED ENTRY OVERHAND, SEE STRUCTURAL DRAWINGS
- 5 FINISH SURFACE TO BE BRICK REUSED FROM ELSEWHERE IN PROJECT
- 6 (N) INDUSTRIAL DASHSTYLE STOREFRONT
- 7 (N) FOUNDATION, DOWEL INTO (E) FOUNDATION, SEE STRUCTURAL DRAWINGS
- 8 (N) LINEAR CONCRETE PAVERS
- 9 (N) BUILDUP ROOF AND DRAIN BEHIND (N) BRICK
- 10 (E) GREASE TRAP, FILL WITH GRAVEL TO 100% COMPACTION AND ABANDON IN PLACE
- 11 (N) MINIMUM #5644 STEEL FRAME, SEE STRUCTURAL DRAWINGS
- 12 (N) CORRUGATED METAL FINISH ON STANDOFFS, INCLUDE NUMBERS "300" WITH LIGHTING
- 13 (N) CANOPY FRAME, SEE STRUCTURAL DRAWINGS
- 14 (N) CONCRETE FOOTING, SEE STRUCTURAL DRAWINGS

GENERAL NOTES

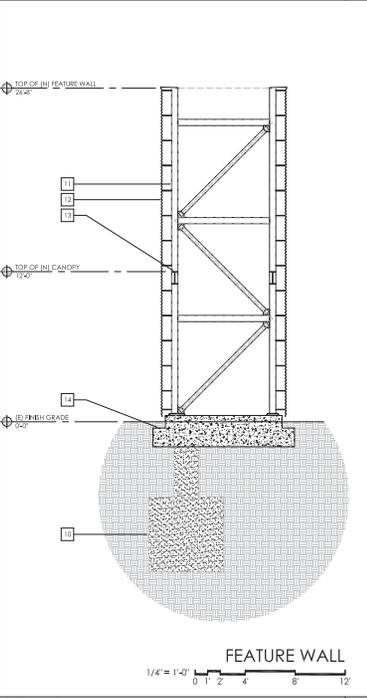
1. REMOVE BRICK PLANTERS THROUGHOUT SITE UNLESS OTHERWISE NOTED; SALVAGE BRICKS FOR REUSE.
2. PROVIDE ON-LANDSCAPING THROUGHOUT SITE. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED.
3. REMOVE (E) PAINT FROM EXPOSED EXTERIOR WOOD STRUCTURE UNLESS OTHERWISE NOTED. REPLACE DAMAGED WOOD STRUCTURE.
4. REMOVE (E) EXTERIOR STUCCO THAT COVERS BRICK UNLESS OTHERWISE NOTED.
5. REMOVE (E) GREEN AWNING OVER WINDOWS THROUGHOUT SITE.
6. REMOVE AND REPLACE (E) EXTERIOR SIGNAGE UNLESS OTHERWISE NOTED.



SCALE: N.E.S. NOT USED 14

SCALE: 1/4" = 1'-0" BUILDING J ENTRY SECTION 10

SCALE: 1/4" = 1'-0" BUILDING J ENTRY SECTION 6



SCALE: N.E.S. NOT USED 16

SCALE: N.E.S. NOT USED 12

SCALE: 1/4" = 1'-0" SCHEMATIC FEATURE WALL SECTION 8

SCALE: N.E.S. NOT USED 4

THE CANNERY

AT 300 ORCHARD

SITE & BUILDING IMPROVEMENTS



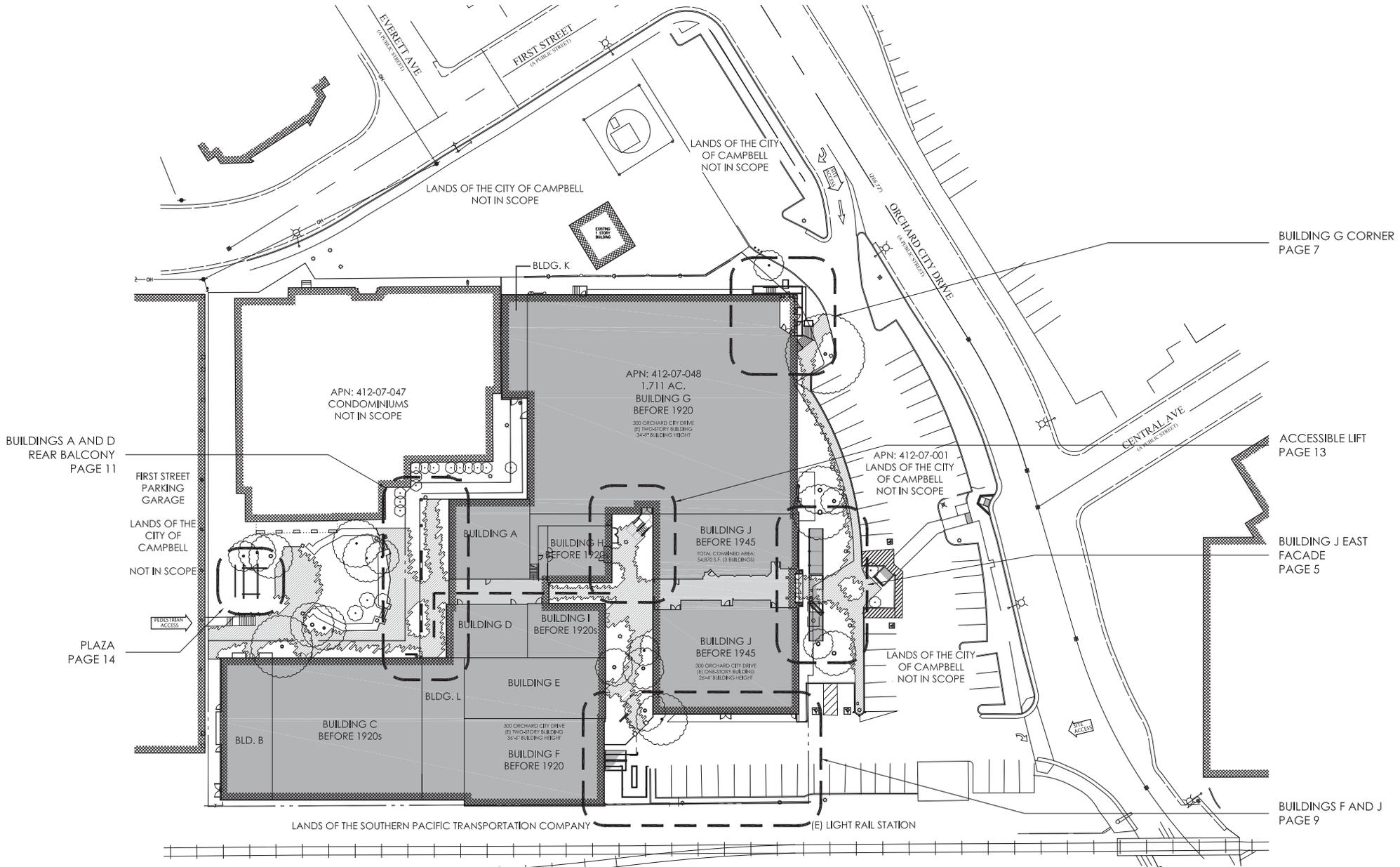
A PLANNING SUBMITTAL FOR:
THE CANNERY AT WATER TOWER PLAZA
SITE AND BUILDING EXTERIOR IMPROVEMENTS
300 ORCHARD CITY DRIVE
(FORMERLY 93 CENTRAL AVENUE)
CAMPBELL, CALIFORNIA 95008

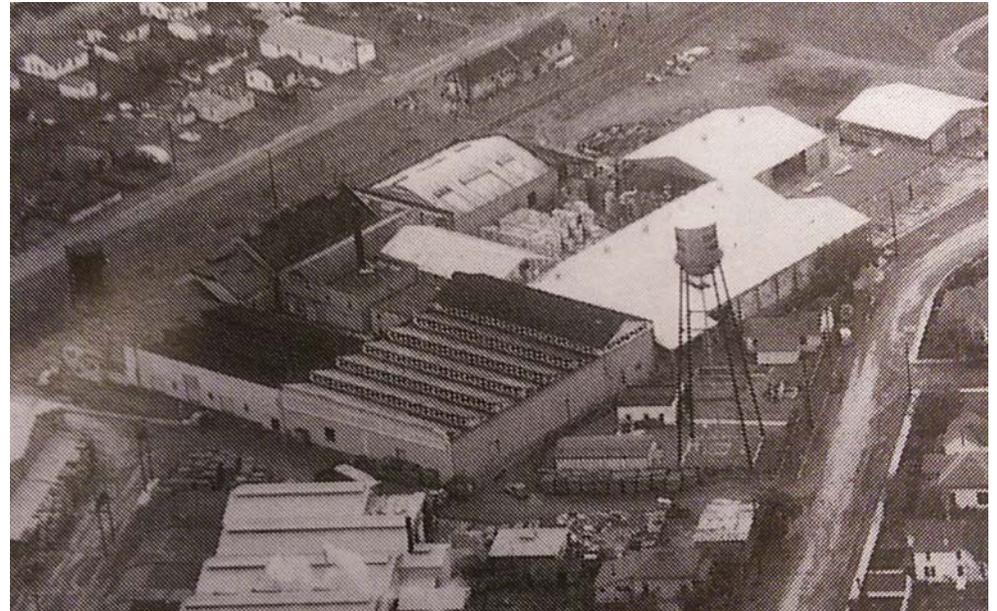
Our proposal for The Cannery, currently known as Water Tower Plaza, is not a historical restoration, but rather a contemporary update of this historical resource, with sensitivity to the memorable elements of the past and the future, and attracts new tenants looking for an atmosphere with more character than many modern buildings offer. We believe that a rejuvenation to elevate The Cannery to a competitive, high-quality, and business-oriented office center is consistent with the City of Campbell's objectives for the downtown core, and with the direction of today's economy.

This project has operated under many names and for many purposes, including the Campbell Fruit Growers' Union, the George E. Hyde Company, the California Prune and Apricot Growers' Association, The Factory, and Water Tower Plaza. Of these historic periods, the George E. Hyde Company and Water Tower Plaza are the most visible today. Most of the existing buildings were constructed during the Hyde era, and the current landscape, window treatments, and paint colors date to the Water Tower Plaza remodel of the 1980s.

As will be shown on the following pages, our proposal is to remove many of the non-historic elements added during the Water Tower Plaza era, restore iconic Hyde-era architectural features where feasible, and introduce new architectural features that respect the site's industrial past to create an attractive office center. New flexible amenities also offer a prosperous and innovative atmosphere which invites and accommodates today's workforce.

We selected the George E. Hyde and Company era as our inspirational platform because this period echoes the same progressiveness, vibrancy, and prosperity that we seek to return to the Cannery, characteristics needed in a competitive office center. George Hyde's cannery is a defining piece of Campbell's architecture and history, and we believe that our improvements will continue that legacy as the Cannery enters its second century.





TOP-LEFT: BUILDINGS G AND J EAST FACADE

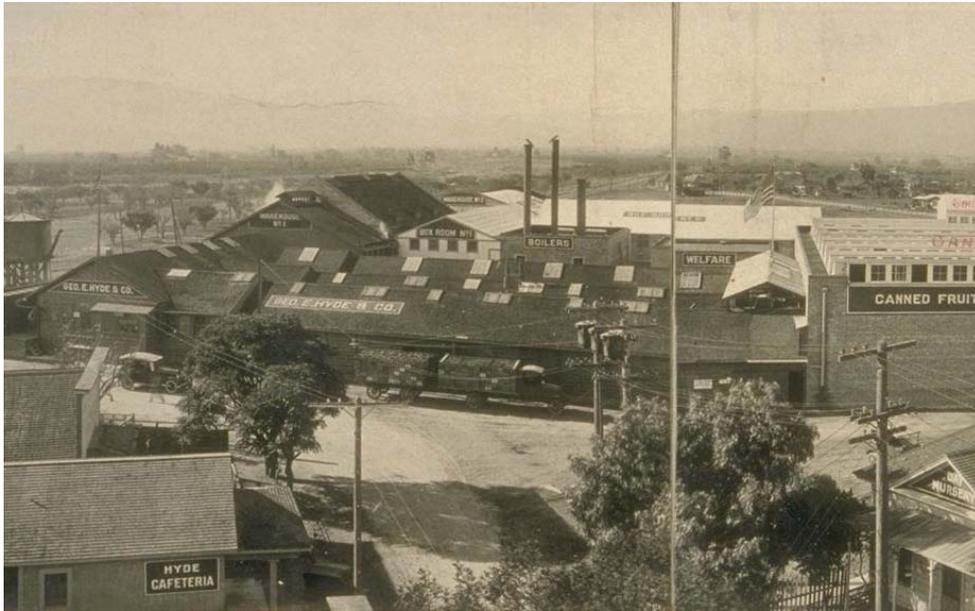
- From the August 1921 edition of the magazine *Canning Age*
- Building G (brick building at right)
- Original structure that was later replaced with Building J (wood building at left)

TOP-RIGHT: AERIAL FROM NORTH

- Aerial photo taken in 1945, showing all cannery buildings that exist in the present day
- Condominiums, parking structure, and parking lot not yet built
- Redwood trees not yet planted
- Additional buildings south of Building J and east of Building F (left side of this photo) no longer exist

