



**SITE AND ARCHITECTURAL REVIEW COMMITTEE
TUESDAY, JULY 12, 2016
5:30 p.m.**

**Doetsch Conference Room/City Hall
70 N. First Street, Campbell, CA 95008**

AGENDA

ITEM/FILE NO.		ADDRESS	START TIME / DURATION	APPLICANT
1.	PLN2016-117	600 Chapman Drive	5:30 p.m. / 15 minutes	Ted S Cribari III and Gayl Leones-Cribari
Site and Architectural Review Permit for a residential addition. Project Planner: <i>Cindy McCormick, Senior Planner</i>				
2.	PLN2016-15	1365 Harriet Ave	5:45 p.m. / 15 Minutes	John Metzger
Modification to a previous Site and Architectural Review Permit to allow a rear covered patio and upper level deck on an existing single-family residence. Project Planner: <i>Daniel Fama, Acting Senior Planner</i>				
3.	PLN2016-168	1500-1520 Dell Ave	6:00 p.m. / 15 Minutes	Amcoe Sign Co.
Sign Permit to allow an additional number of signs (4 monument signs) on a multi-building industrial site. Project Planner: <i>Daniel Fama, Acting Senior Planner</i>				
4.	PLN2016-12	1376 Capri Drive	6:15 p.m. / 15 Minutes	Scott Anger
Site and Architectural Review Permit for a new single-family residence. Project Planner: <i>Stephen Rose, Associate Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

5.	PLN2016-160	1655 Walters Ave	6:30 p.m. / 15 Minutes	Ashlee Lozano
Site and Architectural Review Permit for a new single-family residence. Project Planner: <i>Stephen Rose, Associate Planner</i>				
6.	PLN2015-98/99	1708, 1740 & 1750 Winchester Blvd	6:45 p.m. / 30 Minutes	Martin Castro
Administrative Planned Development Permit and Conditional Use Permit to allow an outdoor patio with alcohol service in conjunction with an existing restaurant (Orale). Project Planner: <i>Stephen Rose, Associate Planner</i>				

Questions about this agenda can be directed to the Community Development Department, Planning Division, at (408) 866-2140 or by email at planning@cityofcampbell.com.

MEMORANDUM

Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016
From: Cindy McCormick, Senior Planner *CM*
Via: Paul Kermoyan, Community Development Director *PK*
Subject: Site and Architectural Review Permit
File No.: PLN2016-117 ~ 600 Chapman

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow construction of a 1,526 square-foot single-story residence and 528 square-foot detached garage for a total floor area of 2,426 square-feet (reference **Attachment 1** – Project Plans). Pursuant to the San Tomas Area Neighborhood Plan (STANP), construction of a new structure (on an “undeveloped” lot) in the R-1-10 zoning district requires approval of a Site and Architectural Review Permit by the Planning Commission. The project is considered new construction because more than 50% of the exterior walls will be removed or replaced. In this regard, the site is considered “undeveloped” for the purpose of Site and Architectural review.

PROJECT SITE

The project site is an approximately 15,000 square-foot (gross) lot located on the corner of Chapman Drive and Stevens Court, in the R-1-10 (Single-Family Residential) Zoning District and the San Tomas Area Neighborhood (reference **Attachment 1** – Location Map). The site is currently developed with a single-family residence and attached garage built in 1946. Single-family residential properties border the site on all sides.

PROJECT DATA

Zoning Designation:	R-1-10 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 3.5 units/gr. acre)	
Net Lot Area:	10,000 square-feet	
Building Height:	14 feet, 3 inches	28 feet Maximum Allowed
Detached Garage Height:	11 feet, 8 inches	14 feet Maximum Allowed
Floor Area:		
Existing Floor Area:	1,620 square-feet	
Demolished Floor Area:	- 326 square-feet	
Addition:	+ 232 square-feet	
Detached Garage:	+ <u>528 square-feet</u>	
Total floor area:	2,054 square-feet	4,500 SF Maximum Allowed
Floor Area Ratio (FAR):	21%	45% Maximum Allowed

Building Lot Coverage:

Residence:	2,054 square-feet	
Porch/Patios:	78 square-feet	
Total lot coverage:	2,132 square-feet	4,000 SF Maximum Allowed
Lot Coverage Ratio:	21%	40% Maximum Allowed

<u>Setbacks</u>	<u>Proposed</u>	<u>Minimum Required</u>
Front (Residence):	25 feet, 7 inches	25 feet
Right Side (Corner):	25 feet, 6 inches	12 feet
Left Side (Residence):	17 feet, 4 inches	8 feet or 60% wall height
Left Side (Detached Garage):	5 feet	5 feet
Rear (Residence):	38 feet, 4 inches	25 feet
Rear (Detached Garage):	5 feet	5 feet

DISCUSSION

Project Description:

The project includes construction of a 528 square foot detached garage and a 232 square foot addition / major remodel of an existing 1,620 square foot single-story single-family residence. The existing 326 square foot attached garage will be demolished. The total new floor area will be 2,426 square feet (reference **Attachment 2** – Project Plans). The colors and materials of the addition and detached garage will match the existing home. The new home would retain the existing height and general massing of the existing home but would add a new gable porch element to the façade.

Site Layout: The single-story residence is located on a 10,000 square-foot (net) corner lot and will meet all required setbacks. The detached garage will take access from Chapman Drive.

Landscaping: The proposed site plan includes new and existing landscaping consisting of trees, bark, turf, shrubs, and flowering plants. The homeowner will retain all protected trees on site.

Consistency with Design Guidelines: The proposed design is consistent with the STANP Guidelines. The proposed home will complement the neighborhood and incorporate representative architectural features (e.g., scale and mass, gable roof lines) of homes in the San Tomas area. Privacy impacts are minimized by maintaining a single-story design.

OPTIONS

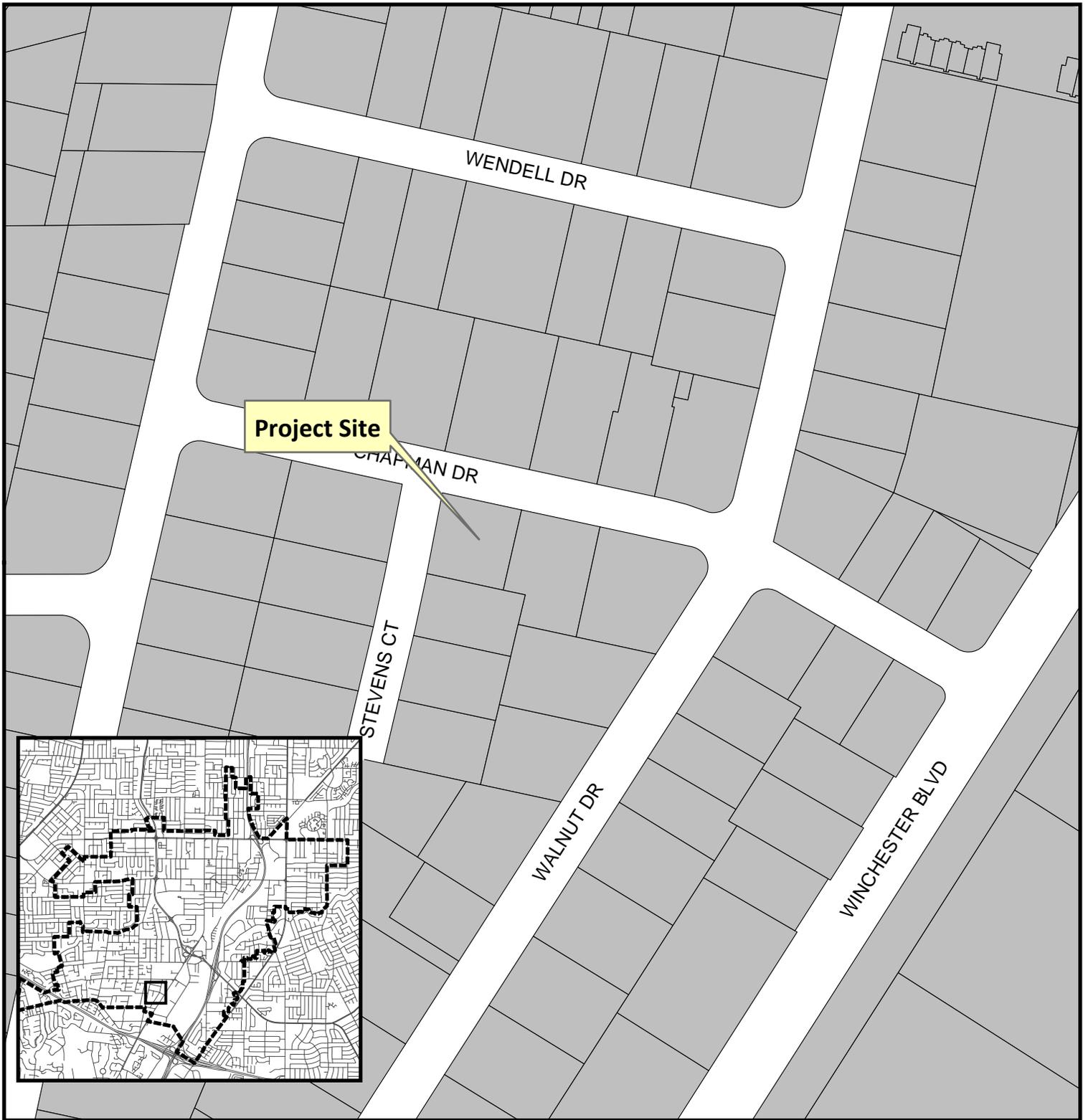
The SARC should review the project's proposed architecture, materials, and landscaping for compliance with the STANP. If the SARC believes that the project meets the intent of the Design Guidelines and the findings for site and architectural review approval, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

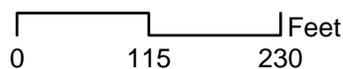
1. Location Map
2. Project Plans

Project Location Map

Attachment 1



600 Chapman Drive
Site & Architectural Review; PLN2016-117
Construction of 1,526 square-foot
single-story residence and 528 square foot detached
garage for a total floor area of 2,426 square feet.



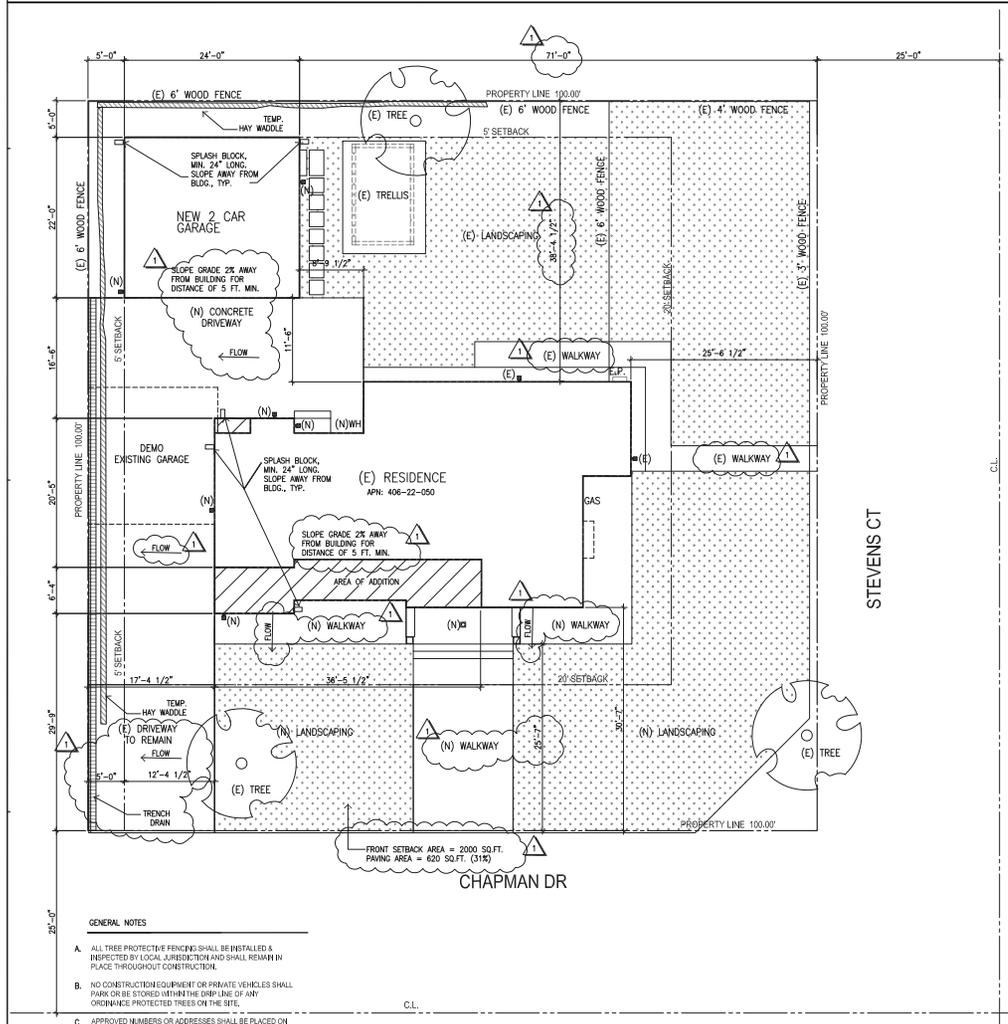
Community Development Department
Planning Division

CRIBARI RESIDENCE REMODELING

600 CHAPMAN DR CAMPBELL, CA 95008



CRIBARI RESIDENCE REMODELING
600 CHAPMAN DR, CAMPBELL, CA 95008



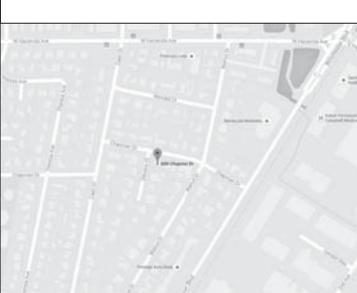
GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY. THE CONTRACTOR SHALL VERIFY THE JURISDICTION AND AS IDENTIFIED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THEREWITH.
- ALL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EACH OTHER. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE DOCUMENTS, HE SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION OF GOVERNING CRITERIA. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT PLACEMENT, ORIENTATION AND COORDINATION OF WORK. INFORMATION SHOWN IN THE LARGEST GRAPHIC ARE INTENDED TO SUPPLEMENT INFORMATION OF SMALLER, PRECEDING REFERENCE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOTATIONS, DIMENSIONS AND DRAWING INDICATORS OF LINE OR SIMILAR KIND.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONSTRUCTION CONDITIONS AND DIMENSIONS PRIOR TO ORDERING, FABRICATING, AND INSTALLATION OF ANY ASSOCIATED WORK. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL PROMPTLY REQUEST FROM THE DESIGNER CLARIFICATION PRIOR TO COMMENCEMENT OF ASSOCIATED WORK.
- DIMENSIONS ARE RELATED SPECIFICALLY TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXTERIOR STUDS, CENTERLINE OF STRUCTURAL COLUMNS AND BEAMS, OR CENTERLINE OF INTERIOR STUDS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS ARE INDICATED FROM FINISHED SURFACES OF MATERIALS OR ASSEMBLIES.
- BUILDING ELEVATION REFERENCES ARE FROM DIRECT APPLICATION OF FINISH FLOORING APPLIED TO THE STRUCTURAL FLOOR SUBSTRATE OF THE GROUND FLOOR DRAINAGE ENTRANCE. CONTRACTOR SHALL INCLUDE REQUIRED DEPRESSIONS AND/OR PROJECTIONS IN ACHIEVING REQUIRED ELEVATIONS. CEILING HEIGHTS ARE REFERENCED TO FINISHED SURFACES UNLESS OTHERWISE NOTED.
- KEYNOTES USED ON THE DRAWINGS ARE FOR ASSEMBLIES, MATERIAL REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE RESPECTIVE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE. NOT ALL KEYNOTES REFERENCED MAY BE APPLICABLE TO SIMILAR TYPE DRAWINGS.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND CONTRACTOR DO NOT GUARANTEE EXISTING CONDITIONS INDICATED ON THESE DOCUMENTS.
- MATERIALS SUSPECTED OF CONTAINING ASBESTOS THAT ARE DISCOVERED DURING THE PROGRESS OF THE WORK SHALL BE REPORTED TO THE OWNER. WORK IN THAT PARTICULAR AREA SHALL BE SUSPENDED UNTIL THE OWNER TESTS THE SUSPECT MATERIAL AND IT IS FOUND TO BE SAFE, OR UNTIL THE SUSPECT MATERIAL HAS BEEN PROPERLY ABATED.
- CONTRACTOR SHALL VERIFY, AT SITE, ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS. SITE VISITS DURING BIDDING SHALL BE COORDINATED WITH THE OWNER IN ACCORDANCE WITH PROVISIONS OF THE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPLACED WITH THE SAME MATERIALS, INCLUDING MATCHING THE EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AS WORK PROGRESSES.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS, REQUIREMENTS, AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH LOCAL ORDINANCES.

PROJECT INFORMATION

APR:	408-22-050
ZONING:	R1-10
STORIES:	1
OWNER CONTACT:	Tad and Gail Cibul 408-405-9565
PLANS PREPARED BY:	D-SQUARE STUDIO 2160 Sumner St San Jose, CA 95122 408-425-9171
GROSS SITE AREA:	15,828 sq.ft.
NET BUILDING AREA:	1,294 sq.ft.
(E) COVERED PATIO:	46 sq.ft.
(E) GARAGE:	339 sq.ft.
TOTAL:	1,668 sq.ft.
AREA OF NEW ADDITION:	232 sq.ft.
NEW TOTAL AREA:	1,898 sq.ft.
(N) COVERED PATIO:	78 sq.ft.
(N) GARAGE:	528 sq.ft.
TOTAL:	2,504 sq.ft.
(E) LOT COVERAGE:	16%
(N) LOT COVERAGE:	25%
(E) FAR:	0.31
(N) FAR:	1.075 ± 0.28 #=0.25
10,000	
PRIVATE OPEN SPACE:	3,560 sq.ft.
REMODELING AREA:	790 sq.ft.
DEVELOPMENT DATA	
BUILDING COVERAGE EXISTING	1,620 SQ.FT. 16%
BUILDING COVERAGE PROPOSED	2,054 SQ.FT. 20%
LANDSCAPE COVERAGE EXISTING	5,746 SQ.FT. 37%
LANDSCAPE COVERAGE PROPOSED	3,886 SQ.FT. 38%
PAVING COVERAGE EXISTING	2,138 SQ.FT. 21%
PAVING COVERAGE PROPOSED	3,550 SQ.FT. 35%
ALL ADJACENT LAND USES ARE RESIDENTIAL	
2 STANDARD PARKING COVERED SPACES	
3 BEDROOMS	

VICINITY MAP



USABLE REAR YARD CALC.