BOTTOM-LEFT: BUILDINGS G AND J EAST FACADE

- Photo taken after the mid-1970s remodel and before the mid-1980s remodel
- Building J has wood siding (at left)
- Building G original clerestory windows still open (at right)



BUILDING J EAST FACADE

TOP-LEFT: Photo from between 1909 and 1931

- Building J not original Hyde building
- Original buildings replaced by 1945

TOP-RIGHT: Current photo

- Work from 1980s remodel will be removed, including:
 - Green fabric awnings
 - Stucco bands
 - Arched entry
- Historic plaque in front of building J will be relocated to the building facade

BOTTOM-LEFT: Proposed rendering

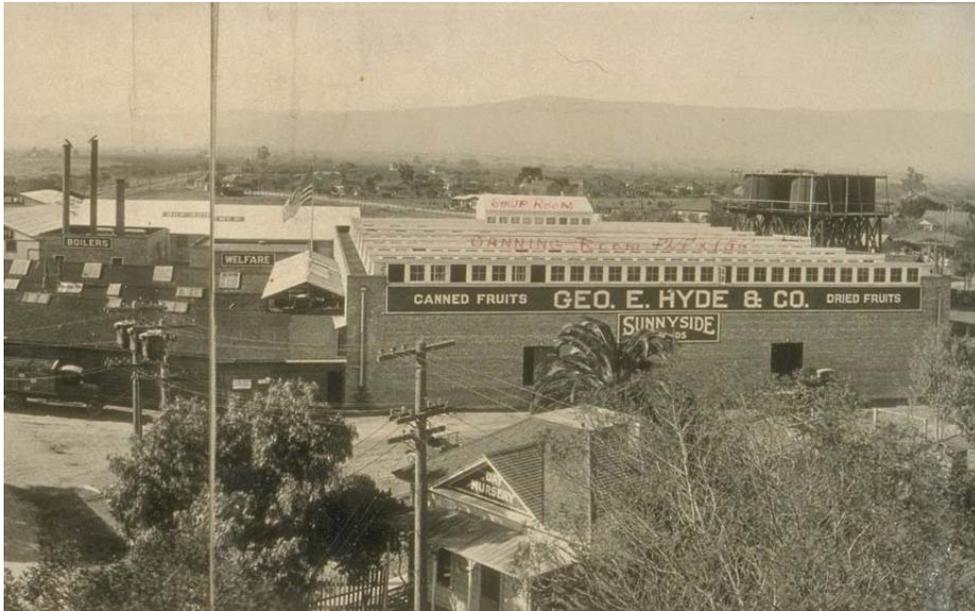
- Enlarged opening to breezeway with new industrial sash-style windows and brick frame
- Corrugated metal feature wall, light gray
- Corrugated metal cornice, dark gray
- Structural steel awnings, dark gray

LANDSCAPE

- Redwoods and other trees will remain
- Landscape replaced with drought-tolerant vegetation
- Hardscape replaced with linear concrete pavers



BUILDING J EAST FACADE AT NIGHT



BUILDING G CORNER

TOP-LEFT: Photo from between 1909 and 1931

- Building G is an original Hyde building from before 1920
- Original clerestory windows still exist, but are hidden behind a stucco band

TOP-RIGHT: Current photo

- Work from 1980s remodel will be removed, including:
 - Green fabric awnings
 - Stucco bands
- Clerestory windows will be re-opened
- Corner entry will remain with modifications

BOTTOM-LEFT: Proposed rendering

- Corrugated metal awning, light gray
- Industrial sash-style windows
- Patio corner squared off with new guardrails
- Signage is placeholder and will be designed by signage consultant

LANDSCAPE

- Redwoods and other trees will remain
- Landscape replaced with drought-tolerant vegetation
- Hardscape replaced with linear concrete pavers







BUILDINGS F AND J

TOP-LEFT: Photo from between 1909 and 1931

- Building F (background, with "HYDE & CO." sign) is an original Hyde Cannery structure
- Other buildings have since been demolished and replaced with Building J and a parking lot
- Freight cars are stopped on the train tracks now used by the VTA

TOP-RIGHT: Current photo

- Work from 1980s remodel will be removed, including:
 - Green fabric awnings
 - Guardrails
 - Stucco bands
 - Brick planters

BOTTOM-LEFT: Proposed rendering

- Steel awnings
- Signage is placeholder and will be designed by signage consultant
- Corrugated metal cornice, dark gray
- VTA station is not in scope and not shown

LANDSCAPE

- Redwoods and other trees will remain
- Landscape replaced with drought-tolerant vegetation
- Fence between buildings F and J updated
- Guardrails at building F ramp and stairs updated







BUILDINGS A, D, AND L REAR BALCONY AND ARCADE

Please see aerial photos on previous pages for historic imagery of Buildings A, D, and L. These three buildings were most likely built prior to 1920.

TOP-LEFT: Original wood structure with paint removed

TOP-RIGHT: Current photo

- Work from 1980s remodel will be removed, including:
- Green fabric awnings
- Paint over original wood structure
- Balcony guardrail will be removed and replaced
- Brick planters adjacent to buildings



BOTTOM-LEFT: Proposed rendering

- Corrugated metal on buildings A and D roof screen and on building L facade
- Industrial sash-style windows
- Existing wood-framed balcony will be seismically upgraded with steel per structural drawings
- Balcony will receive new guardrails and shade pergola

LANDSCAPE

- Redwoods and other city-protected trees will remain
- Two olive trees that drop fruit on accessible paths will be removed
- Landscape replaced with drought-tolerant vegetation
- Hardscape replaced with linear concrete pavers





ACCESSIBLE LIFT

LEFT: Current photo

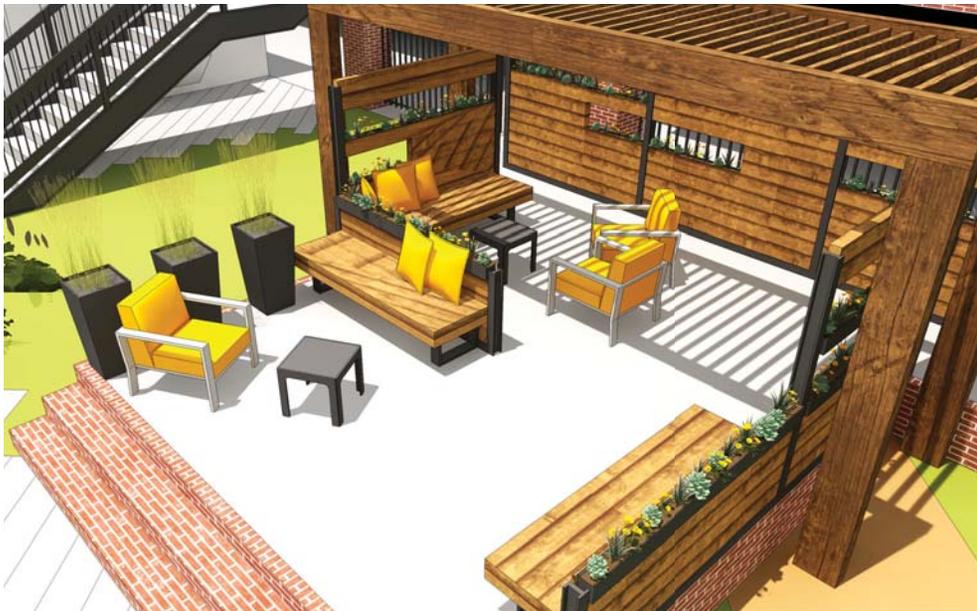
- Work from 1980s remodel will be removed, including:
- Green fabric awnings
- Brick planters
- Non-ADA-compliant ramp

TOP-RIGHT: Proposed rendering

- Stairs, landing, and guardrails
- ADA-compliant lift

LANDSCAPE

- Redwoods and other city-protected trees will remain
- Landscape replaced with drought-tolerant vegetation
- Hardscape replaced with linear concrete pavers
- Light fixtures relocated as required to provide accessible path of travel



PLAZA

TOP-LEFT: Current photo

- Work from 1980s remodel will be removed, including:
- Green fabric awnings

BOTTOM-LEFT: Proposed rendering

- New wood shade pergola and screen walls
- New outdoor furniture

LANDSCAPE

- Redwoods and other city-protected trees will remain
- Landscape replaced with drought-tolerant vegetation
- Hardscape replaced with linear concrete pavers
- Central brick terrace, planters, and grass will remain



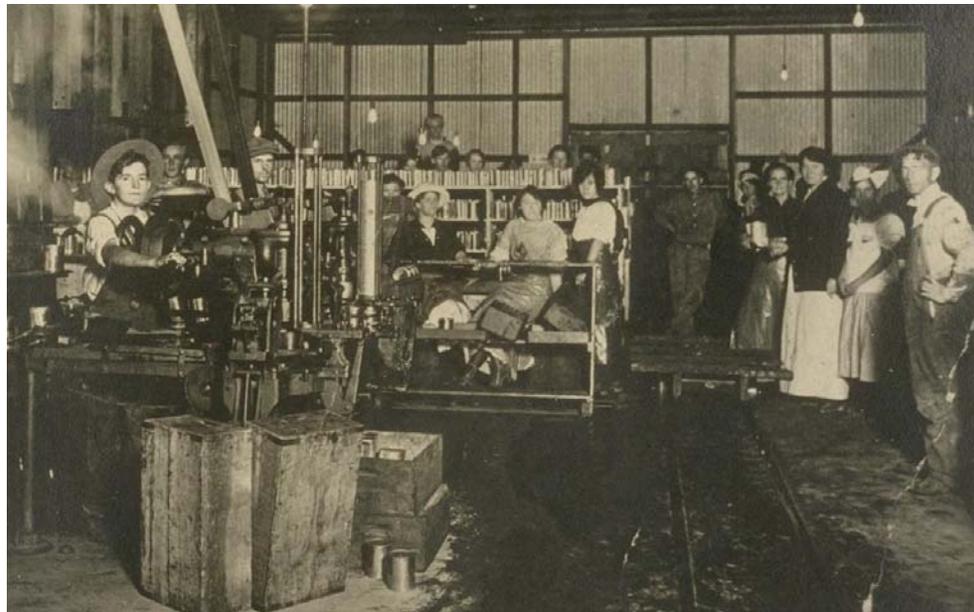
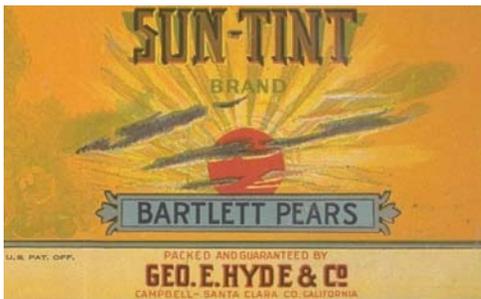
OVERALL FRONT ELEVATION ALONG ORCHARD CITY DRIVE
Street trees not shown for clarity but will remain



CHARACTER INSPIRATION IMAGES

Left-to-right, top-to bottom:

- Linear pavers and shrubs in New York's High Line park
- New signage painted on the historic Edward McGovern Tobacco Warehouse
- Corrugated metal, brick, and industrial sash windows
- Modern landscaping, brick, and industrial sash windows
- Steel cable guardrails



HYDE CANNERY IMAGES

Left-to-right, top-to bottom:

- Sign painted on Building C
- Photo dated 1920, Building G interior
- Peach and pear can labels
- Photo dated 1915, corrugated metal wall in background



DE 6370 Charcoal Smudge



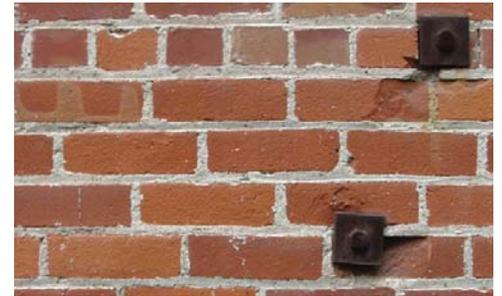
DE6366 Silver Spoon



DE5118 BBQ



SW 7007 Ceiling Bright White



Sanded red cedar stained with Weatherwood



Rough red cedar stained with Weatherwood

MATERIAL PALETTE

Left-to-right, top-to bottom:

- Paint swatches
- Corrugated metal, timber, and brick currently on site
- Corrugated metal and painted structural steel
- Brick currently on site
- Corrugated metal currently on site
- Painted structural steel
- Stained wood guardrails



CITY OF CAMPBELL · HISTORIC PRESERVATION BOARD
Staff Report · MAY 25, 2016

PLN2016-73 Colton, B. Application of Mr. Brice Colton, on behalf of Habitec Architecture, and Design for a Modification (PLN2016-73) to previously approved Planned Development Permits (PD84-02, PD84-05, PD90-01 and M92-11) to allow the exterior remodel of an existing building that is listed on the City's Historic Resource Inventory (George Hyde Co. / Sunsweet Growers) as well as associated on-site and off-site improvements and a Tree Removal Permit (PLN2016-154) to allow the removal of protected tree(s) on property located at **300 & 307 Orchard City Drive** (previously 93 S. Central Avenue) in the P-D (Planned Development) Zoning District.