WIDTH OF PROPERTY AT 20' FROM FRONT PROPERTY LINE = 42'
42 X 20 = 840 MINIMUM USABLE REAR YARD AREA
PROPOSED USABLE REAR YARD AREA = 1928 SQ. FT.

CODES

APPLICABLE CODES:	ARCHITECTURAL
2013 CALIFORNIA BUILDING CODE (CBC), (2012 INTERNATIONAL BUILDING CODE)	A-0.0 TITLE SHEET - SITE PLAN
2013 CALIFORNIA RESIDENTIAL CODE (CRC)	A-1.0 CAL GREEN
2013 CALIFORNIA REFERENCE STANDARDS CODE (CRSC)	A-2.0 EXISTING / DEMO PLAN
2013 CALIFORNIA ELECTRICAL CODE (CEC), (2014 NATIONAL ELECTRICAL CODE)	A-2.1 NEW FLOOR PLAN
2013 CALIFORNIA MECHANICAL CODES (CMC), (2012 UNIFORM MECHANICAL CODE)	A-2.2 ELEVATIONS
2013 CALIFORNIA PLUMBING CODE (CPC), (2012 UNIFORM PLUMBING CODE)	A-3.1 ELEVATIONS
2013 CALIFORNIA FIRE CODE (CFC), (2012 INTERNATIONAL FIRE CODE)	A-3.2 ELEVATIONS / SECTION
2013 CALIFORNIA ENERGY CODE	A-4.0 GARAGE ELEV / STREETSCAPE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE	A-5.0 ROOF PLAN
2013 CALIFORNIA EXISTING BUILDING CODE (CEBC)	

SHEET INDEX

SHEET	TITLE SHEET & SITE PLAN
SCALE	AS SHOWN
DATE	3/04/2016
PRJ.No.	2016-01
DRAWN BY:	www.d-squarestudio.com 408-625-9171

PROJECT DESCRIPTION

REMODEL OF 790 SQ.FT. APPROX. INCLUDING KITCHEN, DINING, LAUNDRY ROOM, GUEST BEDROOM, BATHROOM WITH AN ADDITION OF 232.53 SQ.FT. DEMO OF EXISTING GARAGE AND NEW GARAGE IN THE BACK OF THE PROPERTY, NEW PORCH

REVISIONS:
▲ PLANNING 05-17-16

SHEET TITLE SHEET & SITE PLAN
SCALE AS SHOWN
DATE 3/04/2016
PRJ.No. 2016-01
DRAWN BY: www.d-squarestudio.com
408-625-9171

A-0.0

PLEASE SEE KEY FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT

GENERAL NOTES

- ALL TREE PROTECTIVE FENCES SHALL BE INSTALLED & INSPECTED BY LOCAL JURISDICTION AND SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIP LINE OF ANY ORNAMENTAL PROTECTED TREES ON THE SITE.
- APPROVED NUMBERS OR DEGREES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- ALL UTILITIES FOR NEW CONSTRUCTION SHALL BE UNDERGROUND. FOR REMODELS AND RENOVATIONS, CHECK W/ LOCAL JURISDICTION.

SITE PLAN
SCALE: 1/8" = 1'-0"





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REVISIONS:
▲ PLANNING 05-17-16

SHEET EXISTING/
DEMO PLAN

SCALE AS SHOWN

DATE 3/04/2016

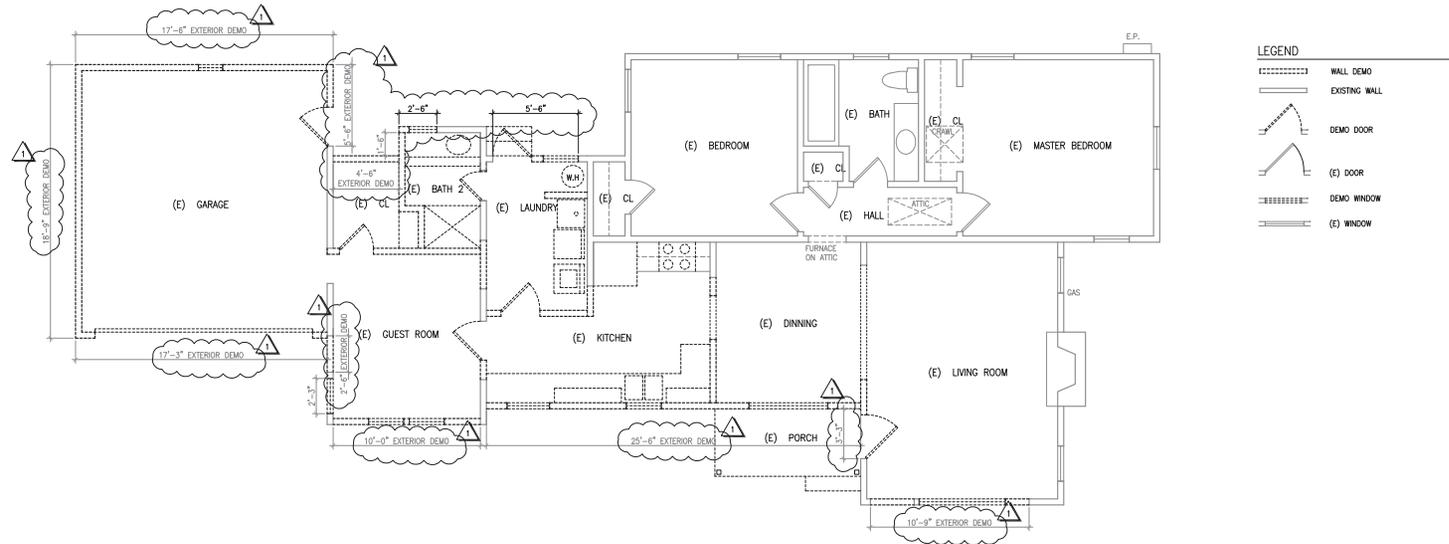
PRJ.No. 2016-01

DRAWN BY:
www.j-squarestudio.com
408-625-9171

A-2.0

PLEASE SEE SET FOR CONSTRUCTION UNLESS
APPROVED AND STAMPED BY BUILDING DEPARTMENT

Exterior Walls	Lineal feet
Existing area (including garage)	169'-3" (House) 59'11" (Garage) Total = 229'-2"
Area to be removed/ replaced/ or relocated	68'-3" (House) 59'-0" (Garage) Total = 127'-3"
Proposed new area	77'-9" (House) 92' (Garage)
Total area following construction	183'-8" (House) 92' (Garage) Total = 275'-8"

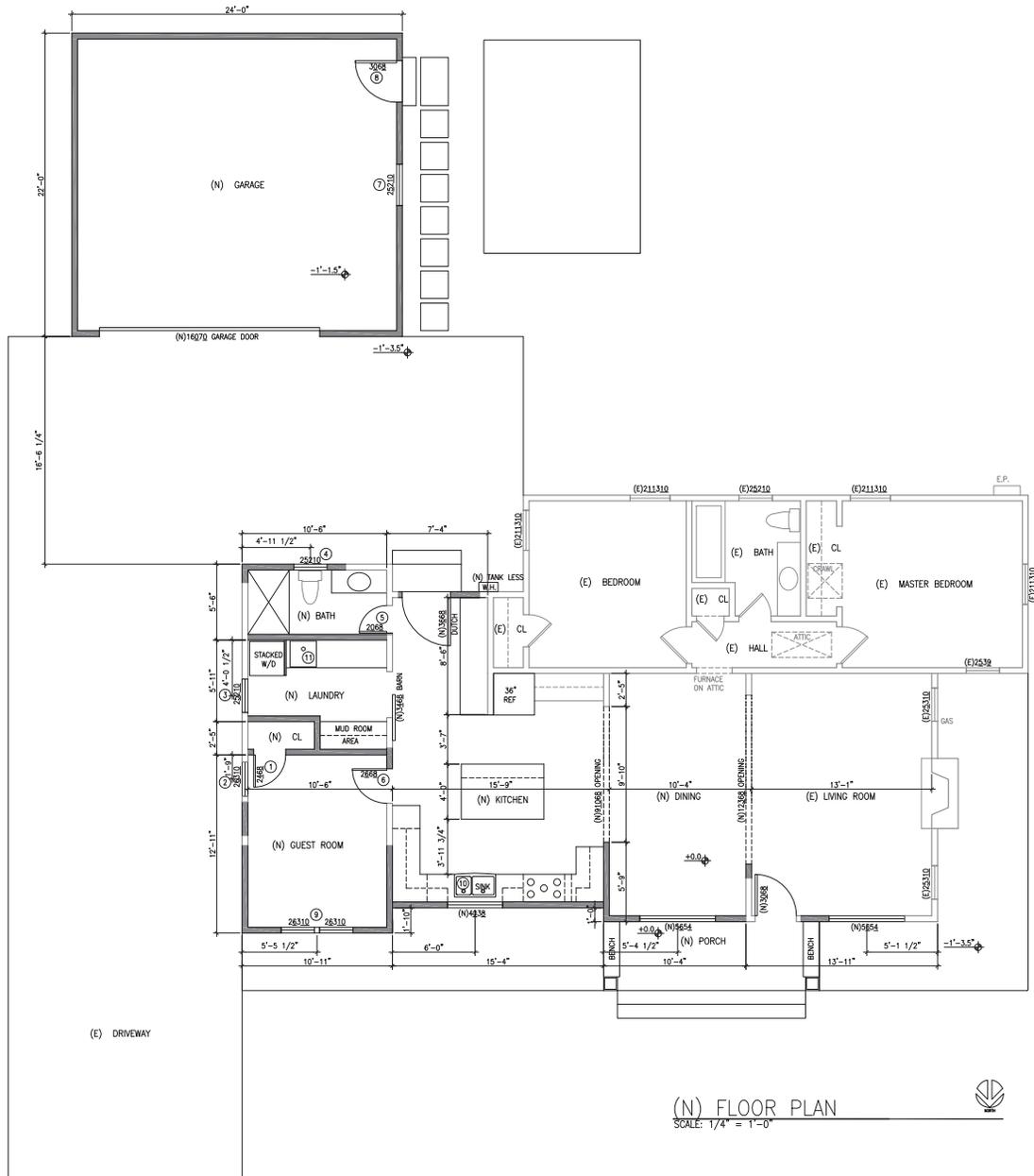


LEGEND

	WALL DEMO
	EXISTING WALL
	DEMO DOOR
	(E) DOOR
	DEMO WINDOW
	(E) WINDOW

(E) DEMO PLAN
SCALE: 1/4" = 1'-0"





(N) FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. LANDING AT EXT. DOORS SHALL BE THE WIDTH OF THE OPERABLE DOOR X 30" DEEP PER CBC 108.2.5. THE LANDING SHALL NOT BE MORE THAN 2'7" BELOW THE TOP OF THE THRESHOLD PER CBC 100.1.4. THRESHOLDS SHALL NOT EXCEED 2" MAX. DOWN FOR OUTWARD SWINGING DOORS, 7/8" FOR SLIDERS, AND 2.75" MAX. FOR INWARD SWINGING DOORS PER CBC 101.3.
- B. ALL SLEEPING ROOMS TO BE PROVIDED WITH ONE EGRESS ESCAPE RESCUE WINDOW. EGRESS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. CLR. HT. OF 24" AND A MIN. CLEAR WIDTH OF 20". BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44" ABOVE FINISHED FLOOR. PER CBC SECTION 1008.
- C. SEE CAL GREE SHEET FOR WATER EFFICIENCY AND CONSERVATION INDOOR WATER USE.
- D. PROVIDE 30" (65) MM X 24" IN FRONT MIN CLR FOR ALL TOILETS
- E. PROVIDE DOOR STOPS FOR ALL INTERIOR DOORS
- F. PROVIDE MOISTURE RESISTANT, GYP BD. & FIRE RATED IN ALL WET LOCATIONS.
- G. WHERE DEMOLITION AND NEW WORKS OCCUR, PATCH AND REPAIR (E) FINISHES TO MATCH (N) CONSTRUCTION.
- H. EXTEND DEMOLITION IS NOT LIMITED TO THE ITEMS NOTED. REMOVE ADDITIONAL ITEMS ADJACENT TO THE NEW CONSTRUCTION AS REQUIRED.
- I. REMOVE FLOOR IN AREAS AFFECTED BY WALL DEMOLITION
- J. DRYER TO BE VENTED TO THE EXTERIOR WITH A BACKDRIFT DAMPER

KEY NOTES

- ① REUSE EXISTING CLOSET DOOR
- ② REUSE EXISTING GUESTROOM WINDOW
- ③ REUSE EXISTING KITCHEN WINDOW
- ④ REUSE EXISTING LAUNDRY ROOM WINDOW
- ⑤ REUSE EXISTING BATHROOM DOOR
- ⑥ REUSE EXISTING GUEST ROOM DOOR
- ⑦ REUSE EXISTING KITCHEN WINDOW
- ⑧ REUSE EXISTING FRONT DOOR
- ⑨ REUSE EXISTING GUEST ROOM WINDOWS
- ⑩ FARMHOUSE 34" X 21.25" UNDERMOUNT DOUBLE BOWL KITCHEN SINK
- ⑪ REUSE EXISTING UTILITY SINK FROM (E) LAUNDRY ROOM

LEGEND

- NEW 2x4 STUDS @ 16" O.C.
- EXISTING WALLS
- EXISTING DOORS
- NEW DOORS



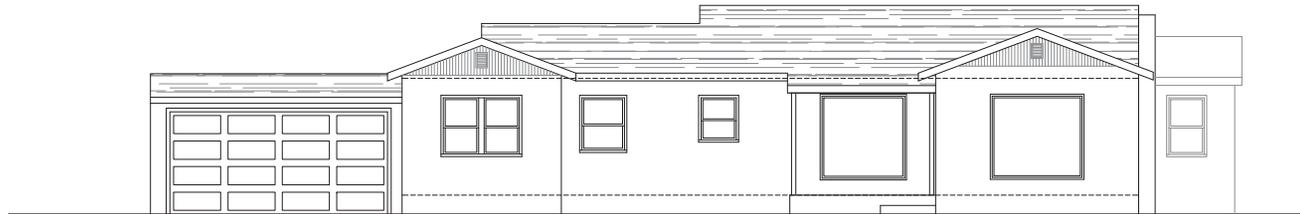
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REVISIONS:
▲ PLANNING 05-17-16

SHEET	NEW FLOOR PLAN
SCALE	AS SHOWN
DATE	3/04/2016
PRJ.No.	2016-01
DRAWN BY: www.d-squarestudio.com 408-625-9171	

A-2.1

PLEASE SEE SET FOR CONSTRUCTION DETAILS
APPROVED AND STAMPED BY REGISTERED ARCHITECT



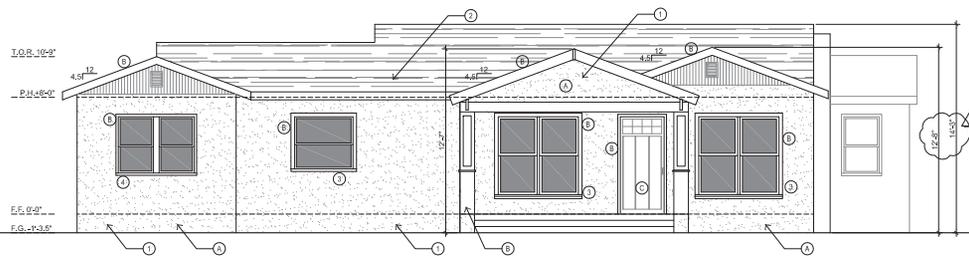
(E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

- ① STUCCO TO MATCH EXISTING
- ② ASPHALT SHINGLE ROOF TO MATCH EXISTING
- ③ (N) WINDOW BY MILGARD, TUSCANY VY/NIL SERIES / WHITE, SEE FLOOR PLAN FOR DIMENSION
- ④ REUSE EXISTING WINDOW, SEE FLOOR PLAN

COLORS

- ⑤ SHERWIN WILLIAMS - SW 6207 - RETREAT
- ⑥ SHERWIN WILLIAMS - SW 7005 - PURE WHITE
- ⑦ SHERWIN WILLIAMS - SW 6871 - POSITIVE RED



(N) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS:
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SHEET ELEVATIONS

SCALE 1/4" = 1'-0"

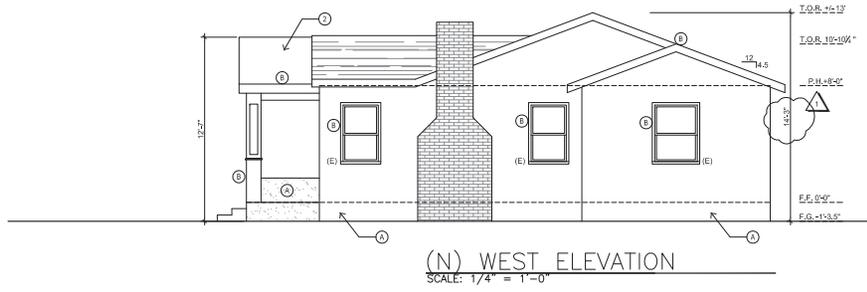
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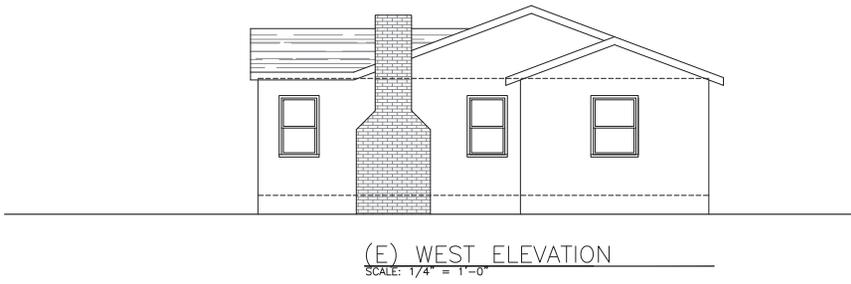
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A-3.0

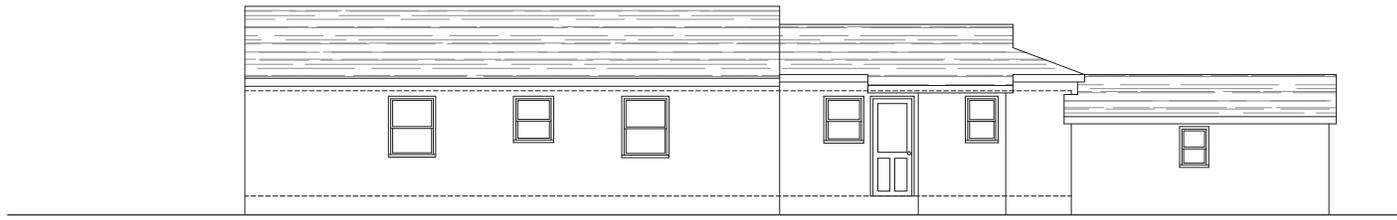
PLEASE SEE SET FOR CONSTRUCTION UNLESS
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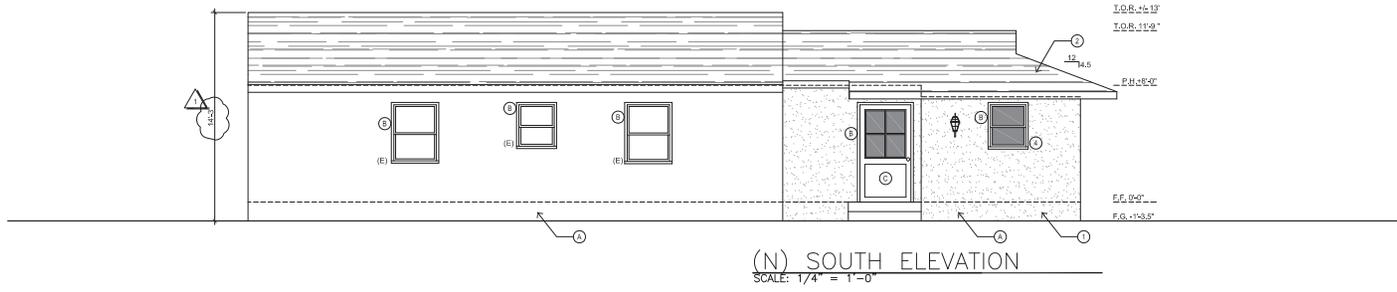
(N) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

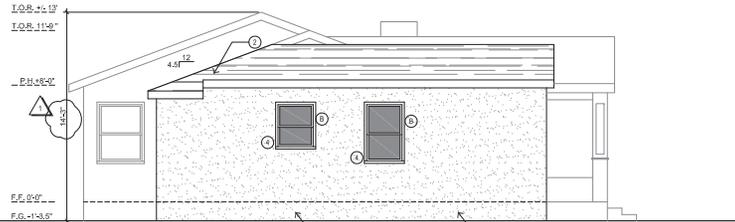
- KEY NOTES**
- ① STUCCO TO MATCH EXISTING
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 - ③ (N) WINDOW BY MILGARD TUSCANY VYNYL SERIES / WHITE. SEE FLOOR PLAN FOR DIMENSION
 - ④ REUSE EXISTING WINDOW. SEE FLOOR PLAN
- COLORS**
- ① SHERWIN WILLIAMS - SW 6207 - RETREAT
 - ② SHERWIN WILLIAMS - SW 7005 - PURE WHITE
 - ③ SHERWIN WILLIAMS - SW 6671 - POSITIVE RED

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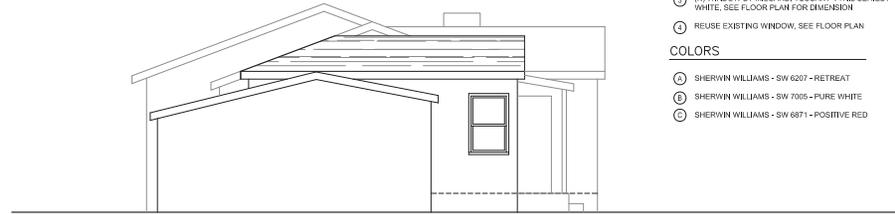
REVISIONS:
 ▲ PLANNING 05-17-16

SHEET	ELEVATIONS
SCALE	1/4" = 1'-0"
DATE	3,04,2016
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A-3.1
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(N) EAST ELEVATION
SCALE: 1/4" = 1'-0"



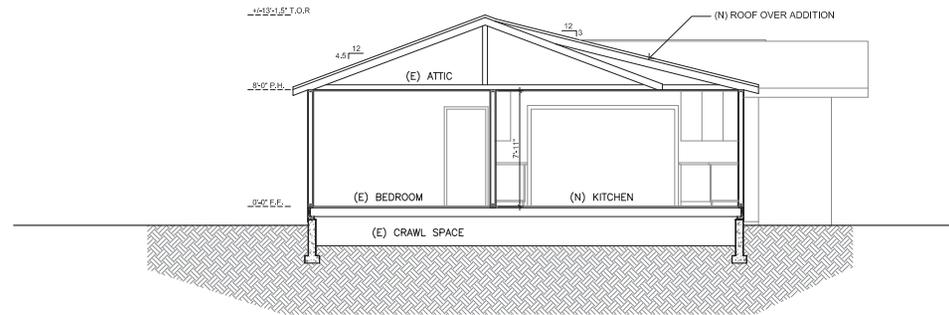
(E) EAST ELEVATION
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KEY NOTES

- ① STUCCO TO MATCH EXISTING
- ② ASPHALT SHINGLE ROOF TO MATCH EXISTING
- ③ (N) WINDOW BY MILGARD; TUSCANY VYNIL SERIES / WHITE. SEE FLOOR PLAN FOR DIMENSION
- ④ REUSE EXISTING WINDOW, SEE FLOOR PLAN

COLORS

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- ② SHERWIN WILLIAMS - SW 7005 - PURE WHITE
- ③ SHERWIN WILLIAMS - SW 6871 - POSITIVE RED



(N) SECTION A
SCALE: 1/4" = 1'-0"

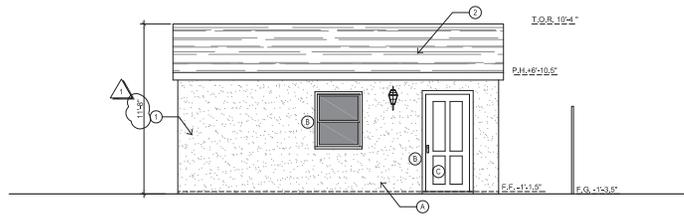
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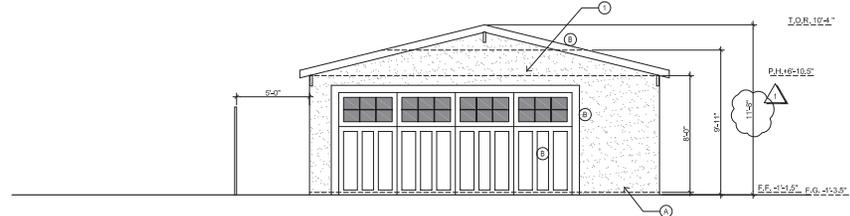
A-3.2

PLEASE USE ONLY FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT



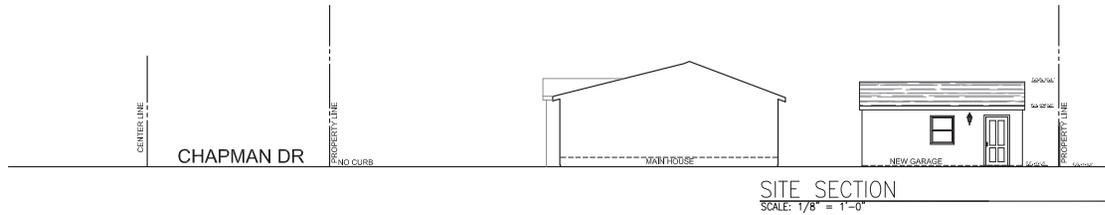
(N) GARAGE WEST ELEVATION

SCALE: 1/4" = 1'-0"



(N) GARAGE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SITE SECTION

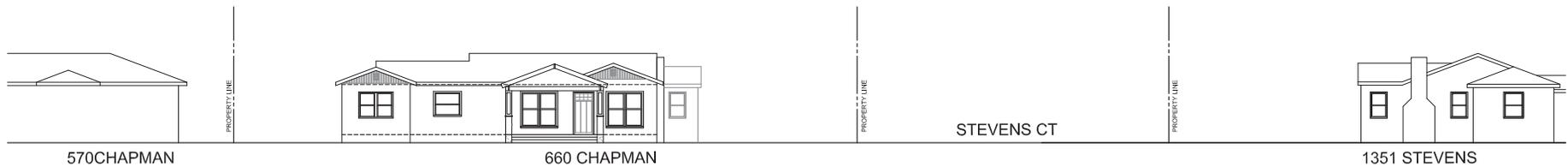
SCALE: 1/8" = 1'-0"

KEY NOTES

- ① STUCCO TO MATCH EXISTING
- ② ASPHALT SHINGLE ROOF TO MATCH EXISTING
- ③ (N) WINDOW BY MIL GARD; TUSCANY VINYL SERIES / WHITE. SEE FLOOR PLAN FOR DIMENSION
- ④ REUSE EXISTING WINDOW. SEE FLOOR PLAN

COLORS

- ① SHERWIN WILLIAMS - SW 4207 - RETREAT
- ② SHERWIN WILLIAMS - SW 7005 - PURE WHITE
- ③ SHERWIN WILLIAMS - SW 6871 - POSITIVE RED



STREETSCAPE

SCALE: 1/8" = 1'-0"

CRIBARI RESIDENCE REMODELING
 600 CHAPMAN DR, CAMPBELL, CA 95008

REVISIONS:
 ▲ PLANNING 05-17-16

SHEET GARAGE ELEV/
 STREETSCAPE

SCALE 1/8" = 1'-0"

DATE 3/04/2016

PRJ.No. 2016-01

DRAWN BY:
 www.d-squaresstudio.com
 408-625-9171

A-4.0

PLEASE SEE SET FOR CONSTRUCTION UNLESS SHOWN OTHERWISE. STAMPED BY BUILDING DEPARTMENT



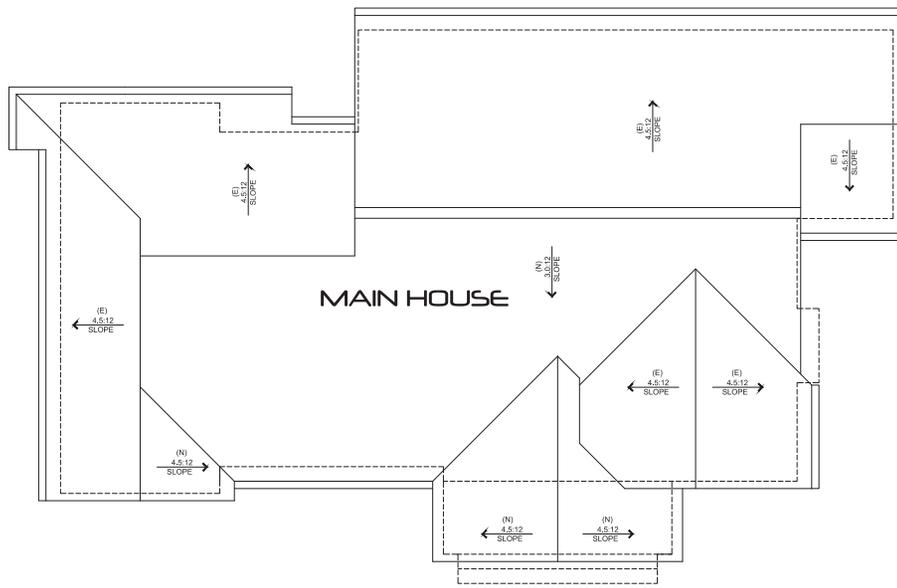
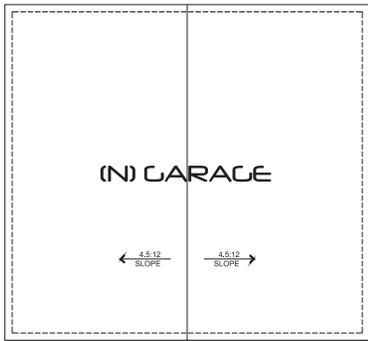
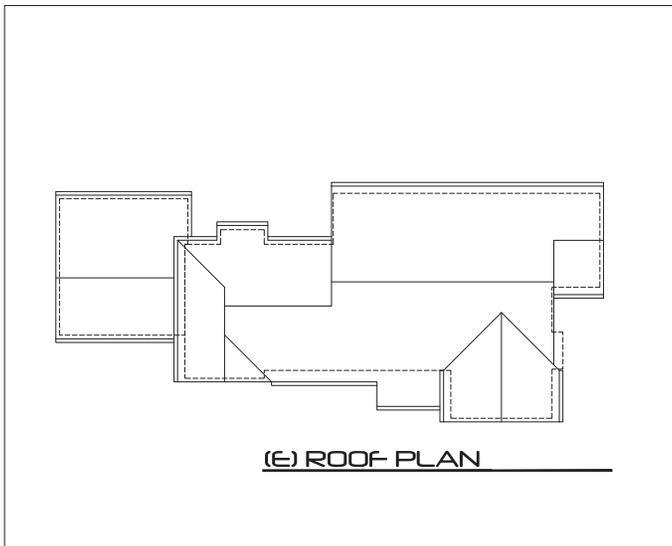
CRIBARI RESIDENCE REMODELING
600 CHAPMAN DR, CAMPBELL, CA 95008

REVISIONS:

SHEET	ROOF PLAN
SCALE	1/4" = 1'-0"
DATE	3.04.2016
PRJ.No.	2016-01
DRAWN BY: www.o-squarestudio.com 408-625-9171	

A-5.0

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND SIGNED BY A LICENSED ARCHITECT



(N) ROOF PLAN
SCALE: 1/4" = 1'-0"

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016
From: Daniel Fama, Acting Senior Planner *DF*
Via: Paul Kermoyan, Community Development Director *PK*
Subject: Modification to a Site and Architectural Review Permit
File No.: PLN2016-15 ~ 1365 Harriet Avenue

PROJECT SITE

The project site is developed with a two-story single-family residence that was constructed pursuant to a Site and Architectural Review Permit (S 97-05) approved by the Planning Commission in 1997 as part of a four-lot subdivision. The subject property is located along Harriet Avenue at its intersection with Walters Avenue, within the R-1-9 (Single-Family Residential) Zoning District in the San Tomas Area (reference **Attachment 1**).

PROPOSAL

The applicant is seeking approval to modify a previously approved Site and Architectural Review Permit to allow construction of a rear covered patio with an upper-level deck (reference **Attachment 2**).

PROJECT DATA

Zoning Designation:	R-1-9 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	12,031 square-feet	
Proposed Height:	18 ½ feet	28 feet Maximum Allowed
Building Square Footage:		
Existing (1st) Living Area:	2,062 square feet	
Existing (2nd) Living Area:	1,595 square feet	
Existing Garage:	<u>666 square feet</u>	
Existing Building Area:	4,323 square-feet	
Floor Area Ratio (FAR):	.36	.45
Proposed Covered Area:	446 square feet	
Proposed Building Coverage:	29%	35% Maximum Allowed
Setbacks	<u>Proposed</u>	<u>Required</u>
Front (east):	20 feet	20 feet
Side (north):	11 feet, 8-inches	10 feet or 60% of the wall height
Side (south):	8 feet	8 feet or 60% of the wall height
Rear (west):	40 feet	25 feet

DISCUSSION

Review of the proposed Modification to the Site and Architectural Review Permit application is governed by the [San Tomas Area Neighborhood Plan \(STANP\)](#). The Plan provides development standards (e.g., height, setback, lot coverage, etc.) as well as design guidelines in terms of design compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for evaluating the design of new residences.

Site Configuration: As depicted on the Site Plan (Sheet A1.0), the covered patio would fill-out the rear left-side corner of the home, extending from the home's dining and living rooms. The patio would be improved with an outdoor kitchen and open dining area.

Design: The proposed project includes two components; a 446 square-foot covered porch that is topped with an upper-level deck. Although the covered patio structure is designed to match the home's existing colors, the side openings are arched, the base would be treated with stone, and the roof-top balcony would be covered with an open trellis. These features are distinct from the existing front covered porch and balcony as shown on the attached site photograph (reference **Attachment 3**). Although design consistency between existing and new construction is urged by the STANP, the proposed improvement is located behind the house such that it would not be visible from the street.

Privacy: Staff requested that the applicant prepare a line-of-site diagram depicting the potential visual impact to the neighboring property to the rear on Robnick Court, which depicts minimal visibility. Additionally, the applicant has secured neighborhood acknowledgment forms from the three abutting neighbors, none of whom who have contacted staff with concerns.