STAFF RECOMMENDATION

That the Historic Preservation Board take the following action:

1. **Adopt a Resolution**, incorporating the attached findings, recommending that the Planning Commission recommend approval of a Modification (PLN2016-73) to previously approved Planned Development Permits (PD84-02, PD84-05, PD90-01 and M92-11) to allow the exterior remodel of an existing building that is listed on the City's Historic Resource Inventory (George Hyde Co. Sunsweet Growers) as well as associated on-site and off-site improvements and a Tree Removal Permit (PLN2016-154) to allow the removal of protected tree(s).

DISCUSSION

Project Location & Addressing: The project site is the Water Tower Plaza and portions of City parking lots and right-of-way located at and along south side of Orchard City drive, west of Railway Avenue, and east of S. First Street (reference **Attachment 3**, Location Map). The Water Tower Plaza, which includes the George E. Hyde Company/Sunsweet Growers building (reference **Attachment 4** – Primary Record), is listed as a significant historic resource on the Santa Clara County Heritage Resource Inventory and the City of Campbell Historic Resources Inventory. Over the years, the site (which includes the City parking lot) has been attributed to various addresses (including 93 N. Central Avenue), but is recognized as 300 & 307 Orchard City Drive. It should be noted that 307 Orchard City Drive, has also been attributed to the office development located at 46 N. Central Avenue to the north (containing the Farmers Union Packing House / Sunsweet Plant #1), which is not associated with this project.

Project Proposal: The applicant is seeking approval of a Modification (PLN2016-73) to allow exterior façade and site upgrades to the Water Tower Plaza. The proposal is intended to renovate the site with 'particular sensitivity to the early eras of the Campbell Fruit Growers Union and the George E. Hyde Company' (1892-1937). The proposal would remove non-historic elements of

the building and site¹, reconfigure entrances, and improve accessibility. A more detailed/bulleted scope of work has been included on page 2 of the applicant's design consultation memo (reference **Attachment 6** – Applicant's Consultant Memo - Page & Turnbull). The applicant is also requesting approval of a tree removal permit, for the removal of two olive trees which occur near the outdoor open space to the rear/southwest of Building A & D (reference **Attachment 5** – Project Plans; Sheet A1.0, Detail 12)

This proposal has no use related component, nor would it serve to supersede or modify any previously established operational restriction.

ANALYSIS

The purpose of the Historic Preservation Board review is to provide direction to the applicant and staff regarding whether or not the project, as proposed, is in compliance with the Historic Preservation Ordinance.

Environmental Review: Staff is currently evaluating the impact the proposed changes could have on the historic resource through an environmental review process. The proposed conditions of approval would negate the necessity for a Mitigated Negative Declaration (MND), and could allow the preparation of a Negative Declaration (ND). The conditions of approval, already included for consideration, are intended to reduce environmental impacts to a less than significant level.

Historic Preservation Board Review Authority and Scope: The HPB has review authority over the proposed modification of historic structures to ensure that the project is in compliance with the Historic Preservation Ordinance. In addition, the HPB is responsible to consider whether or not the modifications are consistent with the Secretary of Interior Standards for the Treatment of Historic Properties.

To assist in this evaluation, the City contracted with Mark Sandoval, AIA, to review the project (reference **Attachment 7** – City Consulting Architect Review – Mark Sandoval) consistent with CMC Section 21.54.050.C. and prepare a brief analysis of the project's architecture and how it complies of the Secretary of the Interior's Standards for Rehabilitation. Discussions on these topics are provided in their applicable sections which follow.

Consulting Architect Review: The project was prepared by Habitec Architecture, and reviewed by Page & Turnbull, a historic preservation firm (hired by the applicant), as well as the City's Consulting Architect, Mark Sandoval (contracted by the City). The analysis provided by Mark Sandoval, takes into account the comments provided by Page and Turnbull and provides further analysis on points raised in their review, as well as feedback from his own review of the project.

In Mark Sandoval's report, the overall impression is very supportive, finding that proposed alterations are imaginative, reinforce the existing industrial narrative of the site's past, and should create an exciting and refreshing new look which adds to the vitality of the historic

¹ Removed features include green fabric awnings throughout the site, brick planters, an arched entry system at Building J, and a parapet which obscured original clerestory windows on Building G.

resource. However, Mark raises the following points for consideration by the City (responses to the report has been provided as **Attachment 8** – Applicant Responses to Consulting Architect Feedback, and paraphrased by staff in below).

1. *Construction details are too vague in areas, and lack important detail information on how the additions are to attach, interface, and be structurally supported. Selective demolition of localized areas in question could be performed to provide greater clarity on the limits and magnitude of construction work involved, and drive important decisions on what protective measures or monitoring of the project would be needed during the construction process.*

The applicant has provided enhanced details on the construction method and anticipated weight of proposed features (reference **Attachment 8**).

- The HPB should consider whether additional information should be provided. If additional information or investigative research is determined appropriate, the HPB should be prepared to articulate what research should (or could) be conducted. IF it is required, staff recommends that the Board consider requesting a continuance to a date uncertain to allow the applicant sufficient time to conduct the additional research/work (if applicable).

2. *The decision making body may want to explore adding a steel canopy, or alternative structure to provide shelter and identity to the entry between buildings H & J.*

The applicant is not intending to install an additional shelter in this area.

- The HPB should consider if the addition of a steel canopy, or similar shelter between buildings H&J is necessary or if it would present any concerns.

3. *The decision making body may want to request more details on the landscaping, privacy fence, pergola and lighting proposed in the plaza area.*

City standards would require that any new lighting be adequately down shielded to avoid obnoxious light or glare from impacting residents of the condominium units. New landscaping over 500 sq. ft. in area will be required to comply with the City's Water Efficient Landscaping Ordinance. Staff intends to request detailed drawings of these details, which typically occurs at time of Building Permit submittal.

4. *The decision making body may want to request the applicant to submit a comprehensive sign program to address the wide collection of various signs within the complex, and to establish standards for new signs. This would ultimately help add greater cohesion to the entire project to create a more unified and central design theme for the site.*

The project does not include a proposal for any signs at this time. A subsequent approval of a master sign program will be required for new tenant signs.

In consideration of the feedback provided by the City's Consulting Architect, the HPB may want to accept the project as an improvement or recommend their own changes or conditions for Planning Commission consideration.

Evaluation of the Secretary of Interior’s Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The project site was originally used as a packaging plant. Over the years, the use of the property has changed to include office uses (Famers Insurance, Charge Point, etc.), a restaurant (Komatsu Japanese Cuisine), and a bar (Khartoum). The operation of these facilities and the established use of the property would not be changed by the proposal.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The project seeks to retain the historic character of the property, and remove non-historic elements of the building and site. The removal of the two olive trees, which are located in an interior/rear courtyard of the site, would not diminish the historic character of the site.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed renovations would ‘rehabilitate historic architectural features where possible, and introduce new elements that respect the site’s industrial past’. Where new features have been introduced, the materials and architectural embellishments are clearly more contemporary (metal clad, corrugated metal cornices), which serve to differentiate the elements from the historic development.

- Staff recommends the HPB consider the design of the proposed sign, which staff and the consulting architect believe to be a positive addition to the property which pays homage to the industrial past without creating a false sense of history. While the sign mimics the painted white lettering of signs of this era (i.e. the George E. Hyde Co. sign located on the south side of Building C) the design incorporates more modern lettering, fonts, and design which serve to differentiate it from the historical development.
- Staff recommends the HPB consider requiring a historic plaque (reference **Attachment 9**) to be posted on the property which includes a brief accounting of the properties history, and provides photos which show the original building. This plaque would also help an onlooker differentiate what has been added to the building, from what was original.



4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The changes proposed to the property are intended to minimize impact to both the existing structures and features, and those which have been added over the years. Where existing features are proposed for removal, such as the green fabric awnings, stucco bands, and arched entry on Building J, these additions generally occurred in the 1980's, and are not considered to have a historical significance in their own right. Where design improvements are proposed to be added, such additions will not alter the historical significance of the buildings.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The applicant's proposal seeks to retain the existing building and preserve the distinctive materials (red brick) and finishes (exposed, unpainted brick) to the extent feasible. The applicant is proposing a seismic retrofit for portions of the building, which will reinforce the construction techniques of the building and help ensure the building is more stable in the event of an earthquake.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The applicant proposes to restore the clerestory windows which could have been considered a distinctive feature of the building. Where a historic feature is damaged, the applicant would propose to rehabilitate it. When rehabilitation is not an option, the applicant intends to match it in design, color, texture and material to the extent feasible.

- Staff recommends the HPB to review the draft Condition of Approval proposed by staff to establish guidelines for the contractor/applicant to stop work, and submit revised plans to the Community Development Department for either referral back to the HPB or decision by the Community Development Director, in the event that damage to the building (rot/decay) is discovered which requires work outside of the approved project.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The applicant is not proposing to use any chemical or physical treatment (sanding, scraping etc.) that could damage any historic material.

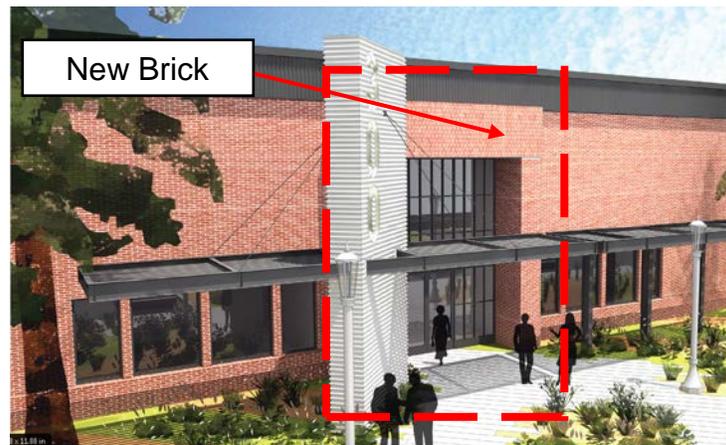
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

No archeological interests are known to exist with the subject property, nor is excavation proposed to such a degree that a resource (if one were to exist) would be disturbed.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, and proportion, and massing to protect the integrity of the property and its environment.

The proposed changes, as conditioned, would be compatible with the historical materials, size, scale, and proportion and massing of the property and its environment. The applicant has provided a statement which affirms that the weight and method new features would be affixed, would not endanger, or destroy, historic features. Where new additions are proposed, the materials and design is respectful of the properties past but does not seek to recreate it.

- Staff recommends the HPB to review the draft Condition of Approval proposed by staff which would require the new brick at the entrance of Building J be differentiated from the old brick of the building. Moreover, staff would request the HPB either strike the draft Condition of Approval or include enhanced language specifying in what manner the new brick should be differentiated (e.g. spacing, color, size).



- Staff recommends the HPB consider the comments raised by the City’s Consulting Architect and evaluate if additional details, or construction details or inspections should be conducted, and determine if the application should return to HPB to evaluate those details before a recommendation is made.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If any of the proposed features were constructed and removed in the future, the essential form and integrity of the property would be unimpaired. Where features are bolted, or affixed to the building, only minor wear and damage to the building would be anticipated to occur when removed and could readily be patched or repaired to a near original state.

DISCUSSION ITEMS

The following is a list of discussion items consider in review of this application:

- Does the project comply with the Secretary of Interior Standard and the City’s Historic Preservation Ordinance?
- Are staff’s recommended solutions provided to achieve compliance with all applicable regulations appropriate and/or desirable?
- Does the Board recommend additional modifications to the project or conditions of approval to achieve consistency with City regulations?

Additionally, the following list summarizes staff recommendations which were raised throughout the project analysis:

- The HPB should consider whether additional information should be provided. If additional information or investigative research is determined appropriate, the HPB should be prepared to articulate what research should (or could) be conducted. IF it is required, staff recommends that the Board consider requesting a continuance to a date uncertain to allow the applicant sufficient time to conduct the additional research/work (if applicable).
- The HPB should consider if the addition of a steel canopy, or similar shelter between buildings H&J is necessary or if it would present any concerns.
- Staff recommends the HPB consider the design of the proposed sign, which staff and the consulting architect believe to be a positive addition to the property which pays homage to the industrial past without creating a false sense of history. While the sign mimics the painted white lettering of signs of this era (i.e. the George E. Hyde Co. sign located on the south side of Building C) the design incorporates more modern lettering, fonts, and design which serve to differentiate it from the historical development.
- Staff recommends the HPB consider requiring a historic plaque (reference **Attachment 9**) to be posted on the property which includes a brief accounting of the properties history, and provides photos which show the original building. This plaque would also help an onlooker differentiate what has been added to the building, from what was original.
- Staff recommends the HPB to review the draft Condition of Approval proposed by staff to establish guidelines for the contractor/applicant to stop work, and submit revised plans to the Community Development Department for either referral back to the HPB or decision by the Community Development Director, in the event that damage to the building (rot/decay) is discovered which requires work outside of the approved project.
- Staff recommends the HPB to review the draft Condition of Approval proposed by staff which would require the new brick at the entrance of Building J be differentiated from the old brick of the building. Moreover, staff would request the HPB either strike the draft Condition of Approval or include enhanced language specifying in what manner the new brick should be differentiated (e.g. spacing, color, size).
- Staff recommends the HPB consider the comments raised by the City’s Consulting Architect and evaluate if additional details, or construction details or inspections

should be conducted, and determine if the application should return to HPB to evaluate those details before a recommendation is made.