OPTIONS

The SARC should discuss the project for compliance with STANP. If the SARC believes that the applicant has adequately addressed any concerns the Committee may have, it may recommend approval to the Planning Commission as proposed, or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Site Photograph

Project Location Map

Attachment 1



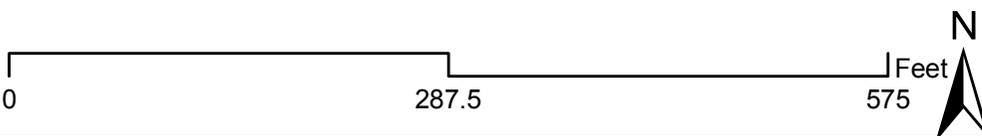
Project Location: 1365 Harriet Ave.

Application Type: Mod. to Site and Arch. Review Permit

Planning File No.: PLN2016-15



Community Development Department
Planning Division



GENERAL NOTES

- A. THIS PROJECT INCLUDES THE ADDITION OF A TWO LEVEL PATIO TO AN EXISTING HOME.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCING WORK AND ASHALL REPORT ANY DISCREPANCIES. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES PRIOR TO THE START OF AND THROUGHOUT CONSTRUCTION.
- C. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR WHERE NO DIMENSIONS IS PROVIDED, CONSULT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIMENSIONS WITH DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- D. DIMENSIONING: THESE DOCUMENTS SHOULD BE CONSIDERED AS A PART OF THE COMPLETE DRAWING SET. IT IS INTENDED THAT THE STRUCTURAL DRAWINGS PROVIDE SUFFICIENT DIMENSIONS TO LOCATE THE PRIMARY STRUCTURAL ELEMENTS AND MEMBERS. LOCATION OF SECONDARY MEMBERS, WHICH ARE AFFECTED BY SYSTEMS DETAILED BY OTHERS, MAY REQUIRE REFERENCE TO CONTRACTOR.
- E. ELEVATIONS: IT IS INTENDED THAT SUFFICIENT INFORMATION IS PROVIDED TO DETERMINE THE ELEVATION OF PRIMARY STRUCTURAL MEMBER AND ELEMENTS AND/OR AT CHANGES IN SLOPE. ELEVATION AT POINTS LOCATED BETWEEN PROVIDED ELEVATIONS MAY BE DETERMINED BY INTERPOLATION.
- F. DETAILS AND NOTES SHOWN ON THESE DRAWINGS SHALL APPLY AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- G. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. ALL REQUESTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER.
- H. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2010 EDITION AS AMENDED BY THE COUNTY OF SANTA CLARA.

PROJECT DATA

PROPERTY CONTACT
LARRAINE METZGER
(510)364-3525

ADDRESS
1365 HARRIET AVENUE
CAMPBELL, CA 95008

LATITUDE
37.2664085

LONGITUDE
-121.9608159

YEAR BUILT
1999

STYLE
SINGLE FAMILY
RESIDENTIAL

BEDS
5

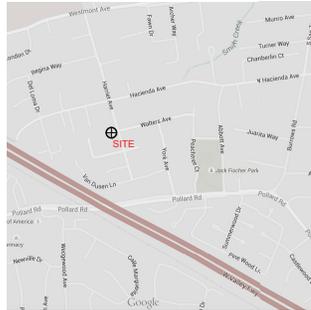
BATHS
3.5

FLOORS
2

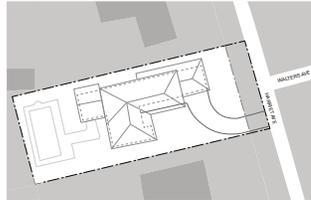
SITE DATA

EXISTING BUILDING AREAS		
1ST FLR	2062	SQFT
2ND FLR	1596	SQFT
GARAGE	666	SQFT
TOTAL	4323	SQFT
LIVE AREA		
LOT SIZE	12,024	SQFT
EXISTING FAR	4,323 / 12,024 = 0.360	
PROPOSED AREA		
	446.25	SQFT

VICINITY MAP
N.T.S.



SITE MAP

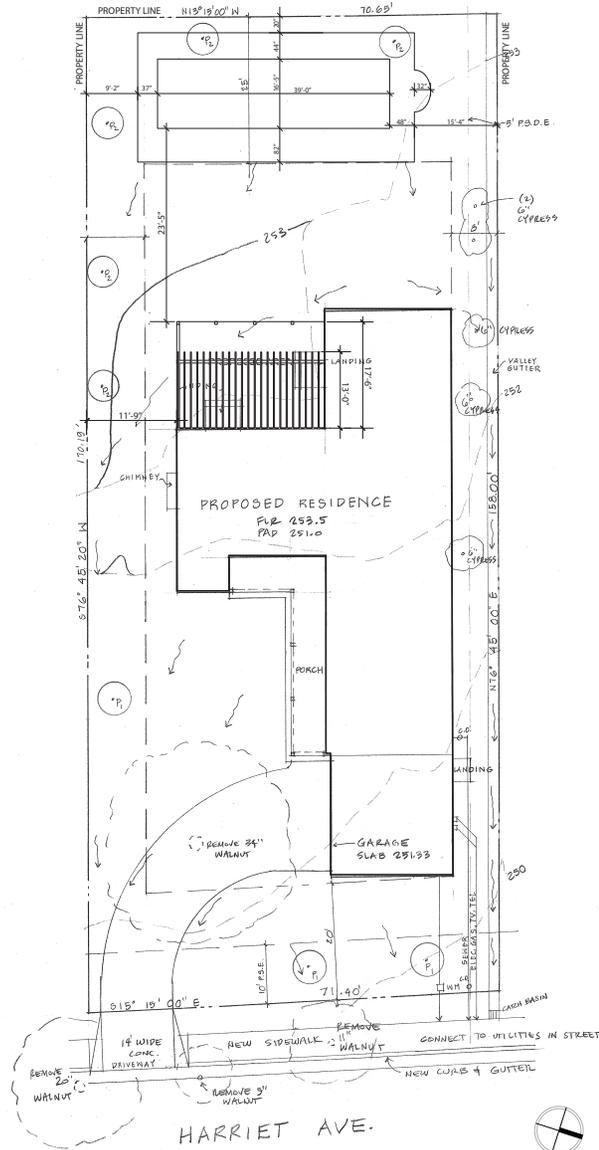


LOT COVERAGE CALCULATIONS

EXISTING BUILDING AREAS			
1ST FLR	2062	SQFT	
GARAGE	666	SQFT	
FRONT BALCONY	270	SQFT	
REAR BALCONY	446	SQFT	
TOTAL	3,444	SQFT	
LOT SIZE	12,024		
EXISTING LOT FAR	29.0%		

DRAWING INDEX

- A1.0 GENERAL NOTES, INDEX AND PLOT PLAN
- A1.1 EXISTING PLANS
- A1.2 PROPOSED PATIO PLANS
- A2.1 ELEVATIONS
- A3.1 SITE LINE DIAGRAM



EXISTING SITE PLAN

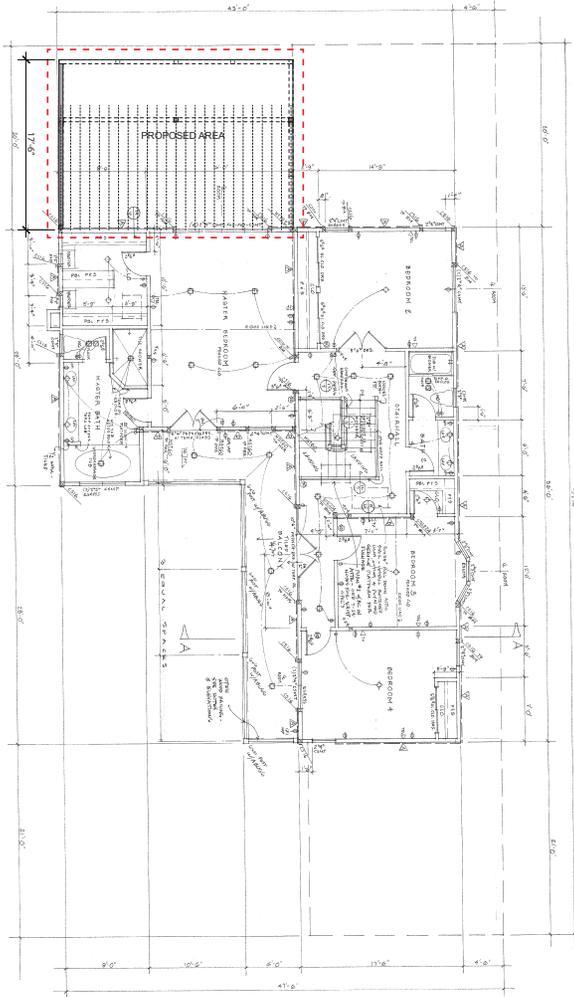
SCALE: 1"=10'-0"

METZGER RESIDENCE
1365 Harriet Avenue
Campbell, CA 95008
Parcel #: 40319129, Lot 101

REVISIONS:	
Date	

Description	
DATE	PATIO ADDITION
Date	08.24.2015
Scale	SEE DWG
Drawn	CY
Job	METZGER
Sheet	

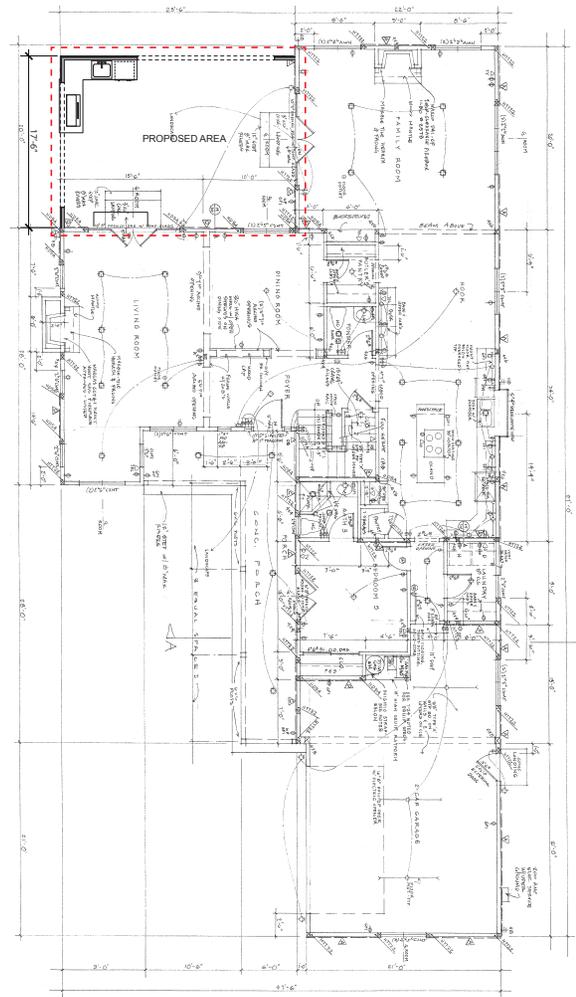
A1.0



EXISTING SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

2



EXISTING FIRST FLOOR PLAN

SCALE 3/16"=1'-0"

1

METZGER RESIDENCE

1365 Harriet Avenue
Campbell, CA 95008
Parcel #: 40319129, Lot 001

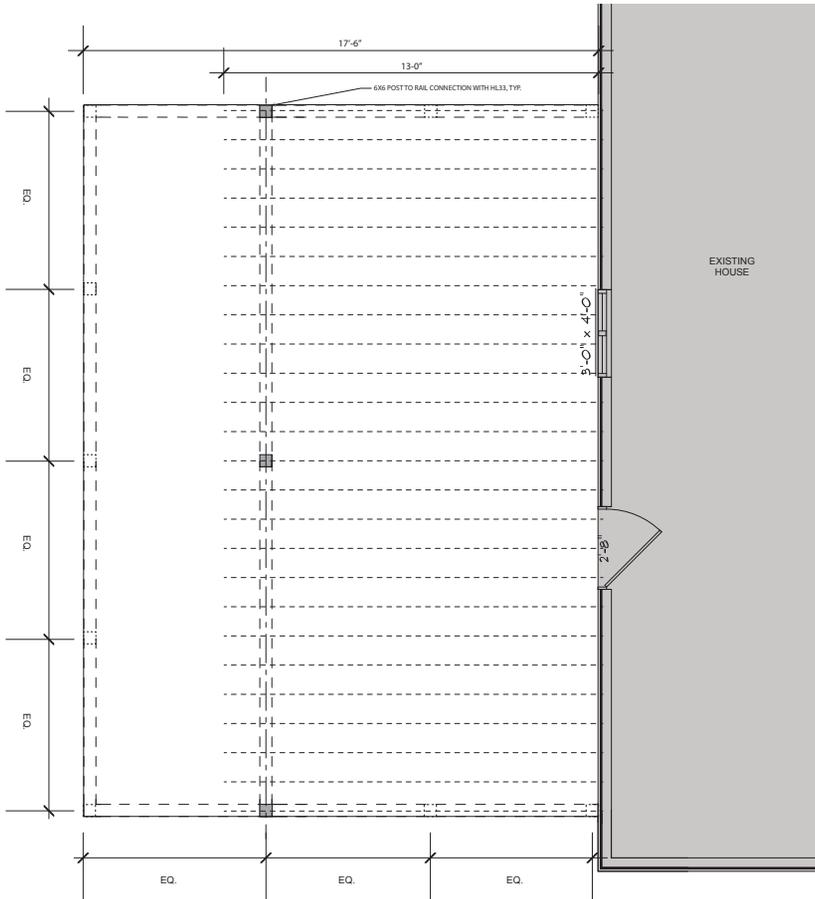
REVISIONS:

Date	Description

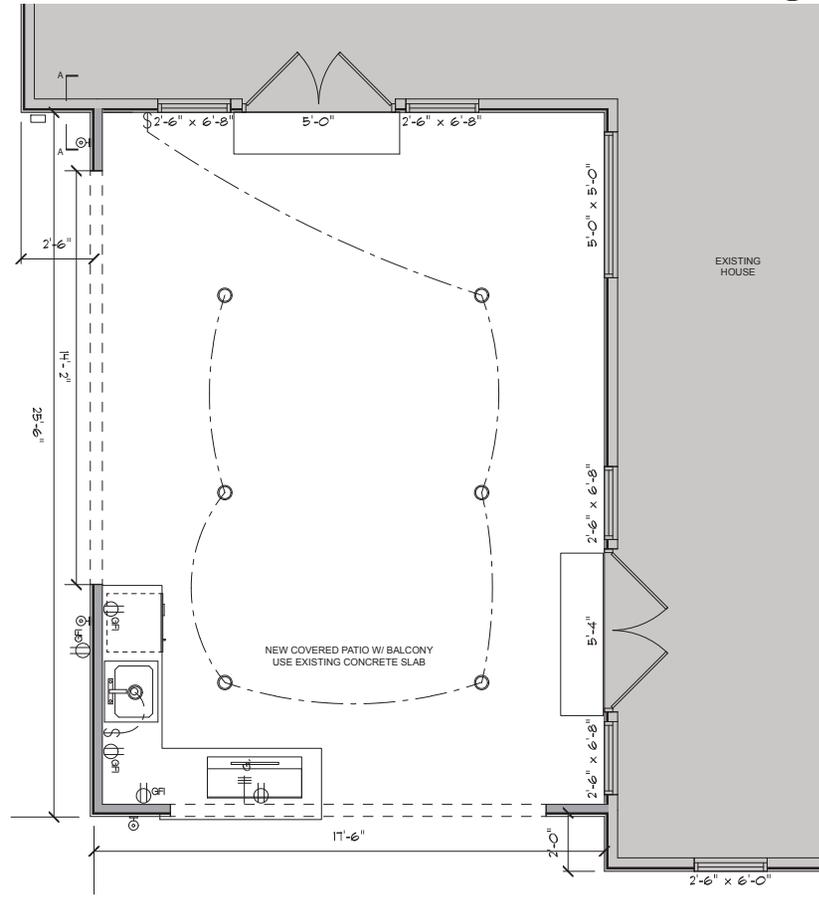
Description

	PATIO ADDITION
Date	08.24.2015
Scale	SEE DWG
Drawn	CY
Job	METZGER
Sheet	

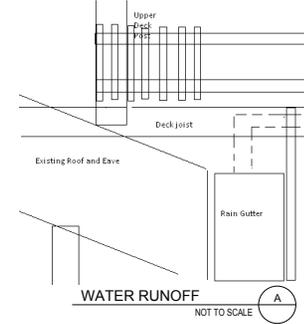
A1.1



PROPOSED SECOND FLOOR PLAN
SCALE: 1/2"=1'-0" 2



PROPOSED FIRST FLOOR PLAN
SCALE: 1/2"=1'-0" 1

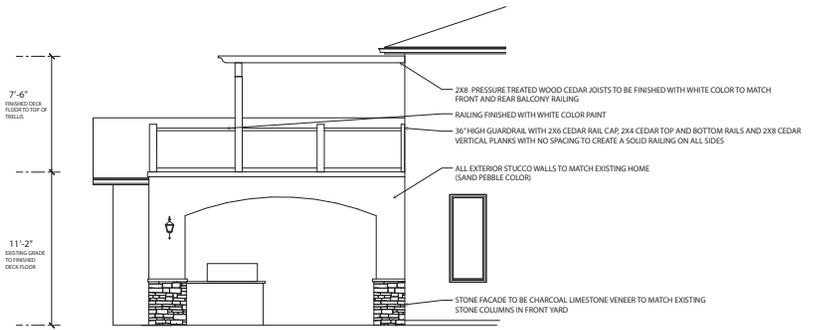


METZGER RESIDENCE
1365 Harriet Avenue
Campbell, CA 95008
Parcel #: 40319129, Lot 001

REVISIONS:	
Date	

Description	Date	Scale	Drawn	Job	Sheet
PROPOSED DECK	08.24.2015	SEE DWG	CY	METZGER	
PROPOSED PATIO ADDITION					

A1.2



PROPOSED LEFT-SIDE ELEVATION 4
SCALE: 1/4"=1'-0"



PROPOSED REAR (WEST) ELEVATION 3
SCALE: 1/4"=1'-0"



EXISTING REAR (WEST) ELEVATION 2
SCALE: 1/4"=1'-0"



EXISTING LEFT-SIDE (SOUTH) ELEVATION 1
SCALE: 1/4"=1'-0"

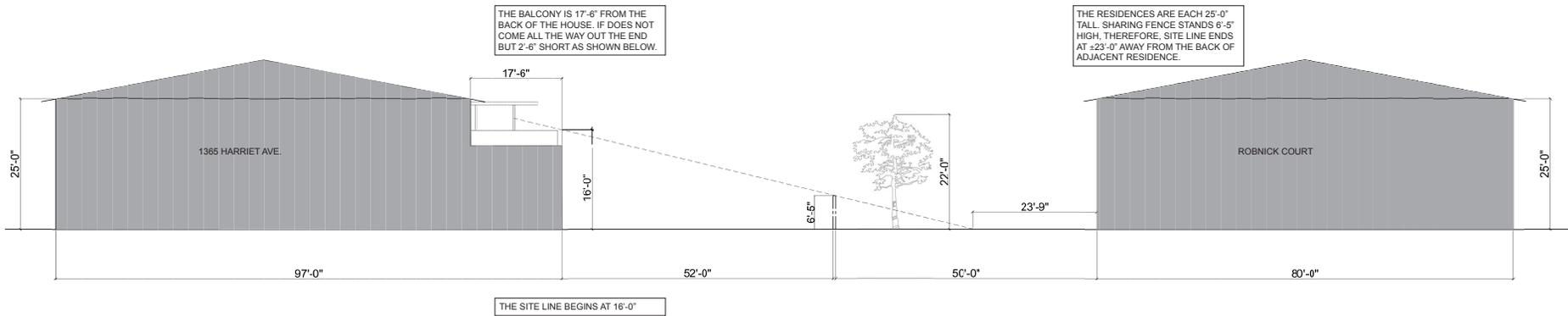
METZGER RESIDENCE
1365 Heiriet Avenue
Campbell, CA 95008
Parcel #: 40319129, Lot 001

REVISIONS:

Date	

Description	PATIO ADDITION
Date	08.24.2015
Scale	SEE DWG
Drawn	CY
Job	METZGER
Sheet	

A2.1



THE BALCONY IS 17'-6" FROM THE BACK OF THE HOUSE. IF DOES NOT COME ALL THE WAY OUT THE END BUT 2'-6" SHORT AS SHOWN BELOW.

THE RESIDENCES ARE EACH 25'-0" TALL. SHARING FENCE STANDS 6'-5" HIGH, THEREFORE, SITE LINE ENDS AT ±23'-0" AWAY FROM THE BACK OF ADJACENT RESIDENCE.

THE SITE LINE BEGINS AT 16'-0"

LINE OF SITE DIAGRAM

SCALE: 1/8"=1'-0" 1

METZGER RESIDENCE

1365 Harriet Avenue
Campbell, CA 95008
Parcel #: 40319129, Lot 001

REVISIONS:	
Date	.

Description	PATIO ADDITION
Date	08.24.2015
Scale	SEE DWG
Drawn	CY
Job	METZGER
Sheet	

A3.1



MEMORANDUM

Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016

From: Daniel Fama, Acting Senior Planner *DF*

Via: Paul Kermoyan, Community Development Director *PK*

Subject: Sign Permit

File No.: PLN2016-168 ~ 1500,1506,1510,1520 Dell Ave.

PROJECT SITE

The 5 ½ acre project site consists of two parcels, located along Dell Avenue, south of Hacienda Avenue (reference Attachment 1). The site is developed with four industrial buildings comprising 95,000 square-feet of gross floor area.

PROPOSAL

The requested Sign Permit would allow an additional number of signs beyond that approvable by the Community Development Director. Specifically, the application would allow installation of four 43 square-foot monuments where normally only one would be allowed. These signs would replace the four existing signs on the site.

DISCUSSION

Sign Ordinance Standards: Campbell Municipal Code (CMC) Sec. 21.30.080.A.2 specifies that industrial properties are allowed one (1) freestanding sign for each parcel of land or commercial center, *whichever is less*. Since the two properties have shared physically connected parking facilities, they constitute a single commercial center, allowing for only one free-standing sign. To allow an additional number of signs, the Planning Commission must consider the applicable findings to allow an additional number of signs as specified by CMC Sec. 21.30.030.C, which speak to ensuring that additional signage is granted only when necessary to ensure adequate visibility.

The proposed number of signs may be seen as commensurate with the size of the property and with the number of buildings. At over 5 ½ acres, and with over 500 feet of linear feet of frontage along Dell Avenue, four signs—which are smaller than the 50 square-foot maximum—is the minimum necessary to adequately identify the properties. Moreover, as noted, the four signs would replace four existing signs such that the proposal would not result in an additional numbers signs on the property.

Design: The proposal presents a consistent design for the proposed four signs. Each would be set atop a stacked-stone base and consists of an aluminum cabinet with acrylic sign panels identifying the business tenants. Additionally, each sign would include a vertical address panel to more clearly identify each building.

SUMMARY

The SARC should discuss the appropriateness of the proposed additional signage. If the SARC believes that the proposed MSP is consistent with the finding for allowance of additional signage, it may recommend approval of the request to the Planning Commission.

Attachments:

1. Location Map
2. Sign Plan

Project Location Map

Attachment 1



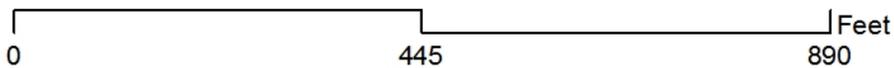
Project Location: 1500,1506,1510,1520 Dell Ave.

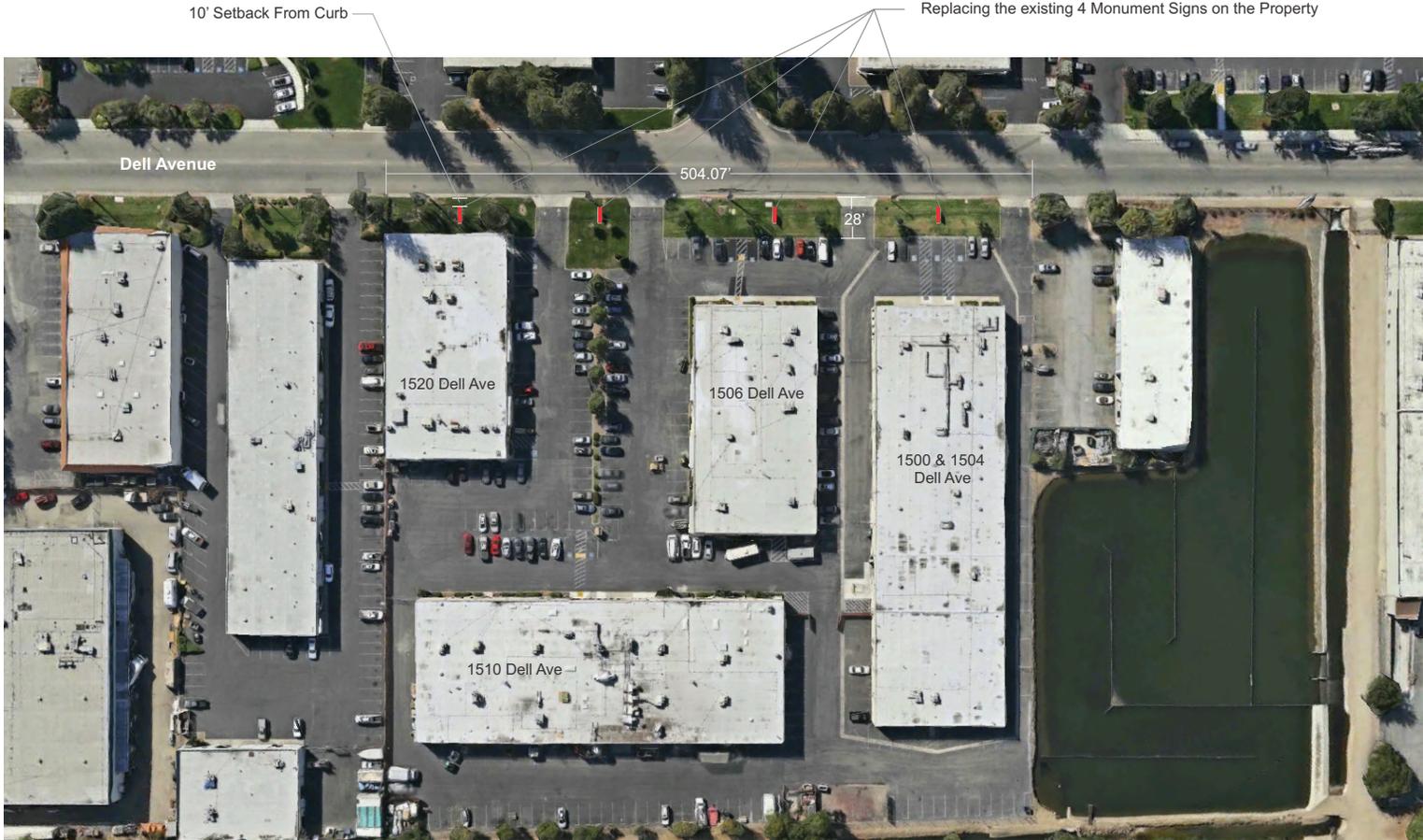
Application Type: Sign Permit

Planning File No.: PLN2016-168



Community Development Department
Planning Division





A | Site Plan

Amcoe Sign Co.

Coulthard Identity Group

37428 Centralmont Place, Ste. A
Fremont, CA 94536
Tel: 650-858-1221
Fax: 650-858-2144
www.amcoesign.com

H&S Property Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

▶ 1st	\$45
2nd	\$45
3rd	\$45
4th	\$45
5th	\$45
6th	\$45
7th	\$45
8th	\$45

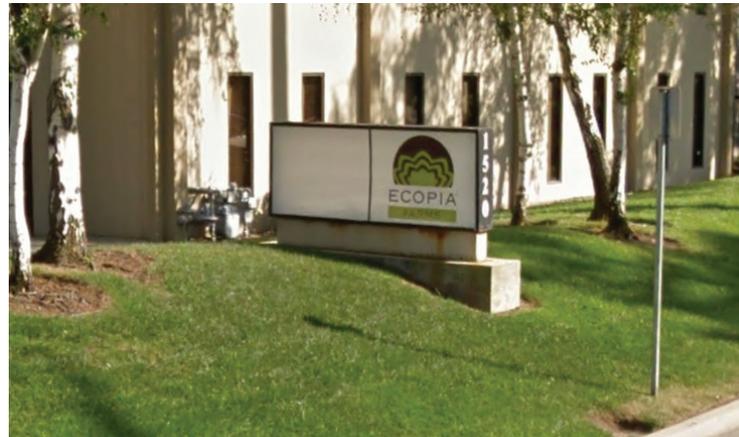
Changes Needed:

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Date:

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B 4 Old Existing Monument Signs

Amcoe Sign Co.

Coulthard Identity Group

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Tel: 650-858-1221
Fax: 650-858-2144

www.amcoesign.com

H&S Property
Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

Rev	Description	Cost
▶ 1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
8th		\$45

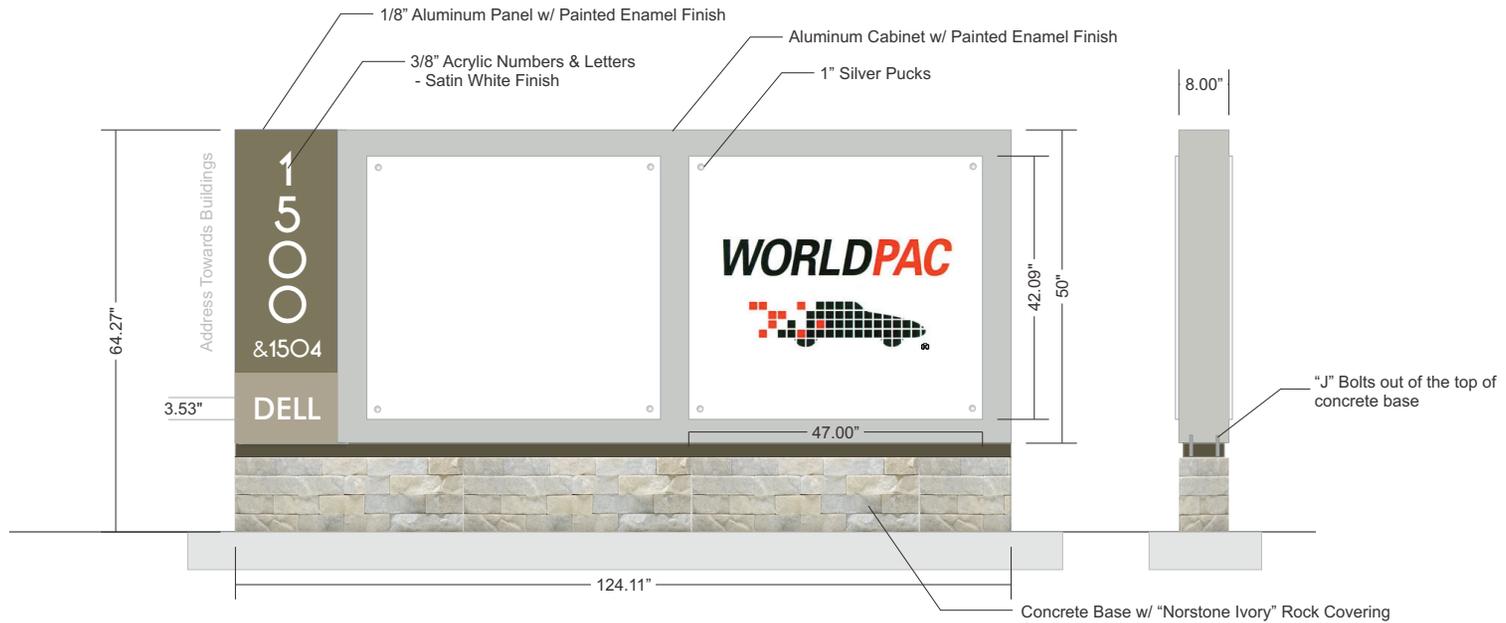
Changes Needed:

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A Double Faced - Non-Illuminated - Monument Sign - Double Tenant



Background of All Signs - PMS 428 C

Amcoe Sign Co.

Coulthard Identity Group

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H&S Property Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

Rev	Description	Cost
1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
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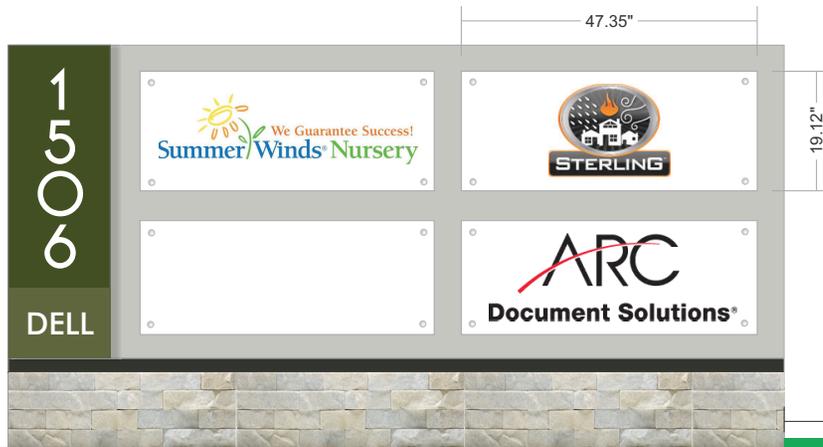
Changes Needed:

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All 4 Signs will comply with
10' Setback from Curb

Amcoe Sign Co.

Coulthard Identity Group

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Fremont, CA 94536
Tel: 650-858-1221
Fax: 650-858-2144

www.amcoesign.com

H&S Property
Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

Revision	Description	Cost
1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
8th		\$45

Changes Needed:

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Date:

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B Double Faced - Non-Illuminated - Monument Sign - 4 Tenants



PMS 7598C



PMS 5763C

Background of All Signs - PMS 428 C



C Double Faced - Non-Illuminated - Monument Sign - Single Tenant



Background of All Signs - PMS 428 C

Amcoe Sign Co.

Coulthard Identity Group

37428 Centralmont Place, Ste. A
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Tel: 650-858-1221
Fax: 650-858-2144
www.amcoesign.com

H&S Property Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

▶ 1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
8th		\$45

Changes Needed:

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Scan & Email back changes needed**

Approved by:

Date:

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D Double Faced - Monument Sign - Non-Illuminated - 2 Tenants



Background of All Signs - PMS 428 C

Amcoe Sign Co.

Coulthard Identity Group

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Tel: 650-858-1221
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H&S Property Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

▶ 1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
8th		\$45

Changes Needed:

**Please Mark on this Document
Scan & Email back changes needed**

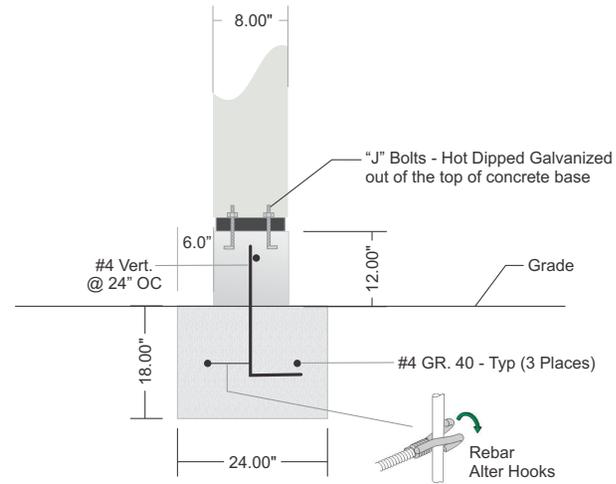
Approved by:

Date:

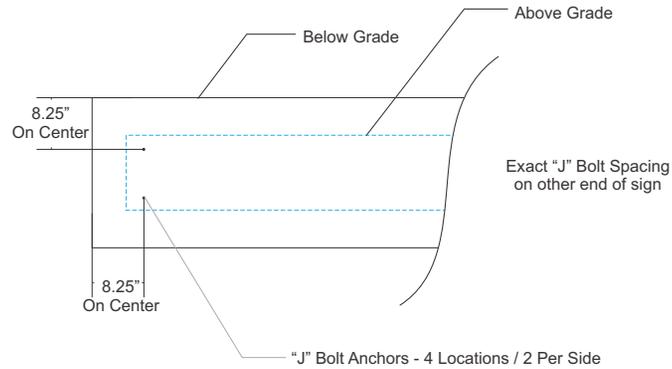
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Example of "J Bolt" Concrete Pad



"J" Bolt Anchors - Hot Dipped Galvanized out of the top of concrete base



1-3 Monument Sign Footing - 6' Tall Sign or Below

Amcoe Sign Co.