To address staff recommendations (where appropriate), staff has prepared Draft Conditions of Approval for consideration (reference **Attachment 2**, Draft Conditions of Approval of PLN2016-73). Please note these Conditions of Approval can be removed, added to, or modified at the discretion of the Historic Preservation Board.

NEXT STEPS

If the HPB recommends approval of the project to the Planning Commission, staff recommends that specific project changes required to achieve compliance with the Secretary of Interior Standards (if any) be forwarded as recommended Conditions of Approval.

ALTERNATIVES

- If substantial changes or additional information is requested by the Historic Preservation Board, the Board can request the project be continued to a date uncertain and brought back to the Historic Preservation Board for further review.
- If the Historic Preservation Board does not find the proposed changes are in keeping with the review criteria, the Board can forward a recommendation to deny the project to the Planning Commission.

Attachments:

1. Findings Recommending Approval of PLN2016-73 & PLN2016-154
2. Draft Conditions of Approval of PLN2016-73 & PLN2016-154
3. Location Map
4. Primary Record
5. Project Plans
6. Applicant's Consultant Memo - Page & Turnbull
7. City Consulting Architect Evaluation Report -Mark Sandoval
8. Applicant Responses to Consulting Architect Feedback
9. Historic Plaque

Prepared by:



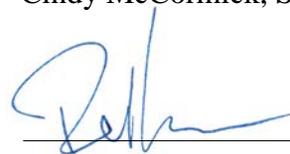
Stephen Rose, Associate Planner

Reviewed by:



Cindy McCormick, Senior Planner

Approved by:



Paul Kerymoyan, Community Development Director

RESOLUTION NO. 2016-01

BEING A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF CAMPBELL RECOMMENDING THAT THE PLANNING COMMISSION RECOMMEND APPROVAL OF A MODIFICATION (PLN2016-73) TO PREVIOUSLY APPROVED PLANNED DEVELOPMENT PERMITS (PD84-02, PD84-05, PD90-01 AND M92-11) TO ALLOW THE EXTERIOR REMODEL OF AN EXISTING BUILDING THAT IS LISTED ON THE CITY'S HISTORIC RESOURCE INVENTORY (GEORGE HYDE CO. SUNSWEET GROWERS) AS WELL AS ASSOCIATED ON-SITE AND OFF-SITE IMPROVEMENTS AND A TREE REMOVAL PERMIT (PLN2016-154) TO ALLOW THE REMOVAL OF PROTECTED TREE(S) AT 300 & 307 ORCHARD CITY DRIVE.

After due consideration of all evidence presented, the Historic Preservation Board did find as follows with respect to the proposed Modification (PLN2016-73) and Tree Removal Permit (PLN2016-154).

1. The zoning designation for the project site is P-D (Planned Development). Exterior alterations to a historic property in this zoning district may occur with the approval of a Planned Development Permit.
2. The project consists of exterior façade and site upgrades to the Water Tower Plaza.
3. The proposal is intended to renovate the site with particular sensitivity to the early eras of the Campbell Fruit Growers Union and the George E. Hyde Company (1892-1937).
4. The proposal would remove non-historic elements of the building and site, reconfigure entrances, and improve accessibility.
5. The changes proposed by the project are consistent with the Historic Preservation Ordinance, and the Secretary of Interior Standards and do not detract from the existing architectural character of the building or site.
6. The proposed exterior changes are consistent with the purpose of the Historic Preservation ordinance to enhance the visual character of the city by encouraging and regulating the compatibility of architectural styles within historic districts reflecting unique and established architectural traditions.
7. The changes proposed, including the request to remove two olive trees, will be reviewed to determine conformance with the City's zoning regulations by the Planning Commission at a public hearing. At such time, the Historic Preservation Board's recommendation for approval will be taken into consideration.

Based upon the foregoing findings of fact, the Historic Preservation Board further finds and concludes that:

1. The action proposed is consistent with the purpose of the Historic Preservation Ordinance.
2. The action proposed is consistent with the Secretary of the Interior's Standards for the treatment of historic properties with guidelines for preserving, rehabilitating, restoring and reconstructing historic buildings.
3. The action proposed will not be detrimental to a structure or feature of significant aesthetic, architectural, cultural, or engineering interest or value of an historical nature.

THEREFORE, BE IT RESOLVED that the Historic Preservation Board recommends Planning Commission approve a Modification (PLN2016-73) to previously approved planned development permits (PD84-02, PD84-05, PD90-01 and M92-11) to allow the exterior remodel of an existing building that is listed on the city's historic resource inventory (George Hyde Co. / Sunsweet Growers) as well as associated on-site and off-site improvements and a tree removal permit (PLN2016-154) to allow the removal of protected tree(s) at 300 & 307 Orchard City Drive, subject to the attached Conditions of Approval (attached Exhibit "A").

PASSED AND ADOPTED this 25th day of May 2016, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

APPROVED: _____
JoElle Herandez, Chair

ATTEST: _____
Cindy McCormick, Secretary

HPB RECOMMENDED CONDITIONS FOR APPROVAL OF FILE NO. PLN2016-73 & PLN2016-154 (MODIFICATION & TREE REMOVAL)

SITE ADDRESS: 300 & 307 Orchard City Drive
APPLICANT: Brice Colton
OWNER: Water Tower Fee Owner, LLC
HPB MEETING: May 25, 2016

1. Approved Project: Approval granted for a Modification (PLN2016-73) to previously approved Planned Development Permits (PD84-02, PD84-05, PD90-01 and M92-11) to allow the exterior remodel of an existing building that is listed on the City's Historic Resource Inventory (George Hyde Co. Sunsweet Growers) as well as associated on-site and off-site improvements and a Tree Removal Permit (PLN2016-154) to allow the removal of protected tree(s). The project shall substantially conform to the Project Plans stamped as received by the Community Development Department on February 25, 2016, except as may be modified by the Conditions of Approval specified herein.
2. Rehabilitation: All features dating to the complex's drying and canning eras should be rehabilitated wherever feasible. If any of these features are found to be deteriorated, careful repair is preferred treatment. If deterioration is severe enough so that the feature has failed, the replacement should match the original in design, color, texture, and materials.
3. Historic Plaque: The applicant shall submit plans for a historic plaque to be installed on either a monument or on a plaque in visible location on the property. The design, placement, and installation method of the plaque shall be to the satisfaction of the Community Development Director.
4. Brick: New brick, where added to the entry of Building J, shall be differentiated from the old/historic brick of the building to the satisfaction of the Community Development Director.
5. Contractor - Unexpected Conditions: In the event that unexpected damage or historic features (e.g. signage, murals, historic openings or brickwork) are discovered during the construction process, the contractor shall stop work on the affected portion of the project and seek written authorization of the Community Development Director prior to proceeding. To obtain authorization, the contractor shall work with the project architect/applicant to evaluate options to restore the existing material to the extent feasible. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence to the satisfaction of the Community Development Director.
6. Salvage: Where significant historic features cannot be restored in place, they shall be salvaged for use elsewhere on the site, donated to a historic agency, or used for interpretive display.

Council's attention.

Vice Chair Blake reiterated that only about 1% to 2% of the homes in Campbell are historic.

Chair Hernandez stated that if the City loses more historic homes, it will be harder to set up a historic district.

2. Cambrian and Kennedy Tract area. Vice Chair Blake indicated that there are two areas in the City with interesting architecture that have not been surveyed; the Cambrian annex area and the "4-C's" neighborhood (Cherry, California, El Caminito, Catalpa Lane). She proposed that each HPB member do a windshield survey and bring their findings back to the HPB. HPB members should also survey potential heritage trees in these neighborhoods. Board Member Walter suggested the HPB also consider other areas of the City that may not have been surveyed. The HPB will discuss the windshield survey plan again in July. Staff will send the HPB a copy of the annexation map for their review.
3. 207 E. Rincon. The homeowner presented the HPB with a brochure showing the historic color palate that he will be using to paint his HRI home. The Board members were receptive of the colors and thanked the homeowner for notifying the HPB.

PUBLIC HEARING

1. 300 & 307 Orchard City Drive (previously 93 S. Central Avenue): Staff Planner Stephen Rose gave the report, summarizing the plans to renovate the exterior of the *George Hyde Co. Sunsweet Growers* building, remove non-historic features, and improve accessibility. The applicant indicated that they intend to keep the historic features of the building but modernize it with new features that complement the historic building but don't attempt to replicate it. They were grateful to the Historic Museum for helping them determine what is and is not historic, so that they can remove the non-historic elements.

Vice Chair Blake indicated that the plan was well thought out and she was very pleased with the design which is consistent with the Secretary's Standards. She asked the applicant to distinguish the new brick from the historic brick and asked about the new and old signage.

The applicant responded that they would introduce a reveal to differentiate the new and old brick. With regard to the signage, the applicant stated that they would preserve the informational plaque by moving it to either the inside or outside of the building. "The Cannery" would be stenciled to the exterior of the building. The applicant will also check with the Museum on historic Cannery signage.

Board Member Moore asked the applicant to preserve any other artifacts they find.

Board Member Walter applauded the applicant for its clean, simple, thoughtful design, stating that it would be a nice addition to the area. He asked if the brick will be cleaned or left to patina. He also asked that the new brick be differentiated from the old brick.

The applicant responded that repairs will be meticulous and least intrusive as possible. The applicant reiterated that the reveal should differentiate the two.

Vice Chair Blake indicated that the Olive tree is dying, is therefore not protected, and OK to remove. She likes the clerestory windows and stated that the clean design will be attractive next to the light rail station. Vice Chair Blake indicated that when the roof was recently repaired, the downspouts were made too short and have disconnected causing water damage to the building.

The applicant indicated that they would repair the downspouts.

Chair Hernandez stated that she loves the clean design and is happy that the applicant is keeping the brick façade and opening up the historic clerestory windows. She asked about the passageway and lighting between the garage and the property.

The applicant stated that the gate is not locked allowing passage from and to the garage. The applicant also stated that there is new LED lighting in the garage and limited lighting in the residential area.

Board Member Anderson asked about accessibility and stated that a lift is not allowed for egress.

The applicant indicated that two ADA stalls and two restrooms would be updated to meet accessibility standards. The applicant also indicated that they would re-slope the walkways, eliminate the ramp, and install the lift.

Chair Hernandez stated that the Building Department will review the plans for compliance with accessibility standards and that the purview of the HPB is limited to historic preservation.

Board Member Walter made a motion to accept the application with the modification to accentuate the reveal around the brick façade entry to differentiate the new brick from the old. Vice Chair Blake seconded. **Motion Passed 4-0-1** (Anderson abstained)

OLD BUSINESS

1. **Brochures:** Chair Hernandez stated that the proposed text for the brochure overlaps with information that is already contained in other Historic Preservation brochures such as "Resources for Property Owners". Chair Hernandez stated that the information should be different for each audience and should include larger font and

MEMORANDUM

DATE	February 24, 2016	PROJECT NO.	16013
TO	Jonel Porta	PROJECT	Water Tower Plaza Consultation
OF	Four Corners Properties 339 S. San Antonio Rd, Ste 2B Los Altos, CA 94002	FROM	Eleanor Cox, Associate Page & Turnbull
CC	Ruth Todd, Principal Page & Turnbull	VIA	Email

REGARDING: Design Consultation, Memo #1**INTRODUCTION**

Water Tower Plaza is a former industrial complex in Campbell, California. The property is currently listed as an individually significant historic resource on two local inventory lists: the Santa Clara County Heritage Resource Inventory and the City of Campbell Historic Resources Inventory. The property is not listed on the state or national registers, but its standing as a local historic resource qualifies Water Tower Plaza as a resource for the purposes of California Environmental Quality Act (CEQA) review.

Since the 1980s, the complex has functioned as a commercial space and office center. A proposed project to update the facilities at Water Tower Plaza is currently in its initial design phase. Page & Turnbull has reviewed early concepts for the proposed project and spoken with the project Architect. This memorandum provides some general recommendations for the treatment of existing historic features and also for future design decisions as the proposed project develops. The recommendations included herein are intended to help guide a sensitive rehabilitation of the historic resource.

PROPOSED PROJECT DESCRIPTION

The following project description is derived and adapted from the Project Narrative prepared by project architect Habitec for the City of Campbell Planning Department submittal package dated February 24, 2016.

The project sponsor is proposing a renovation to an existing historical resource, with particular sensitivity to the early eras of the Campbell Fruit Growers Union and the George E. Hyde Company (1892-1937). The primary goal is to create a functional and attractive office center that incorporates architectural elements of the past, thereby attracting tenants who are looking for a venue with more character than many modern office parks offer. A historically sensitive project at Water Tower Plaza

ARCHITECTURE
PLANNING & RESEARCH
PRESERVATION TECHNOLOGY

could result in a high-quality and business-oriented office center consistent with the City of Campbell's goals for the downtown core and with the direction of today's economy.

This proposal would remove many of the non-historic elements (features that are *not* character-defining) added during the Water Tower Plaza era, rehabilitate historic architectural features where feasible, and introduce new elements that respect the site's industrial past to create an attractive office center and provide updated amenities for today's workforce.