Coulthard Identity Group

37428 Centralmont Place, Ste. A
Fremont, CA 94536
Tel: 650-858-1221
Fax: 650-858-2144

www.amcoesign.com

H&S Property Management
1500 Dell Ave
Campbell, CA

Designed by: Steven K. Coulthard

Scale:

Date: 09/25/2015

Design Revisions

Rev	Description	Cost
1st		\$45
2nd		\$45
3rd		\$45
4th		\$45
5th		\$45
6th		\$45
7th		\$45
8th		\$45

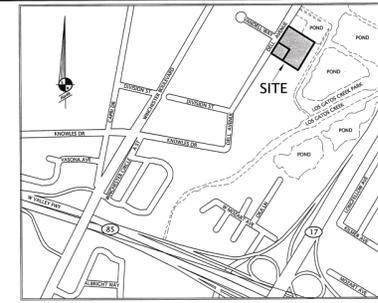
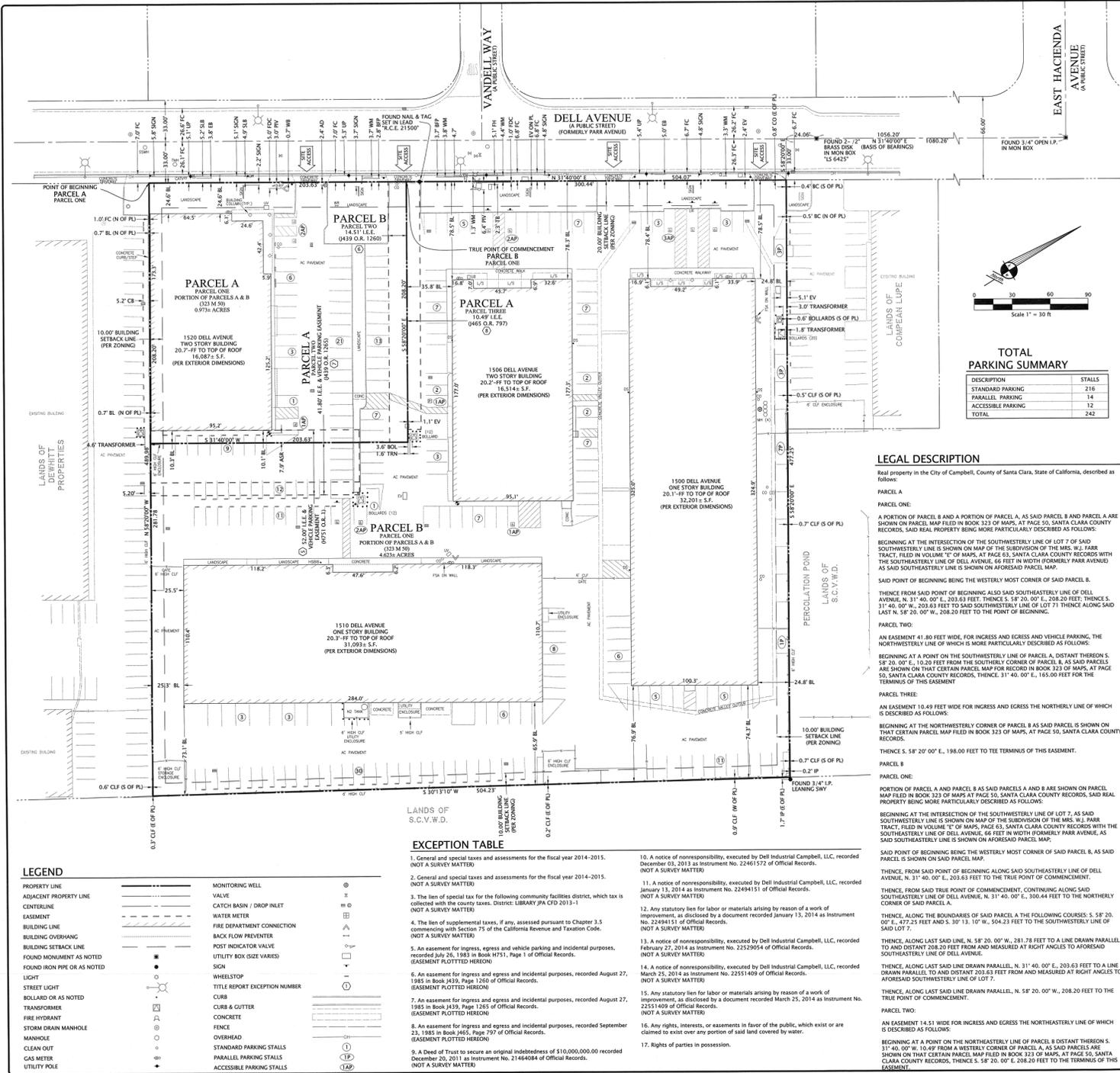
Changes Needed:

**Please Mark on this Document
Scan & Email back changes needed**

Approved by:

Date:

2015 © Coulthard Identity Group / Amcoe Sign Co. (and/or its consultants) owns all copyrights, other intellectual property rights, and other interests in this work product, and it is protected by United States copyright laws and international treaty provisions. Coulthard Identity Group / Amcoe Sign's work product may not be copied, reused, or transferred to any third party without Coulthard Identity Group's written consent.



NOTES

- All distances shown herein are in feet and decimals thereof.
- This survey was prepared from information furnished in a Preliminary Title Report, prepared by First American Title Insurance Company, dated November 4, 2014, Order No. MCL-701074-SC. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the boundary lines, exceptions, or easements affecting the property.
- Physical items shown on this survey are limited to those items visible as of the date of this survey. Subsurface structures, if any, are not shown. Said subsurface objects may include, but are not limited to, concrete footings, slabs, shoring, structural piles, utility pipes, underground tanks, and any other subsurface structures not revealed by a surface inspection.
- A.P.N.'s: 424-3114 & 424-3115
- Zoning Note: This survey makes no evaluation as to compliance with zoning and building codes and/or ordinances other than current municipal building setback line locations. The subject property is currently zoned "C-M"; Controlled Manufacturing. The current building setbacks for this zoning designation are: Front: 20 ft. Side: 10 ft. Rear: 10 ft. Floor Area Ratio: 0.40 Building Height: 45 ft.
- Information was obtained from the City of Campbell, Planning Department on December 15, 2014.
- Basis of Bearings: The bearing of North 31°14'00" East taken on the centerline of Dell Avenue as shown on that certain Parcel Map filed for record on October 30, 2000 in Book 713 of Maps at Page 32 & 33, Santa Clara County Records, then related to North 31°14'00" East taken on the centerline of Dell Avenue as shown on that certain Parcel Map filed for record on May 29, 1973 in Book 323 of Maps at Page 50, Santa Clara County Records, was taken as the Basis of all Bearings shown hereon.
- Flood Zone Note: The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060338 0239 H, dated May 16, 2009, as being located in Flood Zone "X". Areas of determined to be outside the 0.2% annual chance flood. Information was obtained from the Federal Emergency Management Agency website on December 15, 2014.
- There was no observable evidence of earth moving work, building construction or building additions at the time of the survey.
- There are no proposed changes in street right of way lines at the time of the survey. There was also no observed evidence of recent street or sidewalk construction or repairs.
- There was no observable evidence of site use as a solid waste dump, pump or sanitary landfill.
- As of the date of this survey there was no observable evidence of any wetland areas within the boundaries of the subject property and the surveyor was not provided with any information or documentation that disclosed that any wetlands may exist. It shall be noted that the undersigned Land Surveyor is not qualified to make an independent judgment determination as to what does or does not constitute a wetland area. Further review of the California Department of Fish and Game web site discloses that it does not show any wetlands areas within the subject property.

TOTAL PARKING SUMMARY

DESCRIPTION	STALLS
STANDARD PARKING	216
PARALLEL PARKING	14
ACCESSIBLE PARKING	12
TOTAL	242

LEGAL DESCRIPTION

Real property in the City of Campbell, County of Santa Clara, State of California, described as follows:

PARCEL A:
 PARCEL ONE
 A PORTION OF PARCEL B AND A PORTION OF PARCEL A, AS SAID PARCELS A AND PARCEL A ARE SHOWN ON PARCEL MAP FILED IN BOOK 323 OF MAPS, AT PAGE 50, SANTA CLARA COUNTY RECORDS, SAID REAL PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LOT 7 OF SAID SOUTHWESTERLY LINE IS SHOWN ON MAP OF THE SUBDIVISION OF THE MRS. W.J. FARR TRACT, FILED IN VOLUME "E" OF MAPS, PAGE 63, SANTA CLARA COUNTY RECORDS WITH THE SOUTHWESTERLY LINE OF DELL AVENUE, 66 FEET IN WIDTH (FORMERLY PARK AVENUE) AS SAID SOUTHWESTERLY LINE IS SHOWN ON AFORESAID PARCEL MAP.
 SAID POINT OF BEGINNING BEING THE WESTERLY MOST CORNER OF SAID PARCEL B.
 THENCE FROM SAID POINT OF BEGINNING ALSO SAID SOUTHWESTERLY LINE OF DELL AVENUE, N. 31° 40' 00" E., 203.63 FEET; THENCE S. 58° 20' 00" E., 208.20 FEET; THENCE S. 31° 40' 00" W., 203.63 FEET TO SAID SOUTHWESTERLY LINE OF LOT 7 THENCE ALONG SAID LAST N. 58° 20' 00" W., 208.20 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
 AN EASEMENT 41.80 FEET WIDE FOR INGRESS AND EGRESS AND VEHICLE PARKING, THE NORTHWESTERLY LINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF PARCEL A, DISTANT THEREON S. 58° 20' 00" E., 18.20 FEET FROM THE SOUTHWESTERLY CORNER OF PARCEL B, AS SAID PARCELS A AND PARCEL B ARE SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 323 OF MAPS, AT PAGE 50, SANTA CLARA COUNTY RECORDS, THEN RELATED TO NORTH 31°14'00" EAST TAKEN ON THE CENTERLINE OF DELL AVENUE AT THE TERMINUS OF THIS EASEMENT
 PARCEL THREE:
 AN EASEMENT 10.49 FEET WIDE FOR INGRESS AND EGRESS THE NORTHERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHWESTERLY CORNER OF PARCEL B AS SAID PARCEL B IS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 323 OF MAPS, AT PAGE 50, SANTA CLARA COUNTY RECORDS.
 THENCE S. 58° 20' 00" E., 198.00 FEET TO THE TERMINUS OF THIS EASEMENT.

PARCEL B:
 PARCEL ONE
 PORTION OF PARCEL A AND PARCEL B, AS SAID PARCELS A AND B ARE SHOWN ON PARCEL MAP FILED IN BOOK 323 OF MAPS, AT PAGE 50, SANTA CLARA COUNTY RECORDS, SAID REAL PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERLY LINE OF LOT 7, AS SAID SOUTHWESTERLY LINE IS SHOWN ON MAP OF THE SUBDIVISION OF THE MRS. W.J. FARR TRACT, FILED IN VOLUME "E" OF MAPS, PAGE 63, SANTA CLARA COUNTY RECORDS WITH THE SOUTHWESTERLY LINE OF DELL AVENUE, 66 FEET IN WIDTH (FORMERLY PARK AVENUE), AS SAID SOUTHWESTERLY LINE IS SHOWN ON AFORESAID PARCEL MAP.
 SAID POINT OF BEGINNING BEING THE WESTERLY MOST CORNER OF SAID PARCEL B, AS SAID PARCEL B IS SHOWN ON SAID PARCEL MAP.
 THENCE FROM SAID POINT OF BEGINNING ALONG SAID SOUTHWESTERLY LINE OF DELL AVENUE, N. 31° 40' 00" E., 203.63 FEET TO THE TRUE POINT OF COMMENCEMENT.
 THENCE, FROM SAID TRUE POINT OF COMMENCEMENT, CONTINUING ALONG SAID SOUTHWESTERLY LINE OF DELL AVENUE, N. 31° 40' 00" E., 304.4 FEET TO THE NORTHERLY CORNER OF SAID PARCEL A.
 THENCE, ALONG THE BOUNDARIES OF SAID PARCEL A THE FOLLOWING COURSES: S. 58° 20' 00" E., 477.25 FEET AND S. 30° 13' 10" W., 504.23 FEET TO THE SOUTHWESTERLY LINE OF SAID LOT 7.
 THENCE, ALONG SAID SAID LINE, N. 58° 20' 00" W., 281.75 FEET TO A LINE DRAIN PARALLEL TO AND DISTANT 208.20 FEET FROM AND MEASURED AT RIGHT ANGLES TO SAID SOUTHWESTERLY LINE OF SAID LOT 7.
 THENCE, ALONG SAID LINE DRAIN PARALLEL, N. 31° 40' 00" E., 203.63 FEET TO A LINE DRAIN PARALLEL TO AND DISTANT 203.63 FEET FROM AND MEASURED AT RIGHT ANGLES TO AFORESAID SOUTHWESTERLY LINE OF LOT 7.
 THENCE, ALONG SAID LINE DRAIN PARALLEL, N. 58° 20' 00" W., 208.20 FEET TO THE TRUE POINT OF COMMENCEMENT.

PARCEL TWO:
 AN EASEMENT 14.51 WIDE FOR INGRESS AND EGRESS THE NORTHEASTERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF PARCEL B, DISTANT THEREON S. 31° 40' 00" W., 10.49 FEET FROM THE WESTERLY CORNER OF PARCEL A, AS SAID PARCELS A AND PARCEL B ARE SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 323 OF MAPS, AT PAGE 50, SANTA CLARA COUNTY RECORDS, THENCE S. 58° 20' 00" E., 208.20 FEET TO THE TERMINUS OF THIS EASEMENT.

LANDS OF S.C.V.W.D.

EXCEPTION TABLE

- General and special taxes and assessments for the fiscal year 2014-2015. (NOT A SURVEY MATTER)
- General and special taxes and assessments for the fiscal year 2014-2015. (NOT A SURVEY MATTER)
- The lien of special tax for the following community facilities district, which tax is collected with the county taxes. District LIBRARY/JA CTD 2011-1 (NOT A SURVEY MATTER)
- The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code. (NOT A SURVEY MATTER)
- An easement for ingress, egress and vehicle parking and incidental purposes, recorded July 26, 1983 in Book 1751, Page 1 of Official Records. (EASEMENT PLOTTED HEREON)
- An easement for ingress and egress and incidental purposes, recorded August 27, 1985 in Book #439, Page 1260 of Official Records. (EASEMENT PLOTTED HEREON)
- An easement for ingress and egress and incidental purposes, recorded August 27, 1985 in Book #439, Page 1260 of Official Records. (EASEMENT PLOTTED HEREON)
- An easement for ingress and egress and incidental purposes, recorded September 23, 1985 in Book #465, Page 797 of Official Records. (EASEMENT PLOTTED HEREON)
- A deed of trust to secure an original indebtedness of \$10,000,000.00 recorded December 20, 2011 as instrument No. 2144084 of Official Records. (NOT A SURVEY MATTER)
- A notice of nonresponsibility, executed by Dell Industrial Campbell, LLC, recorded December 03, 2013 as instrument No. 24844151 of Official Records. (NOT A SURVEY MATTER)
- A notice of nonresponsibility, executed by Dell Industrial Campbell, LLC, recorded January 13, 2014 as instrument No. 24844151 of Official Records. (NOT A SURVEY MATTER)
- Any statutory lien for labor or materials arising by reason of a work of improvement, as disclosed by a document recorded January 13, 2014 as instrument No. 24844151 of Official Records. (NOT A SURVEY MATTER)
- A notice of nonresponsibility, executed by Dell Industrial Campbell, LLC, recorded February 27, 2014 as instrument No. 22529054 of Official Records. (NOT A SURVEY MATTER)
- A notice of nonresponsibility, executed by Dell Industrial Campbell, LLC, recorded March 25, 2014 as instrument No. 22551409 of Official Records. (NOT A SURVEY MATTER)
- Any statutory lien for labor or materials arising by reason of a work of improvement, as disclosed by a document recorded March 25, 2014 as instrument No. 22551409 of Official Records. (NOT A SURVEY MATTER)
- Any rights, interests, or easements in favor of the public, which exist or are claimed to exist over any portion of said land covered by this survey.
- Rights of parties in possession.