Specific scope of work items include¹:

- Remove portions of the non-historic landscape, paving, and site work as shown in the Planning Submittal. Trees shall remain unless otherwise noted;
- Remove non-historic elements in certain areas that were added to the buildings during a 1980s remodel, including stucco fascia and bands, green fabric awnings, brick planters, ramp, arched entry system on Building J, and other exterior elements as shown in the Planning Submittal;
- Remove stucco parapet at Building J and replace with corrugated metal parapet;
- Reconfigure existing non-historic entry at Building J as shown;
- Install exterior independent metal feature wall at main entry of Building J;
- Remove parapet in front of original clerestory windows on Building G, remove boards from windows and prepare windows for re-use;
- Install smaller metal-clad feature walls near buildings I and C;
- Install new landscape and hardscape as shown;
- Install new corrugated metal cornices and roof screens as shown;
- Install new ADA accessible lift and stairs;
- Reinforce structure of existing two-story exterior walkway at buildings A and D and install new finishes;
- Repaint stucco at buildings A and D;
- Paint window frames and install new window awnings throughout.

It is understood that elevations which are not easily visible from the street or courtyard and the interiors of the buildings that comprise the complex have not yet been addressed in the preliminary Planning Submittal. The following recommendations will include broad-brush approaches to those areas for future submittals.

¹ "A Planned Development Submittal for: The cannery At Water Tower Plaza", Site and Building Exterior Improvements, 300 Orchard City Drive, Campbell, CA, 95008.

DESIGN APPROACH RECOMMENDATIONS

It is Page & Turnbull's opinion that the proposed project has already established a sensitive approach to the treatment of Water Tower Plaza by largely retaining those character-defining features that are outlined in a 2014 Consultation Memo. These recommendations are meant to further inform initial rehabilitation planning for Water Tower Plaza in areas that have not yet been fully addressed or explicitly stated in the conceptual drawings, renderings, or project narrative. They are general in nature, and can be further developed along with the project.

Treatment of Existing Features

- Water Tower Plaza has an industrial design vocabulary with updated elements that convey its current commercial use. All historic features dating to the complex's drying and canning eras should be rehabilitated where feasible. A majority of the buildings within the complex date to this period, and the specific character-defining features are outlined in Page & Turnbull's 2014 Consultation memo. If any of these features are found to be deteriorated, careful repair is the preferred treatment. If deterioration is severe enough so that the feature has failed, the replacement should match the original in design, color, texture, and materials.
- Proposed alterations would be best situated in areas of Water Tower Plaza that have already experienced non-historic interventions. These areas include the landscaping and hardscaping throughout the site and in the shared courtyard, as well as those features which are outlined as *not* character-defining in the 2014 Consultation Memo.
- Water Tower Plaza is a fairly low-rise development that features interesting industrial-era roof forms. It does not appear that an addition above the third story anywhere within the complex would be compatible with the established character of the historic resource.
- The interconnectedness between the buildings and extant circulation routes throughout the site should be maintained.
- Additional research is required to determine if the fenestration on buildings C and F (and possibly in other locations) date to the period of significance. Historic photos show that the facades of the buildings did not feature expansive historically. Loading docks and sliding doors predominated during the period of significance. Typical fenestration included skylights or clerestory windows. Additional non-historic fenestration was inserted during the Water Tower Plaza era to accommodate the commercial use. It is recommended that replacement fenestration be located in existing openings (historic or non-historic), but not expanded beyond the fenestration openings currently in place.
- A comprehensive survey of historic interior features has not been completed. Due to the change in use from industrial to commercial, it seems likely that the interiors at Water Tower Plaza have been highly altered from their historic appearance and configuration, and thus the spaces are adaptable for future tenant use. However, it is possible that signage, murals, and even historic openings or brickwork may be uncovered on the interiors during the proposed rehabilitation. It is recommended that these features

be restored in place, if uncovered. If restoration in place is not feasible, it is recommended that these features be salvaged for use elsewhere on the site or for interpretive display (see Future Considerations for more information on the potential for interpretive display).

- It is also recommended that established exterior features which are historic but cannot be restored in place be salvaged for use elsewhere on the site or for interpretive display.
- The integrity of the resource was impacted during the 1970s and 1980s renovations; it will be important in moving forward to make sure that future projects do not further impact the complex's remaining integrity by removing, obscuring, or damaging the extant character-defining features.

Future Considerations for Design Development

- When choosing lighting, site furnishings (such as benches or planters), and signage at future stages of the project, the designs should maintain the updated industrial vocabulary shown in the current renderings while not giving the false impression of being historic or original to the property. Modern yet understated selections within the identified material palette are most likely to be standards compliant.
- In planning for future landscape and hardscape improvements, consider the historic industrial nature of the property. Excessive decorative vegetation would not have been found at the former drying and canning plant.
- As mentioned previously in this memorandum and in Page & Turnbull's 2014 Consultation Memo, the integrity of the former industrial complex has been compromised by the ca. 1970s and 1980s renovations that saw the complex converted from industrial to commercial/retail use. While not currently a requirement of the project, the project sponsor may choose to consider an interpretive program within one of the semi-public entryways or adjacent to the parking area which highlights the significant history of Water Tower Plaza. The interpretive content could be drawn from existing documentation outlined in the 2014 Consultation Memo, and include the historic photos and maps already collected by the project architect (with use permissions by repositories). This would be a voluntary measure to mitigate some of the damage already inflicted on the historic resource by insensitive renovations in the past.

THE CANNERY AT WATER TOWER PLAZA

EXTERIOR IMPROVEMENTS
300 Orchard Drive, Campbell, CA



Project Plan Review

Prepared for
City of Campbell
Community Development Department
70 N. First Street
Campbell, CA

MSA Inc. **M. SANDOVAL**
ARCHITECTS, INC.
Architecture - Historic Preservation - Design

May 9, 2016



Figure 1: Proposed Primary Elevation (North Elevation)

Report Objectives

Mark Sandoval, AIA of M. Sandoval Architects, Inc. was contacted by the City of Campbell to review and prepare this report for 300 Orchard City Drive (formerly 93 Central Avenue). This report is intended for the use of the Planning Department and the Planning Commission to help in the guidance during the approval process for this development project. The comments contained within this report, are not designed to point out any deficiencies or to voice opinions on if the design presented by the applicant is somehow of a lesser quality than normal applications of this kind. Rather, the goals of these recommendations are only intended as a means to convey certain observations which might enhance and refine the project currently under consideration with the City.

Documents Provided

Drawings dated 2/24/16 prepared by Habitec, Architecture and Interior Design, 111 West Saint John Street, Suite 950, San Jose, CA consisting of the following:

- A0.1 COVER SHEET GENERAL NOTES**
- A0.2 TYPICAL ADA DETAILS**
- A1.0 EXISTING GENERAL SITE PLAN**
- A1.1 NEW GENERAL SITE PLAN**
- A1.2 NEW SCHEMATIC LANDSCAPE SITE PLAN**
- A2.0 ENLARGED DEMOLITION PLAN**
- A2.1 NEW ENLARGED SITE PLANS**
- A2.2 NEW ENLARGED SITE PLANS**
- A3.1 EXISTING ELEVATIONS**
- A3.2 PROPOSED ELEVATIONS BUILDING G AND J**

A3.3 PROPOSED ELEVATIONS A, D, AND F
A4.1 SCHEMATIC PROPOSED SECTIONS BUILDING J

Other Material Provided

Planning Submittal for: The Cannery at Water Tower Plaza Site and Building Exterior Improvements 300 Orchard City Drive (formerly 93 Central Avenue) Campbell, California

Memorandum: Design Consultation Memo #1, dated 2/24/16 to Joel Porte, Four Corners Properties, from Eleanor Cox, , Associate Page & Turnbull

Email Correspondence: from Stephen Rose, Associate Planner, Community Development Department dated 4/18/16 to Mark Sandoval, AIA



Figure 2: Site Plans of the Cannery at Water Tower Plaza (Existing to the left, Proposed to the right)

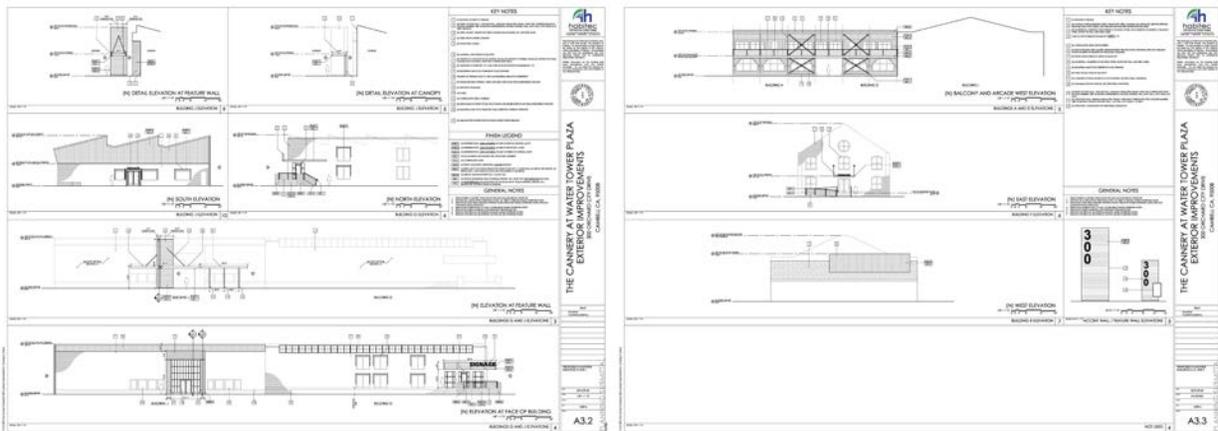


Figure 3: Proposed Architectural Elevation Drawings

Project Summary

The proposal exterior improvements for The Cannery, currently known as Water Tower Plaza, is not intended to be a restoration project of the George E. Hyde Company Fruit Packing Building, but rather a contemporary update of this historical resource. The goal as stated in the in the project's description submitted by the Applicant is to create a unique office center that combines elements of the past and the future, and attracts new tenants looking for an atmosphere with more character than many modern buildings offer. In making these building upgrades and façade improvements, it is their hope to elevate The Cannery to a more competitive, high-quality, and business-oriented office center is consistent with the City of Campbell's objectives for a more viable and active downtown core.

As noted this property has operated under many names and for many purposes, including the Campbell Fruit Growers' Union, the George E. Hyde Company, the California Prune and Apricot Growers' Association, The Factory, and Water Tower Plaza. Of these historic periods, the George E. Hyde Company and Water Tower Plaza are the most visible today. Most of the existing buildings were constructed during the Hyde era, and the current landscape, window treatments, and paint colors date to the Water Tower Plaza remodel of the 1980s.

The applicant is proposing to remove some of the dated non historic elements that had been added during the Water Tower Plaza era, and to return some of the recognizable architectural features to the look when the building was occupied by the George Hyde Company where feasible. In addition, the applicant wishes to introduce new architectural features that are respectful of the site's past and to create an attractive office center.

Background

Water Tower Plaza is a former industrial complex in Campbell, California. The property is currently listed as an individually significant historic resource on two local inventory lists: the Santa Clara County Heritage Resource Inventory and the City of Campbell Historic Resources Inventory. The property is not listed on the state or national

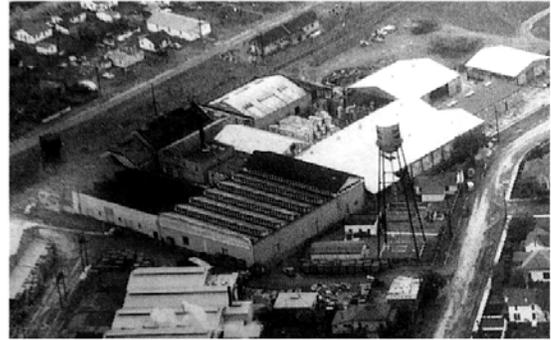


Figure 4: Aerial photograph taken in 1945 of project site



Figure 5: Photograph of Building G taken reportedly in 1945

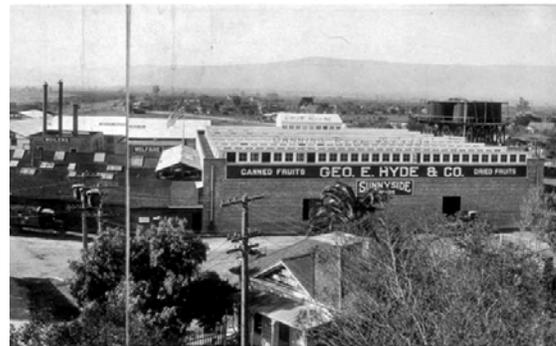


Figure 6: Photograph of Building G taken reportedly before 1920 with original clerestory ribbon windows at upper wall



Figure 7: Rendering of proposed main entrance steel constructed canopy with vertical corrugated wall



Figure 8: Photograph taken from the side parking lot of the current arched entrance to Building J



Figure 9: Rendering of new corner entrance with steel constructed entrance canopy

registers, but its standing as a local historic resource qualifies Water Tower Plaza as a resource for the purposes of California Environmental Quality Act or (CEQA)¹ review

Unfortunately the integrity of the former industrial complex was significantly compromised during the 1970s and 1980s building renovations that saw the complex converted from industrial to commercial/retail use. Since the 1980s, this complex has functioned as a commercial space and office center. The proposed exterior modifications continue to enhance this continued use for this building complex.

Proposed Alterations

The following is a summary of the various modifications that have been proposed by the applicant:

- Remove portions of the non-historic landscape, paving, and site work as shown in the Planning Submittal. Existing trees for the most part are to remain unless otherwise noted;
- Remove non-historic elements in certain areas that were added to the buildings during a 1980s remodel, including stucco fascia and bands, green fabric awnings, brick planters, ramp, arched entry system on Building J, and other exterior elements as shown in the Planning Submittal;
- Remove stucco parapet at Building J and replace with corrugated metal parapet;
- Reconfigure existing non-historic primary entry at Building J as shown;
- Install exterior independent metal feature wall at main entry of Building J;
- Remove parapet in front of original clerestory windows on Building G, remove boards from windows and prepare windows for re-use;

¹ California Environmental Quality Act, §21084.1.1 Historical Resource; Substantial Adverse Change



Figure 10: Photograph taken of corner entrance to Building J



Figure 11: Rendering of Buildings E, F and J viewed from the side parking lot



Figure 12: Photograph taken of the current façade of Building J

- Install smaller metal clad feature walls near buildings I and C;
- Install new landscape and hardscape as shown;
- Install new corrugated metal cornices and roof screens as shown;
- Install new ADA accessible lift and stairs;
- Reinforce structure of existing two-story exterior walkway at buildings A and D and install new finishes;
- Repaint stucco at buildings A and D;
- Paint window frames and install new window awnings throughout. It is understood that elevations which are not easily visible from the street or courtyard and the interiors of the buildings that comprise the complex have not yet been addressed in the preliminary Planning Submittal.

General Overview of Project

For the most part the proposed building alterations are both imaginative and all appear sensitive to the existing character this important historical resource for the City of Campbell. Utilizing a contemporary stylistic interpretation of comparable adaptive reuse industrial building models, the architect has crafted these new building upgrades, so they should generate new energy to an otherwise is a visually dated business center complex. The overall general design direction is positive, and the material and color palette selected for the project all appear to be compatible; continuing to reinforce the existing industrial narrative of the site’s past.

Recommendations

In the examination of the various materials provided by the applicant, there does however appear to be a number of areas that require further detail and development by the project’s architect. These

items of concern are listed both below, and within the recommendations outlined in this Plan Review.

The memorandum dated February 24, 2016, prepared by Page & Turnbull, the applicant's Historical Architect Consultant for the project, and voiced concerns regarding the limited amount of detail currently provided by the applicant for these alterations and what potential impact they may have on the remaining historical features of each building the work is to be performed. Currently I agree and believe the drawings and information provided are just too vague, and lack important detail information (even if preliminary), just how these proposed building alterations and additions are to attach, interface, and be structurally supported. As a consequence, it is difficult to ascertain the actual extent of removal and/or possible damage that may occur to the existing historical building features will take place during the implementation of this proposed work.

It is understood the applicant is not proposing a restoration project, "but rather as a contemporary update to a historical resource."² Still these alterations are proposed for an important local historic resource for the City of Campbell and therefore, a greater level of detail must be provided to ensure that implementation of this work will not lead to extending further damage to the existing historical aspects of the building. It is my belief that adequate measures must be in place to ensure that all of the current remodeling work under consideration is carefully planned, implemented, and monitored. This notion also seems implied by the memorandum prepared by the applicant's own Historic Architect Consultant as well.

The following items are of general concern that have been omitted from this application but in my belief are needed to fully understanding the actual scope and magnitude of the work currently proposed by the applicant.

1. It is assumed because of the additional weight of some of these attached additions to the building there will be an increase in both the axial and lateral applied loading forces to the existing structure. Some information should be provided even if only preliminary as to just how these features are to attach and be structurally supported. It would also help if there were structural concept details and partial building sections to assist with clarifying these assemblies—particularly for the new clerestory with ribbon windows above Building G, the new proposed wood framed balconies, and the steel framed canopies.
2. In addition, upon my visual examination of the front elevation of the building (viewed from the front parking lot connecting Orchard City Drive), it appears that there are several horizontal in-fill brick courses visible just below the upper applied stucco parapet wall. This upper section of the front wall had been the original location where the clerestory windows (Figure 5 and Figure 6) had been placed. Correlating these observations with the current proposed drawings (Figure 3), it is difficult to determine if the architect's intention is to remove only this in-fill brick section or to rebuild the entire parapet within this upper wall location. Since there have been no enlarged building sections of this area provided, it is unclear how this very important proposed design element is to attach to both the roof structure, or the existing brick wall of the façade; and as a consequence what amount of demolition and reconstruction is actually required.
3. I have a similar concern regarding the removal of the applied stucco walls and decorative trim area and the installation attachment to the existing face of the brick and the actual extent of repairs may be needed in these areas to properly execute the new work illustrated in the current drawings. Returning again to the memorandum prepared by Page & Turnbull, they make the following recommendations which have been

² Taken from the applicant's Planning Submittal for: The Cannery at Water Tower Plaza, (Page 2)

paraphrased below.

“Recommended Treatment of Existing Features

- *All features dating to the complex’s drying and canning eras should be rehabilitated wherever feasible...If any of these features are found to be deteriorated, careful repair is preferred treatment. If deterioration is severe enough so that the feature has failed, the replacement should match the original in design, color, texture, and materials.*
- *Additional research is required to determine if the fenestration on buildings C and F (and possibly in other locations) date to the period of significance...It is recommended that replacement fenestration be located in existing openings (historic or non-historic), but not expanded beyond the fenestration opening currently in place.*
- *A comprehensive survey of historic interior features has not been completed. Due to the change in the use from industrial to commercial, it seems likely that the interiors at the Water Tower Plaza have been highly altered from their historic appearance and configuration, and thus are adaptable for future tenant use. However, it is possible that signage, murals, even historic openings or brickwork may be uncovered on the interiors during the proposed rehabilitation. It is recommended that these features be restored in place, if uncovered. If restoration in place is not feasible, it is recommended that these features be salvaged for use elsewhere on the site or for interpretive display.*
- *It is also recommended that established exterior features which are historic but cannot be restored in place be salvaged for use elsewhere on the site for interpretive display.*
- *The integrity of the resource was impacted during the 1970s and 1980s renovations; it will be important in moving forward to make sure that future projects do not further impact the complex’s remaining integrity by removing, obscuring, or damaging the extant character defining features.”*

Although it is quite possible that the proposed remodeling improvements to the existing Water Tower Plaza complex may not adversely impact the remaining historical features found on the various building which the remodeling work is to be performed however, currently there is just not enough information provided to make this determination.

Perhaps if selective demolition of the localized areas in question could be performed by the developer (under the direct supervision of the applicant’s Historic Architect and Structural Engineer Consultants), then additional drawings might be prepared which could provide greater clarity as to how these building alterations attach and interfaced with the existing historic fabric of the building. It is my belief that this added level of detail, particularly during the early phase of the project’s review process, can only further assist both the applicant and the city, with their understanding as to the limits and magnitude of the actual construction work involved. In addition, this added knowledge then could drive important decisions as to what protective measures and/or additional monitoring of the project (if any) might be needed during the course of the construction process. However based on the current level of detail provide, many of these



Figure 13: Photograph taken of corner entrance to Building J



Figure 14: Rendering of Buildings E, F and J viewed from the side parking lot



Figure 15: Rendering of Buildings E, F and J viewed from the side parking lot

important questions just cannot be determined at this time.

Building, Site and Landscape Improvements

The applicant's architect is proposing to make no significant changes in any of the existing established pedestrian circulation patterns accessing the various building within this office complex. The proposed improvements are only stylistic substitutions of materials and building alterations and additions that are intended to visually energize the common outdoor spaces, and to create a newer and more fashionable contemporary look to the exterior façade of the buildings. The existing concrete walk areas have been removed and replaced with the concrete linear pavers set on a diagonal with irregular open edging. Landscaping which is to be added is specified as drought tolerant vegetation, and all existing trees on the site are to remain.

Common Plaza

The applicant is proposing to construct a new steel and wood framed balcony for the upper tenant spaces that overlook the common outdoor space and to incorporate a corrugated metal wall to extend the existing parapet wall of the building, so that a wood pergola structure may be constructed to shade the upper deck (Figure 15). Steel guard rails with metal cable are shown between each of the vertical posts supporting the pergola above. The current brick planters and directory are shown removed (Figure 16). All brick within the current arcade also appears to be removed and replaced with linear concrete paving.

It is my understanding that all redwoods and trees are to remain, and that all new planting material is to drought tolerant in this area. There are also upgrades planned for plaza area located between the First Street Parking Garage to the south, the Condominiums to the east, Buildings B, C and L to the west,

and Buildings A and D to the north (Figure 15). The improvements shown are relatively modest and include the removal of the existing rigid metal framed awning over the small raised area of the plaza, also for the construction of a new wood pergola structure. Below this structure, that architect is proposing a steel and wood privacy fence/planter to be constructed. An assortment of various chairs and benches are also proposed to enhance the usability and to make this small outdoor space more visually appealing.

Other than not fully understanding what planting material is to be used and just how it might survive in the narrow planter slots at the top of these walls shown in the rendering provided, most of these improvements should provide some degree of added enhancement to this area within the office complex.

Recommendations

The city may wish the applicant's architect to develop this design concept a bit further, and to provide more detail on both this privacy fence, pergola and lighting for this area. There could be a concern as to the actual scale of the pergola structure in relationship with the rest of the buildings and particularly in relationship with the new steel and wood framed balconies; the pergola might seem diminished and out of scale. Also since there was no light fixtures proposed for this project, it is unclear (other than just the existing lamp posts) just how these new areas and amenities are to be illuminated.

Common paved areas between Building H, I and J

As shown in the New Site Plan (Figure 2), the existing concrete handicap ramp is to be removed in favor of a handicap lift which is to be placed at a diagonal paralleling the new entrance access to Building G. There are a number of benefits with the elimination of this ramp and the



Figure 16: Rendering of the new entrance to Building G with the proposed handicap lift



Figure 17: Photograph taken of current sloped handicap ramp entrance to Building G



Figure 18: Photograph taken of the walkway between the First Street Parking Garage and the Condominium Building

awning above from this area. It not only allows for both added landscaping opportunities, but also offers the possibility to create a more inviting entrance statement. Unfortunately, the current design for this area does little to contribute anything exciting to this entrance. In addition because no protection from the weather has been provided for this entrance, visitors either using the lift or accessing the building might feel somewhat unwelcomed. Perhaps the applicant's architect may wish to explore using either a similarly styled steel-constructed canopy or come up with an alternate design solution for this area, to provide both shelter and to create greater identity to this important entry point to this building.

Other Considerations

Currently there is wide collection of various signs within Water Tower Plaza complex and there appears to be no clues in the current project proposal of bring any change to this situation; anytime in the near future. Since there appears to be desire to recreate this office center at this time, it is my belief that the applicant should be instructed to develop a comprehensive sign program and include this as part of this project. Included as part of this program, interpretive signage within the semi-public entryways or adjacent to the parking lot areas should be included; that highlight (with photographs and text narratives) the significant history of the Water Tower Plaza and its role in the early development of the City of Campbell. This master sign program should indicated the placement and locations of all directory signage along with tenant signs, also specifying quantity, size, and attachment method and illumination source. This will ultimately help add a greater cohesion to the entire project, and help in creating a more unified and central design theme for the site.

The City has received numerous complaints from the neighboring Condominiums of unpleasant public loitering in and around the common plaza and the public walkway between the First Street Parking Garage and the Condominium Building during the nighttime hours. Although these issue are understandably outside of the actual scope of work currently under consideration and involve issues that our outside the control of the applicant, the city still may wish to direct the applicant's architect to add additional lighting within these areas of concern that might help in curbing such activities. In doing so, this will only provide greater security and added enjoyment to all connecting properties that may be plagued with this undesirable activity at night.

Conclusion

Other than the specific concerns expressed above, it is my belief that the overall concepts presented by the applicant for the Cannery at Water Tower Plaza, should create an exciting and refreshing new look and add to vitality of this extremely important historic resource for the City of Campbell.

Responses to Consulting Architect Comments

1. Based on our discussions, our proposed architectural renovations are not anticipated to add substantial weight to the buildings as a whole. The following is a summary of our proposed architectural renovations to the buildings:

Building G:

- Remove existing parapet to expose original clerestory windows. No new clerestory or ribbon windows are being added. The removal of existing elements will not increase building mass.
- Remove existing fabric awnings and replace with light weight signage at the north corner. There is an existing steel canopy behind the green awning which will remain. The new signage will be attached to this existing steel canopy. Based on our preliminary research, the weight of the new signage will be similar to the weight of the existing green awning.
- Remove existing green awnings above existing windows and replace with light weight steel canopies. Again, we do not anticipate substantial weight to be added to the building.

Building J:

- Remove existing stucco parapet and replace with corrugated metal parapet. We anticipate the new metal parapet will weigh less than the original stucco.
- Reconfigure existing primary entrance with brick clad entry portal. This new brick clad portal will have its own foundation to support its own gravity load. The portal can be attached to the building for seismic without substantial increase (<10%) in the overall weight of the building.
- Install new independent steel canopies and architectural feature wall in the front façade. These elements will be independent from the building with their own foundation and lateral support.