LEGEND

PROPERTY LINE	MONITORING WELL	⊙
ADJACENT PROPERTY LINE	VALVE	⊕
CENTURINE	CATCH BASIN / DROP INLET	⊗
EASEMENT	WATER METER	⊗
BUILDING LINE	FIRE DEPARTMENT CONNECTION	⊗
BUILDING OVERHANG	BACK FLOW PREVENTER	⊗
BUILDING SETBACK LINE	POST INDICATOR VALVE	⊗
FOUND MONUMENT AS NOTED	UTILITY BOX (SIZE VARIES)	⊗
LIGHT	FOUND IRON PIPE OR AS NOTED	⊗
STREET LIGHT	WHEELSTOP	⊗
BOLLARD OR AS NOTED	TITLE REPORT EXCEPTION NUMBER	⊗
TRANSFORMER	CURB	⊗
FIRE HYDRANT	CURB & GUTTER	⊗
STORM DRAIN MANHOLE	FINISH	⊗
MANHOLE	OVERHEAD	⊗
CLEAN OUT	STANDARD PARKING STALLS	⊗
GAS METER	PARALLEL PARKING STALLS	⊗
UTILITY POLE	ACCESSIBLE PARKING STALLS	⊗

ABBREVIATIONS

AC ASPHALTIC CONCRETE	L.P. IRON PIPE
AD AREA DRAIN	L.S. LANDSCAPE
ASR AUTOMATIC SPRINKLER RISER	MH MANHOLE
BC BACK OF CURB	MON MONUMENT
BFP BACK FLOW PREVENTER	O.R. OFFICIAL RECORDS
BL BUILDING	PNV POST INDICATOR VALVE
BOL BOLLARD	PL PROPERTY LINE
CBV CABLE TV	SL STREET LIGHT BOX
CB CATCH BASIN	SSMH SANITARY SEWER MANHOLE
CL CHAIN LINK FENCE	TEL TELEPHONE
CO CLEAN OUT TO GRADE	TMH TELEPHONE MANHOLE
CONC CONCRETE	TRN TRAP
DS DOWNSPUT	UB UTILITY BOX
EB ELECTRICAL BOX	UP UTILITY POLE
EV ELECTRIC VALVE	UR UTILITY RISER
FC FACED CURB	UV UTILITY VAULT
FDC FIRE DEPARTMENT CONNECTION	WB WATER BOX
FH FIRE HYDRANT	WM WATER METER
FSA FIRE SPRINKLER ALARM	WR WATER RISER
I.E.E. INGRESS/EGRESS EASEMENT	

SURVEYOR'S CERTIFICATE

To: WTA DELL LLC
 And: First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NPS, and includes items 2, 3, 4, 6(b), 7(a), 7(b), 7(c), 8, 9, 10(a), 11(a), 11, 12, 13, 14, 15, 16, 17, 18 and 19 of Table A thereof. The field work was completed on December 9, 2014.

DATE: DEC. 2014
 SCALE: 1"=30'
 DESIGNER: [Signature]
 CHECKER: [Signature]
 JOB: A06244-4
 SHEET: 1 OF 1 SHEETS

ALTA/ACSM LAND TITLE SURVEY
 FOR: WTA DELL LLC
 1500-1520 DELL AVENUE
 CAMPBELL, CALIFORNIA

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 1500-1520 DELL AVENUE
 CAMPBELL, CALIFORNIA 95009
 (408) 227-8441

DATE: DEC. 2014
 SCALE: 1"=30'
 DESIGNER: [Signature]
 CHECKER: [Signature]
 JOB: A06244-4
 SHEET: 1 OF 1 SHEETS

MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016

From: Stephen Rose, Associate Planner

Via: Paul Kermoyan, Community Development Director *PK*

Subject: Site and Architectural Review Permit – New SFR reusing portions of existing dwelling

File No.: PLN2016-12

Address: 1376 Capri Drive

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow the construction of a new single-family residence reusing portions of the existing dwelling (reference **Attachment 2**, Project Plans).

PROJECT SITE

The project site is an approximately 10,800 square-foot property located on the east side of Capri Drive, east and south of Chapman Drive, and north of Parr Avenue within the City's San Tomas Area Neighborhood in the R-1-9 (Single-Family Residential) Zoning District (reference **Attachment 1** – Location Map). The site is currently developed with a 1,211 sq. ft. single-story single-family residence and 511 sq. ft. detached garage¹ (reference **Attachment 2** – Project Plans). Single-family residential properties border the site on all sides.

PROJECT DATA

Zoning Designation:	R-1-10 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 3.5 units/gr. acre)	
Net Lot Area:	10,800 square-feet	
Building Height:	16 feet, 10 inches	28 feet Maximum Allowed
Building Wall Height:	10 feet, 4 inches	(N.G. to Top of Plate)
Floor Area:		
Existing Area:	1,211 square-feet	
New Addition:	1,822 square-feet	
Attached Garage:	<u>+500 square-feet</u>	
Total floor area:	3,533 square-feet	
Floor Area Ratio (FAR):	33%	45% Maximum Allowed
Building (Lot) Coverage:	35% ²	35% Maximum Allowed
<u>Setbacks</u>	<u>Proposed</u>	<u>Minimum Required</u>
Garage:	28 feet, 6 inches	25 feet
Front:	26 feet (porch post)	20 feet
Left (North) Side:	9 feet	8 feet or 60% of wall ht.
Right (South) Side:	10 feet, 11 inches	10 feet or 60% of wall ht.
Rear:	43 feet, 6 inches	25 feet

¹ The project plans note this structure as an unpermitted guest unit to be removed.

² Including an approximately 247 sq. ft. covered front porch.

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [San Tomas Area Neighborhood Plan \(STANP\)](#). The Plan provides development standards (e.g., height, setback, lot coverage, etc.) as well as design guidelines in terms of design compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for evaluating the design of new residences. Pursuant to CMC Sec. 21.54.050, the Site and Architectural Review Committee's (SARC) purview is to review the project's architectural design and site configuration, upon which a recommendation may be made to the Planning Commission.

Project Description: The single-story, single-family residence would total 3,533 sq. ft. inclusive of a 500 sq. ft. attached garage. While substantial portions of the existing residence would be retained, the scope of work, which doubles the size of the home, substantially remodels the interior of the dwelling, and reconstructs substantial portions of the building exterior, constitutes new construction³.

Architectural Design: The applicant is proposing to retain the 'California Ranch' style of the existing residence, while introducing a more prominent front entry, increased height, and attached garage (with two offset bay doors). The home would include composition shingle roofs (dark grey), muted brown (kingsport gray) stucco walls, and light beige (deserted island) trim (eaves, window frames) (reference **Attachment 3** - Material Board). The streetscape schematic (reference Attachment 3) indicates that the home would be complementary to the surrounding structures.

Site Layout: The single-story residence is located on a large lot and incorporates larger than required front, side, and rear setbacks. The home is situated toward the front half of the lot, and includes a 49.5% paved front yard. Whereas up to 50% of the front yard may be paved, a discussion point has been raised as the layout could result in vehicles being parked within a required front setback.

Landscaping: The project will require compliance with the State mandated landscape water efficient guidelines, which will require incorporation of various water conservation measures, including planting of drought-resistant vegetation.

Trees: The applicant is not proposing to remove any trees. As the applicant's proposal constitutes new construction, the applicant is required to plant two new trees in accordance with the STANP requirement for two trees for every 2,000 sq. ft. of lot area. The SARC may elect to advise on species or location(s) for the two new trees, or leave the decision up to the property owner.

OPTIONS

The SARC should review the project's proposed architecture, materials, and landscaping for compliance with the San Tomas Area Neighborhood Plan. The following options are intended to facilitate discussion of the project's site and architectural review:

- The proposed site design results in a 49.5% paved front yard. Whereas the applicant is proposing decorative pavers, the layout, which does not distinguish between the paved driveway and the paved area in front of the covered porch, could lend itself to vehicle parking within a required front setback. Should a smaller walkway (too narrow for a vehicle to park) be required in front of the porch? Should

³ In accordance with Campbell Municipal Code Section 18.32.010 – Definition of "Scope of Work".

fencing be required between the driveway and the paved area to inhibit vehicle maneuvering or parking from occurring in this area?

- Does the SARC have a preference where two additional box trees should be planted on the property (i.e. front, rear, side yard)?

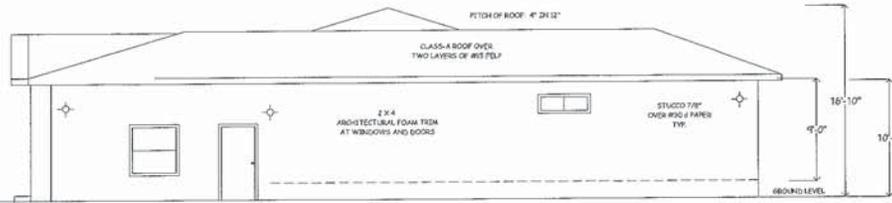
After discussion the SARC may recommend approval to the Planning Commission as proposed (with the inclusion of two additional trees), or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Material Board
4. Streetscape Schematic



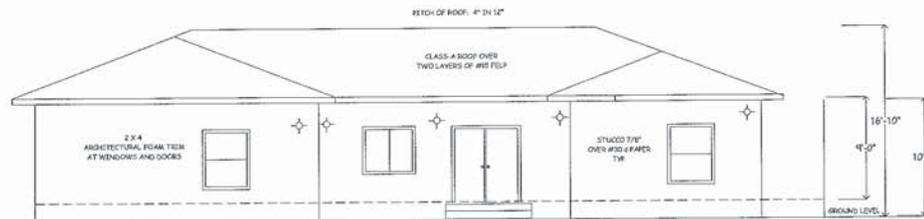
EXISTING NORTH ELEVATION #8
Scale: 3/16 = 1'



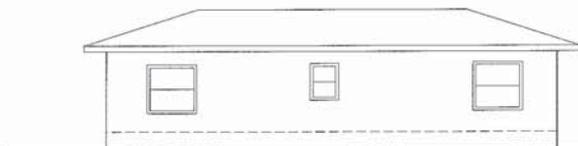
PROPOSED NORTH ELEVATION #7
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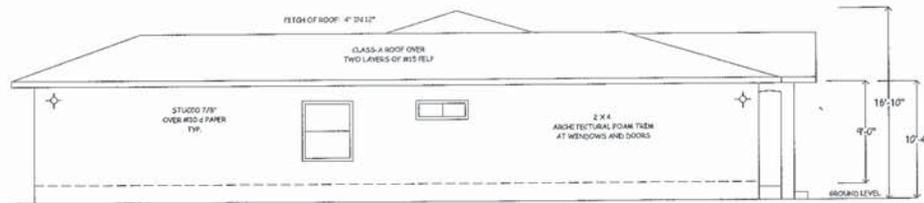
EXISTING SOUTH ELEVATION (BACK) #6
Scale: 3/16 = 1'



PROPOSED SOUTH ELEVATION (BACK) #5
Scale: 3/16 = 1'



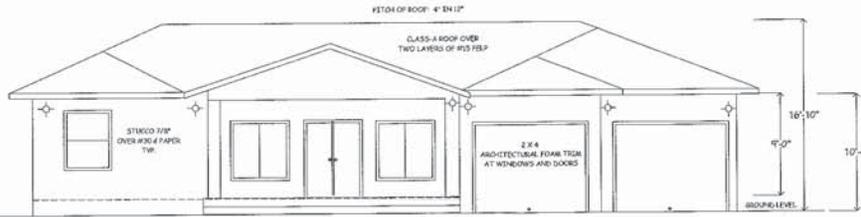
EXISTING EAST ELEVATION #4
Scale: 3/16 = 1'



PROPOSED EAST ELEVATION #3
Scale: 3/16 = 1'

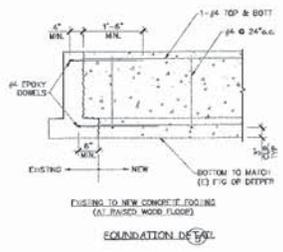


EXISTING NORTH ELEVATION (FRONT) #2
Scale: 3/16 = 1'



PROPOSED NORTH ELEVATION (FRONT) #1
Scale: 3/16 = 1'

PROJECT NO.	17
DATE	
SCALE	
BY	
CHECKED	
APPROVED	
OWNER: CARPE PROJECT	
ADDRESS: 1375 CARPE DR	
CAMPBELL, CA	
TEL: 408-222-0400	
APN: 406-22-040	
DESIGNER: ANGERS/LOTI ARCHITECTS	
ADDRESS: 10300 BAKER	
IRVINE, CA 92618	
TEL: 714-445-9700	
WWW.ANGERSLOTI.COM	
EMAIL: ANGERSLOTI@GMAIL.COM	
2	
OF 54872	



VENT CALCULATIONS:

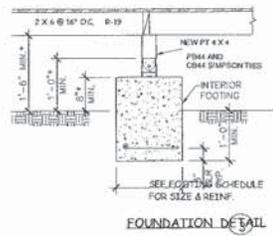
1,614 SF X 1/150 = 10.8 SF
 10.8 X 144 = 1,550 SQUARE INCHES

VENT SIZE: 14" X 6" = 84 SQUARE INCHES
 1,550 / 84 = 18 VENTS REQUIRED

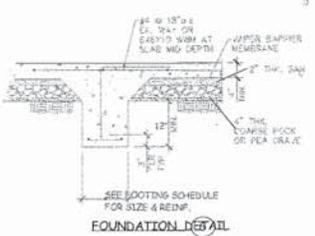
1/16" AND MAXIMUM 1/8" CORRUSION,
 NONCOMBUSTIBLE WIRE MESH OR
 EQUIVALENT

CRAWL VENTS

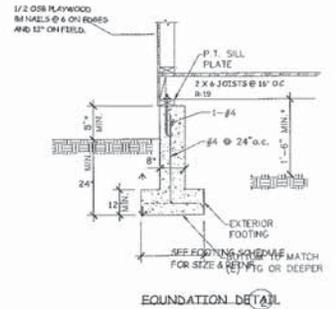
FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	THICK.
CONTINUOUS FOOTINGS			
GF1	12"	CH 24" BARS & CONC. 12"	12"
SQUARE FOOTINGS			
F15	18"	CH 24" BARS FOOTING	EG. 12"
F20	24"	CH 24" BARS EACH DIR.	EG. 12"



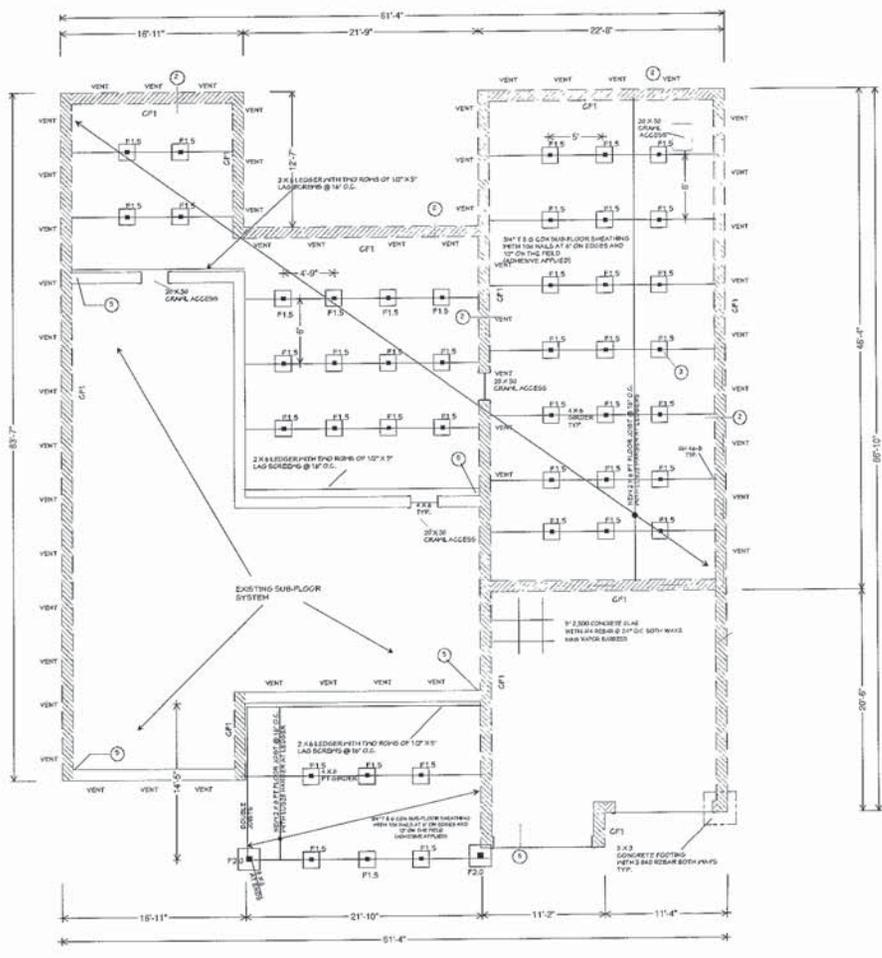
FOUNDATION DETAIL



FOUNDATION DETAIL



FOUNDATION DETAIL



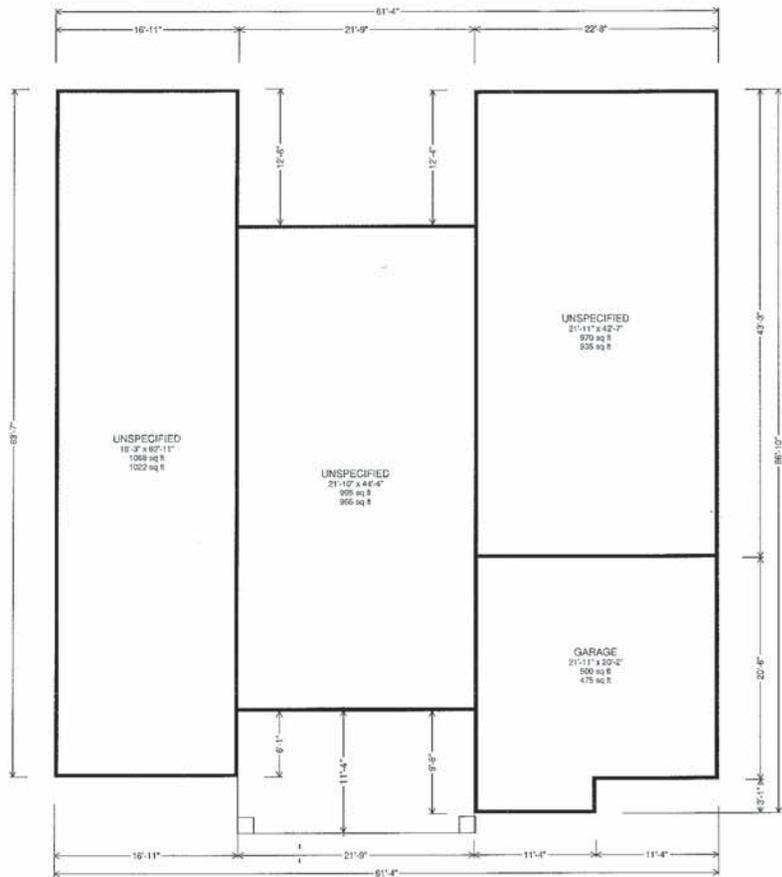
NEW FOUNDATION: [Hatched Box] PROPOSED FOUNDATION #1
 EXISTING FOUNDATION: [White Box] Scale: 1/4" = 1'

REVISIONS BY

PREPARED BY: SILVERI/O CRIZZO
 ADDRESS: PO BOX 8840
 CAMPELL, CA 95008
 TEL: 707-343-9877 OR 408-908-9020
 BLUEPRINT: 519-585-9400.COM

OWNER: CAPRI PROJECT
 ADDRESS: 1574 CAPRI DR
 CAMPELL, CA 95008
 TEL: 408-712-1084 E-MAIL: ANGERSGOTT@TVAL.COM

DRAWN: [Blank]
 CHECKED: [Blank]
 DATE: [Blank]
 SCALE: [Blank]
 SHEET: [Blank]
 4
 OF SHEETS



TOTAL HOUSE; 3,033 SQ. FT.
 + GARAGE 500 SQ. FT.
 + PORCH 247 SQ. FT.
TOTAL COVERAGE 3,780 SQ. FT

LOT AREA 10,800 / 3,780 COVERAGE = 35%

TOTAL NEW HOUSE 3,033 SQ. FT - 1,211 SQ. FT. EXISTING HOUSE = 1,822 SQ. FT. NET ADDITION

NOTE: SEE HOW SOFTWARE CALCULATES AREA, IT GIVE ME INTERIOR DIMENTIONS BUT AT THE SAME TIME GIVES INTERIOR AND EXTERIOR AREAS, SO WE ARE TAKING EXTERIOR AREA, WHICH IS THE HIGHER NUMBER.