Building A/D:

- Reinforce existing 2nd floor exterior walkway. The existing wood framed structure of this walkway will remain and will be seismically strengthened by additional steel braces, as shown on our renderings.

In summary, we do not anticipate substantial increase in the building weight.

2. The intent of these architectural renovation is to remove the existing stucco parapets to expose the original clerestory windows. After a detailed observation of the existing interior exposed wall of building G, the original clerestory windows can be exposed. Since the intent is to remove existing elements such as the stucco parapet, it will not increase the building weight.
3. This concern is related to the condition of the existing elements that are hidden from view. We will identify these areas of concern with the help of our consultant architect and we will develop a set of instructions/guidelines for the contractor, should they encounter abnormal/unexpected exiting conditions. These instructions will ask the GC to report any existing and unexpected damage, and seek approval through the City, prior to continuing the work. However, it's worth mentioning it will be unlikely we will find everything.

Historic Plaque Example



MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** June 28, 2016
From: Stephen Rose, Associate Planner
Via: Paul Kermoyan, Community Development Director
Subject: Site and Architectural Review Permit
File No.: PLN2016-138 ~ 1045 Salerno Drive

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow for a 499 square-foot single-story addition to the rear of an existing single-story, 1,414 square-foot single-family residence (reference **Attachment 2** – Project Plans).

PROJECT SITE

The project site is located within the Cambrian 36 annexed area, commonly known as "Campbell Village," on the west side of Salerno Drive, south of Curtner Avenue (reference **Attachment 1** – Location Map). This portion of the annexation area was pre-zoned to the R-1-8 (Single-Family Residential) Zoning District. Pursuant to CMC 21.42.20, an addition to a single-family residence in the R-1-8 zoning district requires approval of Site and Architectural Review Permit by the Planning Commission.

PROJECT DATA

Zoning Designation:	R-1-8 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	9,101 sq. ft.	
Building Height:	14 feet (one-story)	35 feet Maximum Allowed
Building Square Footage:		
Existing Living Area:	1,414 square-feet	
Existing Garage:	589 square feet	
Proposed Living Area:	<u>499 square-feet</u>	
	2,502 square-feet	
Floor Area Ratio (FAR):	27%	45% Maximum Allowed
Building (Lot) Coverage:	28%	40% Maximum Allowed
Setbacks	<u>Existing/Proposed</u>	<u>Required</u>
Front (west):	25 feet	20 feet
Side (north):	10 feet	5 feet or half the wall height
Side (south):	5 feet	5 feet or half the wall height
Rear (east):	61 feet	5 feet or half the wall height
Garage (west):	102 feet	25 feet

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [City's Design Guidelines for Additions to Single-Family Homes](#). This document provides design guidance in terms of architectural compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for ensuring that additions to homes are compatible with both the existing structure and surrounding neighborhood.

Design: The proposed 499 square-foot addition would match the existing residence's materials and colors, incorporating dark-grey asphalt composition shingle roofing and white stucco walls (reference **Attachment 3** – Site Photographs). While portions of the existing residence incorporate a brick wainscoting (i.e. front façade and portions of right/north elevation), where the addition is proposed (on the rear) the building walls are completely stucco and would match as proposed.

Site Layout: The single-story residence is located on a large lot and incorporates larger than required front, side, and rear yard setbacks for the primary residence.

Landscaping & Trees: Whenever a building is expanded, the City may require conformance to the City's landscaping requirements (CMC 21.26.030). As the property already is fully landscaped, and no trees are proposed for removal in association with the permit, no additional landscaping or trees are required.

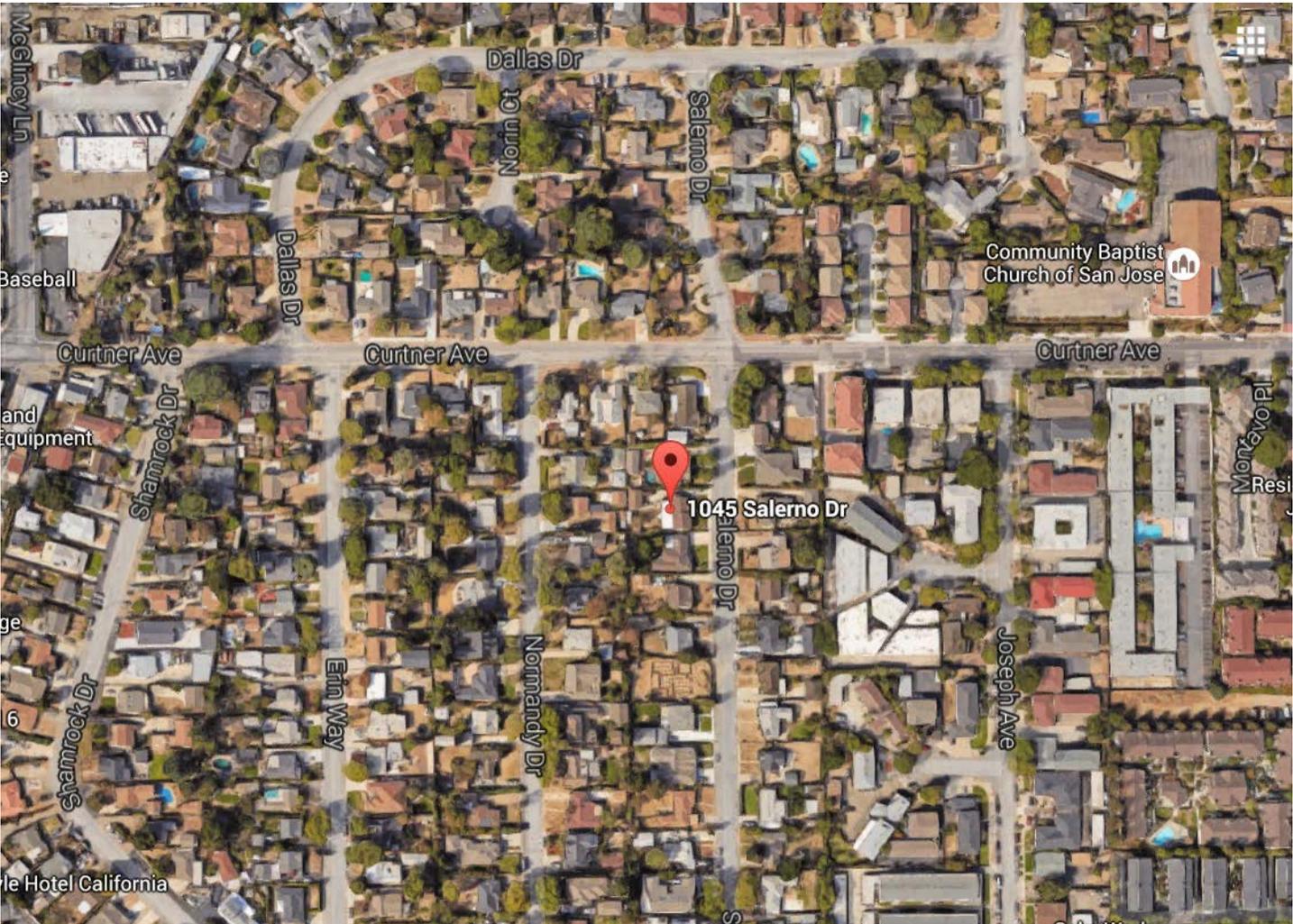
OPTIONS

The SARC should discuss the project's proposed architecture, materials, and landscaping. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Site Photographs

Location Map



PROJECT DATA

SCOPE OF WORK:

- 1. ONE STORY ADDITION AT REAR OF BUILDING.

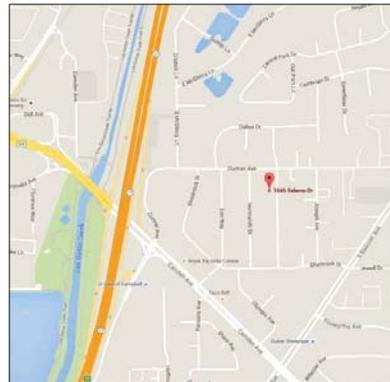
APPLICABLE CODES:

ALL CONSTRUCTION SHALL CONFORM TO 2013 CBC, 2013 CMG, 2013 CPC, 2013 CFC, 2013 CEC, 2013 CRC, 2013 CCBG, 2013 EES (TITLE 24), AND CITY OF CAMPBELL ORDINANCES, ALONG WITH ANY OTHER APPLICABLE STATE LAWS AND REGULATIONS.

A.P.N.	414-02-039
ZONING	R-1-8
SITE AREA	9,101 SF
FLOOR AREAS:	
(E) HOUSE	1,414 SF
(N) ADDITION	499 SF
TOTAL LIVING AREA	1,913 SF
(E) GARAGE	589 SF
LOT COVERAGE (2502/9101)	27.5 %
CONSTRUCTION TYPE	V - B
OCCUPANCY GROUP	R-3/U

GENERAL NOTES:

- 1. CONTRACTOR SHALL PROVIDE BEST EFFORT TO SAVE ALL HEALTHY EXISTING TREES WHICH SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FENCES OR OTHER BARRIERS AS NECESSARY AT THE DRIP LINE OR AROUND TREE TRUNKS TO PROTECT EXISTING PLANTS FROM DAMAGE DURING CONSTRUCTION. STORING OF CONSTRUCTION MATERIALS OR VEHICLE SHALL BE PROHIBITED WITHIN THE DRIP LINE OR WITHIN FENCED AREAS.



VICINITY MAP

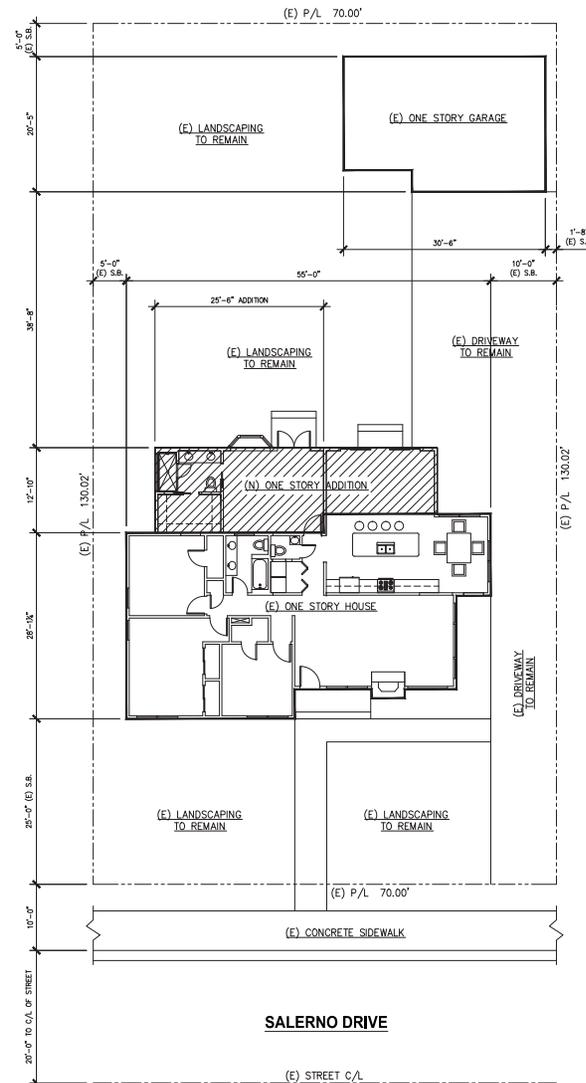


INDEX OF DRAWINGS

- 1. SITE PLAN, SITE DATA, INDEX OF DRAWING
- 2. EXISTING FLOOR PLAN
- 3. PROPOSED FLOOR PLAN
- 4. BUILDING ELEVATIONS

CALGREEN COMPLIANCE NOTES

1. AT BATHTUBS/WHIRLPOOL BATHTUBS, MAXIMUM HOT WATER TEMPERATURE DISCHARGING SHALL BE LIMITED TO 120 DEGREES.
2. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC TYPE OR A COMBINATION OF BOTH THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. WALLS SHALL BE SMOOTH, HARD, AND NON-ABSORBENT SURFACE OVER A MOISTURE-RESISTANT CEMENT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE DRAIN INLET. NO WOOD WINDOWS ALLOWED.
3. THE ENTIRE LENGTH OF THE RECIRCULATING DISTRIBUTION SECTIONS OF THE DOMESTIC HOT WATER MUST BE INSULATED.
4. AT WATER HEATER, T. & P. PIPED TO THE EXTERIOR, WATERTIGHT PAN, 2--SEISMIC STRAPS MIN., ALL BURNERS AND IGNITION DEVICES ARE TO BE LOCATED NOT LESS THAN 18" ABOVE GARAGE FLOOR.
5. PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE ROOF NOR LESS THAN 12" FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 10' FROM OR 3' ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT NOR 3' FROM PROPERTY LINE.
6. ALL SHOWER DOORS SHALL BE MINIMUM OF 22" WIDE
7. WHERE WATER PRESSURE EXCEEDS 80 PSI AN APPROVED PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED.
8. AT ALL EXTERIOR HOSE BIBBS, PROVIDE A NON-REMOVABLE BACKFLOW PREVENTER OR BBB-TYPE VACUUM BREAKER.
9. A LICENSED PLUMBER SHALL VERIFY SIZE OF GAS (CPC 1216.0, 1217.0), WATER (CPC 610.0), AND WASTE PIPING (CPC 703.0 AND TABLE 7-5) PER CPC 2013.
10. A LICENSED PLUMBING CONTRACTOR SHALL PROVIDE A MINIMUM OF 1" GAS SUPPLY PIPE AND PROVIDE ONE LINE ISOMETRIC AS REQUIRED BY PLUMBING INSPECTOR.
11. ALL PIPING MATERIALS SHALL BE AS FOLLOWS: WATER - COPPER, SEWER - ABS, GAS - BLACK IRON (OR OTHER PIPES APPROVED BY THE CITY INSPECTOR AND 2013 CPC).
12. ALL NEW TOILETS SHALL HAVE A MAXIMUM WATER CONSUMPTION OF 1.28 GPF; AND ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW OF 2.0 GPM AT 80 PSI; AND ALL FAUCETS SHALL HAVE A MAXIMUM FLOW OF 1.5 GPM AT 60 PSI AND MINIMUM FLOW OF 0.8 GPM AT 20 PSI.
13. ALL PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH PRESCRIPTIVE REQUIREMENTS OF 2013 CALGREEN SECTIONS 4303.1.1 THROUGH 4303.1.4.4.
14. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE CITY OF FREMONT INSPECTOR.
15. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN SECTION 4.408.3.
16. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
17. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
18. ADHESIVES, SEALANTS, AND CAULK'S SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. PAINTS, STAINS, AND OTHER COATINGS SHALL ALSO BE COMPLIANT WITH VOC LIMITS.
19. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MTR LIMITS FOR ROOF AND OTHER TOXIC COMPOUNDS.
20. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
21. HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER TABLE 4.504.5.
22. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY BEFORE ENCLOSURE.
23. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO OUTSIDE, AND SHALL BE CONTROLLED BY A HUMIDITY BETWEEN A HUMIDITY RANGE OF 50% TO 80%.
24. HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
25. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THAT THEY ARE INSPECTING.
26. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, AND OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.



SITE PLAN
SCALE = 1/8" = 1' - 0"



REVISIONS	BY
REVIEW SET DATE	JPA

THIS PROJECT HAS BEEN REVIEWED BY THE CITY OF CAMPBELL PLANNING DEPARTMENT AND THE CITY ENGINEER'S OFFICE. THE CITY ENGINEER'S OFFICE HAS REVIEWED THE PROJECT FOR CONFORMANCE WITH THE CITY OF CAMPBELL ORDINANCES AND THE CALIFORNIA CIVIL ENGINEERING BOARD REGULATIONS. THE CITY ENGINEER'S OFFICE DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CITY ENGINEER'S OFFICE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PROJECT.

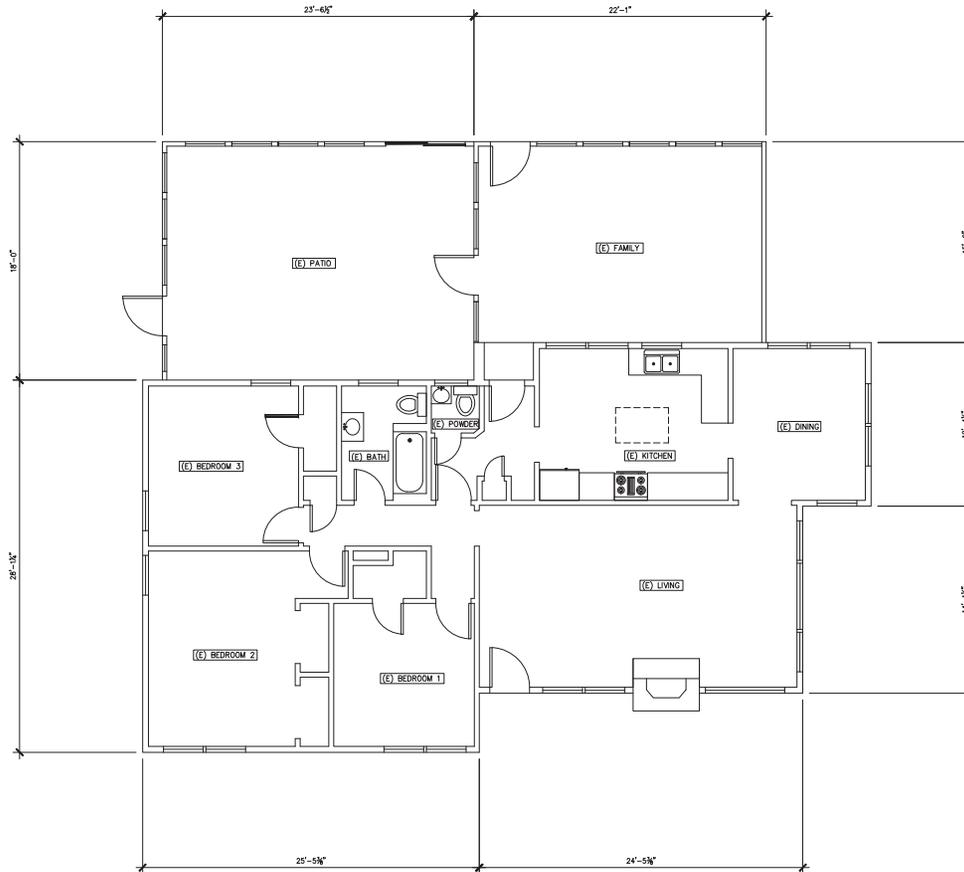


JAIME P. ARAFLES, PE
3208 Alvarado Blvd., #252, Livermore, CA 94551
Phone: 925/386-0699, Email: jparafles@aol.com

SITE PLAN
PROJECT DATA
INDEX OF DRAWINGS

ONE STORY ADDITION
1045 SALERNO DRIVE
CAMPBELL, CA 95008

DRAWN	JA
CHECKED	JPA
DATE	JANUARY 18, 2018
SCALE	AS NOTED
JOB NO.	2162902
SHEET	1



EXISTING FLOOR PLAN
 SCALE 1/4" = 1' - 0"

REVISIONS	BY
REVIEW SET	JPA
DATE	

THIS DRAWING AND OTHER DOCUMENTS PREPARED BY JAIME P. ARAFILES, PE ARE THE PROPERTY OF JAIME P. ARAFILES, PE. ANY REUSE OR REPRODUCTION OF THIS DRAWING OR OTHER DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF JAIME P. ARAFILES, PE IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING OR OTHER DOCUMENTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

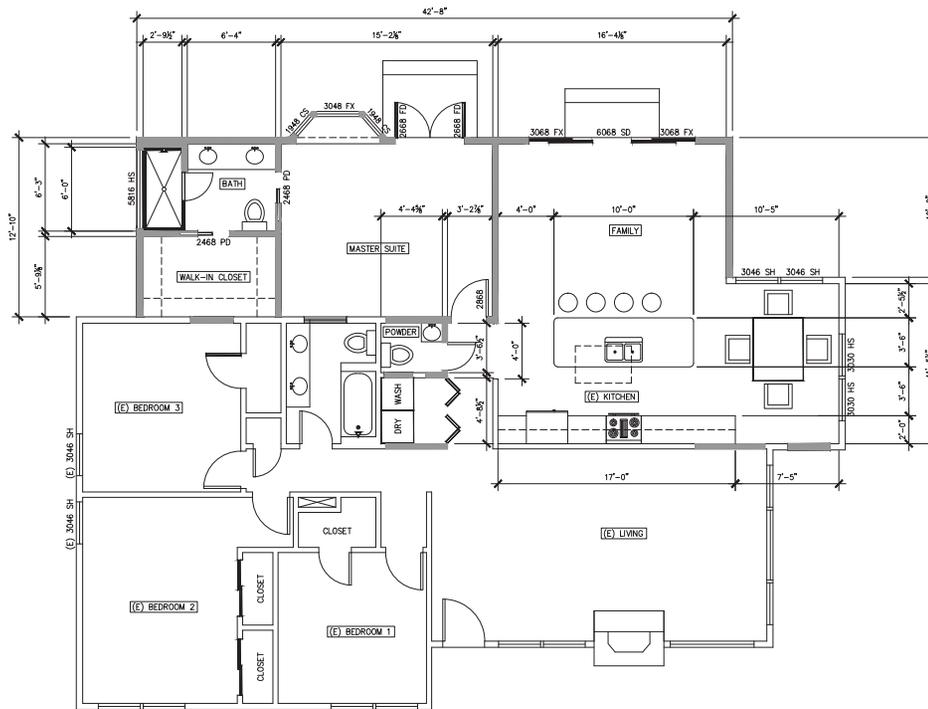


JAIME P. ARAFILES, PE
 32108 Alvarado Blvd., #250, Union City, CA 94587
 Phone: (510) 386-0809 Email: jparafiles@aaf.com

EXISTING FLOOR PLAN

INTERIOR ALTERATIONS
 1045 SALERNO DRIVE
 CAMPBELL, CA 95008

DESIGN	JA
CHECKED	JPA
DATE	JANUARY 18, 2018
SCALE	AS NOTED
FORM NO.	2162902
SHEET	



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1' - 0" AREA OF ADDITION = 327 SQ. FT.

REVISIONS	BY
REVIEWER SET	JFA
0616	

THE PLANS AND THIS PROJECTS INTENT TO COMPLY WITH ALL CITY, COUNTY AND STATE REQUIREMENTS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.



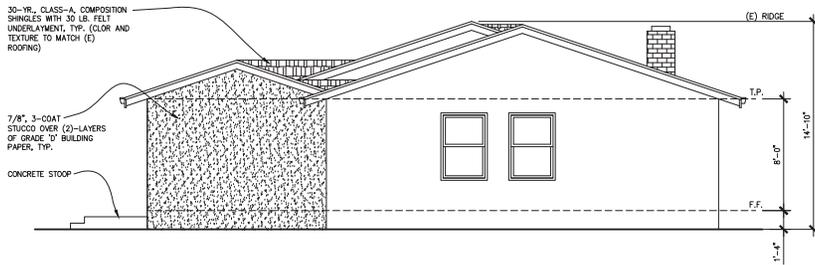
JAIME P. ARAFILES, PE
 30109 Avenida Blvd. #203, Union City, CA 94587
 Phone (510) 386-0889 E-mail: jparafiles@aui.com

PROPOSED FLOOR PLAN

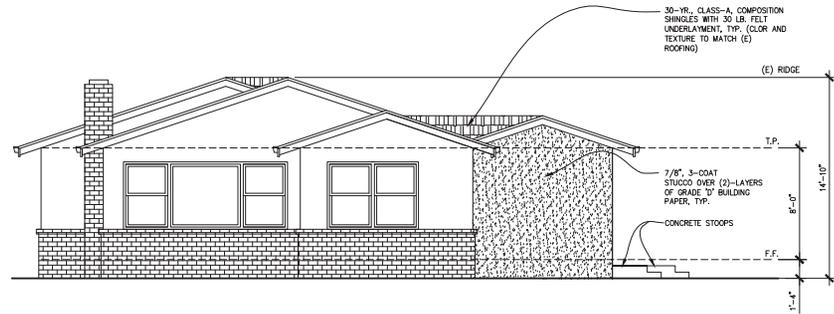
ONE STORY ADDITION
 1045 SALERNO DRIVE
 CAMPBELL, CA 95008

DRAWN	JA
CHECKED	JPA
DATE	JANUARY 18, 2018
SCALE	AS NOTED
JOB NO.	2162902
SHEET	

3



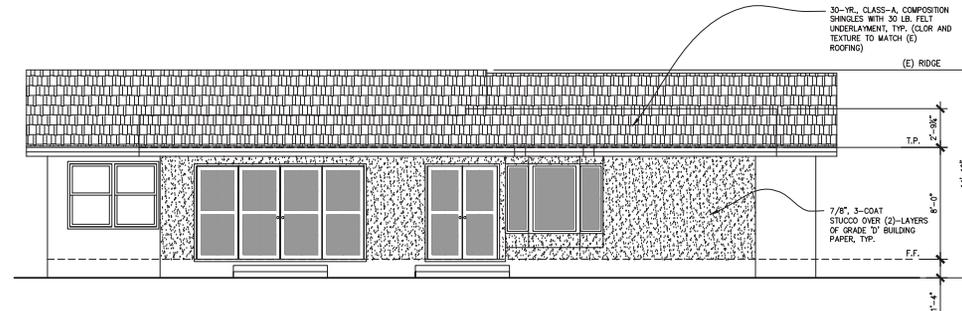
LEFT SIDE ELEVATION
SCALE 1/4" = 1' - 0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1' - 0"



EXISTING FRONT ELEVATION
SCALE 1/4" = 1' - 0"



REAR ELEVATION
SCALE 1/4" = 1' - 0"

REVISIONS	BY
REVIEW SET 0416	JPA

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JAIME P. ARAFILES, PE
32 105 Avenida Blvd., #203, Union City, CA 94587
Phone: (510) 386-0999 E-mail: jarafiles@ra.com

BUILDING ELEVATIONS

INTERIOR ALTERATIONS
1045 SALERNO DRIVE
CAMPBELL, CA 95008

DRAWN	JA
CHECKED	JPA
DATE	JANUARY 18, 2018
SCALE	AS NOTED
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SHEET	

Property Photos