COVERAGE CALCULATIONS
 Scale: 3/16" = 1'

REVISIONS	BY

PREPARED BY: SIGRINO O GROSZO
 ADDRESS: PO BOX 480
 EL VERANO, CA 95433-0480
 TEL: 916-225-1108 FAX: 916-225-1109
 E-MAIL: SIGRINO@YAHOO.COM

OWNER: CARBI PROJECT
 ADDRESS: 1376 CARBI DR
 CAMPBELL, CA
 TEL: 408-472-7884 E-MAIL: ANGERSCOTT@YALLOK.APN

DRAWN

CHECKED

DATE

SCALE

SHEET

6

OF SHEETS

Material Board

HOUSE COLORS

deserted island

kingsport gray

DOOR GARAGE COLOR

CERTAINTEED LANDMARK ROOF MOTIF BLK/IC

PITCH OF ROOF: 4" IN 12"

GLASS ROOF OVER TWO LAYERS OF INSULATION

PROPOSED NORTH ELEVATION (FRONT) #1
Scale: 3/16 = 1"

4"x4" POST TAPERED

1 1/4" TRIM WOOD

MILGARD VYNAL WINDOWS

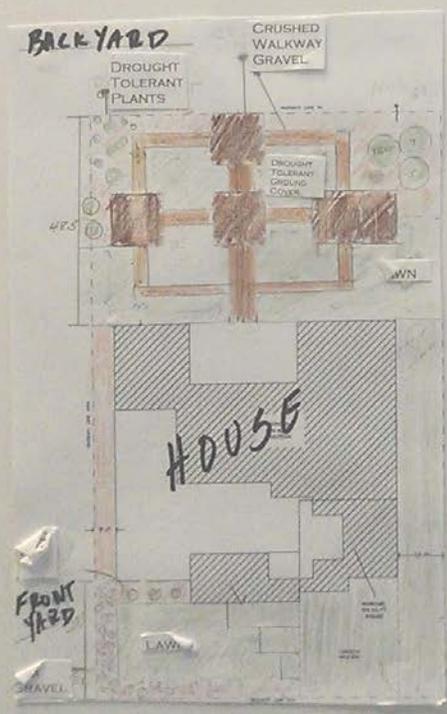
INSULATED GARAGE DOORS

HARDIE BOARD PLANK SIDING

16'-1"

LANDSCAPE

DROUGHT TOLERANT MATERIALS + PLANTS



RECEIVED

JAN 13 2016

CITY OF CAMPBELL
PLANNING DEPT.



MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016

From: Stephen Rose, Associate Planner

Via: Paul Kermoyan, Community Development Director *PK*

Subject: Site and Architectural Review Permit – New SFR

File No.: PLN2016-160

Address: 1655 Walters Avenue

PROPOSAL

The applicant is seeking approval of a Site and Architectural Review Permit to allow the construction of a new 2,309 sq. ft. two-story single-family residence (reference **Attachment 2**, Project Plans).

PROJECT SITE

The project site is an approximately 5,144 square-foot property located on the north side of Walters Avenue, west of Harriet Avenue, and east of York Avenue within the City's San Tomas Area Neighborhood in the R-1-9 (Single-Family Residential) Zoning District (reference **Attachment 1** – Location Map). The site is currently developed with a 768 sq. ft. single-story single-family residence (including a 240 sq. ft. garage) built in 1935 which is proposed to be removed (reference **Attachment 4** – Property Photo). Single-family residential properties border the site on all sides.

PROJECT DATA

Zoning Designation:	R-1-9 (Single-Family Residential)	
General Plan Designation:	Low-Density Residential (less than 4.5 units/gr. acre)	
Net Lot Area:	5,144 square-feet	
Building Height:	25 feet, 7 inches	28 feet Maximum Allowed
First Floor Wall Height:	10 feet, 6 inches	(N.G. to Top of Plate)
Second Floor Wall Height:	20 feet, 6 inches	(N.G. to Top of Plate)
Floor Area:		
First Story:	1,397 square-feet	
Second Story:	<u>+912 square-feet</u>	
Total floor area:	2,309 square-feet	
Floor Area Ratio (FAR):	44.9%	45% Maximum Allowed
Building (Lot) Coverage:	38.8% ¹	40% Maximum Allowed
<u>Setbacks</u>	<u>Proposed</u>	<u>Minimum Required</u> ²
Carport:	25 feet, 1 inch	25 feet
Front:	20 feet (porch post)	20 feet
First Story Left (West) Side:	6 feet, 8 inches	5 ft. or 50% of wall ht.

¹ Including a 232 sq. ft. covered carport. Calculation of lot coverage provided on cover sheet of project plans (reference **Attachment 2** – Project Plans; Sheet 1).

² The San Tomas Area Neighborhood Plan (Section D.2. – Exceptions for Legal Non-Conforming Lots) allows for reduced side and rear setbacks, and lot coverage requirements for legal non-conforming lots based on the standards of the zoning district in which the lot would be conforming (e.g. the setback and lot coverage requirement for a 5,144 square foot lot in an R-1-9 zoning district are to be based on the development standards of the R-1-6 zoning district).

First Story Right (East) Side:	5 feet, 3 inches	5 ft. or 50% of wall ht.
Second Story Left (West) Side:	11 feet, 5 inches	10 feet, 3 inches (5 ft. or 50% of wall ht.)
Second Story Right (East) Side:	13 feet, 5 inches	10 feet, 3 inches (5 ft. or 50% of wall ht.)
Rear:	20 feet, 4 inches	25 feet

DISCUSSION

Review of the Site and Architectural Review Permit application is governed by the [San Tomas Area Neighborhood Plan \(STANP\)](#). The Plan provides development standards (e.g., height, setback, lot coverage, etc.) as well as design guidelines in terms of design compatibility, scale and mass, surface articulation, building orientation, and privacy. The guidelines are not meant to prescribe any particular style, but rather provide an overall framework for evaluating the design of new residences. Pursuant to CMC Sec. 21.54.050, the Site and Architectural Review Committee's (SARC) purview is to review the project's architectural design and site configuration, upon which a recommendation may be made to the Planning Commission.

Architectural Design: The new residence is presented in a contemporary 'Mediterranean' style, with a prominent front entryway and arches over the second-story balcony, carport, front porch and arcade of the rear patio. The first story of the front facade (as well as the entire front entry, fireplace, and columns of the rear arcade) would be clad in a 'Mocha Mesa' stone veneer wainscoting. The main body of the building would be a light brown stucco (Kelly Moore 'Spanish Sand') with a reddish brown paint (Kelly Moore "Saltillo") used on the front doors and exposed rafter tails, and a light beige trim used on the windows and gutters (Kelly Moore 'Navajo White'). The home would include composition shingle roofs (brown 'aged bark'). The streetscape schematic (reference **Attachment 2** – Project Plans; Sheet A-5) indicates that the home would be complementary to the home to the west and newer homes on Walters Avenue.

As a composition shingle tile roof is atypical for Mediterranean style architecture, and would contrast with the heavy stone veneer, a discussion point has been raised to determine if tile roofing would be more appropriate.

Site Layout: The two-story residence would be situated toward the center of the lot, and would 'max' out the allowable floor area ratio of the property. As the applicant is proposing a covered carport, instead of an enclosed garage (to avoid exceeding the allowable floor area ratio), a discussion point has been raised to determine if the residence should be reduced in size to accommodate an enclosed garage and/or provide the opportunity for an accessory structure to store larger items like ladders, lawnmowers, etc. or smaller construction materials (carpet, paint, tile etc.) and alleviate the potential for unpermitted outdoor storage through design.

Landscaping: The project will require compliance with the State mandated landscape water efficient guidelines, which will require incorporation of various water conservation measures, including planting of drought-resistant vegetation.

Trees: The applicant is proposing to remove a small (less than 3-inch diameter) tree in the front yard which is in direct conflict with the proposed driveway. As the applicant's proposal constitutes new construction, the applicant is required to plant three new trees in accordance with the STANP requirement for two trees for every 2,000 sq. ft. of lot area. The SARC may elect to advise on species or location(s) for the three new trees, or leave the decision up to the property owner.

OPTIONS

The SARC should review the project's proposed architecture, materials, and landscaping for compliance with the San Tomas Area Neighborhood Plan. The following options are intended to facilitate discussion of the project's site and architectural review:

- Would a tile roof be more appropriate than a composition shingle?
- Should the residence be reduced in size to accommodate an enclosed garage and/or provide the opportunity for an accessory structure in the future?
- Does the SARC have a preference where three trees should be planted on the property (i.e. front, rear, side yard)?

After discussion the SARC may recommend approval to the Planning Commission as proposed (with the inclusion of three new trees), or subject to specific revisions.

Attachments:

1. Location Map
2. Project Plans
3. Material Board
4. Property Photo
5. Streetscape Schematic

Location Map



Revisions	By

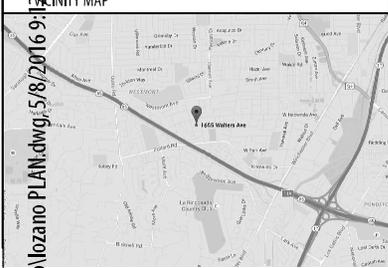
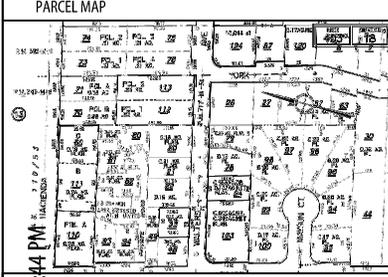


A New Residence for:
The Lozano Residence
 1655 Walters Ave.
 Campbell, CA

Date	04.26.16
Drawn	D. Tamira
Scale	1

A New Residence for: The Lozano Residence

GENERAL NOTES	ABBREVIATION
1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE CALIFORNIA CIVIL CODE, SECTION 18000 AND THE CALIFORNIA BUILDING CODE, SECTION 18000.01.	ABW. ABOVE GRADE
2. MATERIALS AND METHODS SHALL HAVE PRECEDENCE OVER THESE GENERAL NOTES.	ADFL. ABOVE GRADE FLOOR
3. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED UNLESS NOTED OTHERWISE.	APR. APPROXIMATE
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SPECIAL NOTES

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

- CRC 13 California Residential Code
- CRC 13 California Building Code
- CRC 13 California Electrical Code
- CRC 13 California Plumbing Code
- CRC 13 California Mechanical Code
- 2015 California Green Building Standard Code
- UL Environmental Laboratory

THE FOLLOWING CODES AND REGULATIONS AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

SPECIAL INSPECTION OF RETROFIT ANCHOR BOLTS, SUCH AS AT HOLD-DOWNS INTO EXISTING CONCRETE, AND ANCHOR BOLTS FOR HOLD-DOWN ANCHORS SHALL BE PERFORMED BY THE ENGINEER OF RECORD. A LETTER PREPARED AND STAMPED (SIGNED BY ENGINEER OF RECORD) VERIFYING SUCH INSPECTIONS WERE PERFORMED SHALL BE ON THE SITE FOR THE CITY FIELD INSPECTOR AT THE TIME OF SHEAR WALL INSPECTION.

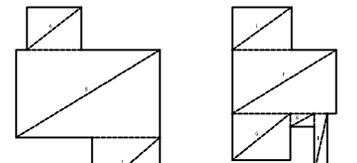
SITE INFORMATION	
APN: 403-18-021	- OCCUPANCY GROUP: R3
LOT AREA: 5,144 SQ. FT.	- TYPE OF CONSTRUCTION: N/R
ZONE: S-L-9	- STORES: ONE STORY
FLOOR AREA: 1,937+912 = 2,849 SF = 44.9%	PROPOSED MAIN FLOOR: 1,397 SF
LOT COVERAGE: 1,397+236+133 = 1,966 SF = 38.6%	PROPOSED UPPER FLOOR: 912 SF
	PROPOSED CARPORT: 232 SF
	PROPOSED PORCH: 133 SF
	PROPOSED REAR PATIO: 236 SF

SCOPE OF WORK

DEMOLISH EXISTING 1 STORY RESIDENCE AND 1 CAR GARAGE THAT BEING TOO CLOSE TO THE REAR AND LEFT SIDE SETBACK

NEW RESIDENCE WITH 4 BEDROOMS, 3-1/2 BATHS, 1 CAR PORCH AND 1 OPEN EXTRA PARKING

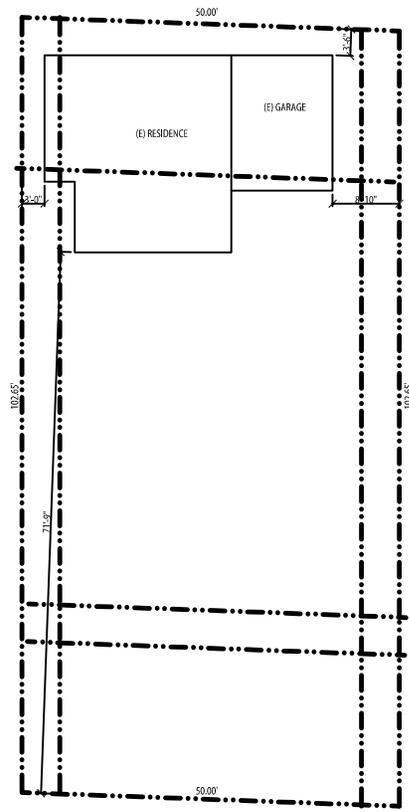
SHEET INDEX	
1	SITE PLAN, GENERAL NOTES, LEGEND, SITE INFORMATION, SCOPE OF WORK VICINITY MAP, PARCEL MAP
2	FRONT ELEVATION, RIGHT SIDE ELEVATION, LEFT SIDE ELEVATION AND REAR ELEVATION
3	PROPOSED FLOOR PLAN, REQUIRED NOTES, WALL LEGEND
4	SECTION A-A



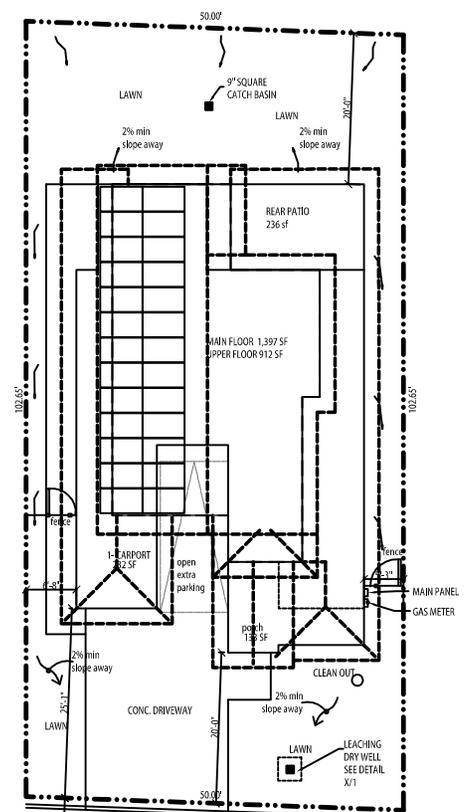
FLOOR AREA

A: 14.4'X11.4'	= 164.3 SF
B: 38.2'X23.1'	= 882.5 SF
C: 18'X15.5'	= 279 SF
D: 11.8'X6.2'	= 73.2 SF
E: 15.7'X11.3'	= 177.4 SF
F: 27.5'X16.8'	= 462 SF
G: 15.3'X12.3'	= 188.4 SF
H: 6.3'X3.5'	= 22.2 SF
I: 3.9'X15.2'	= 59 SF
TOTAL	= 2,304 SF

FLOOR AREA DIAGRAM
1/16" = 1'-0"



SITE PLAN
1/8"=1'-0
APN 403-18-021

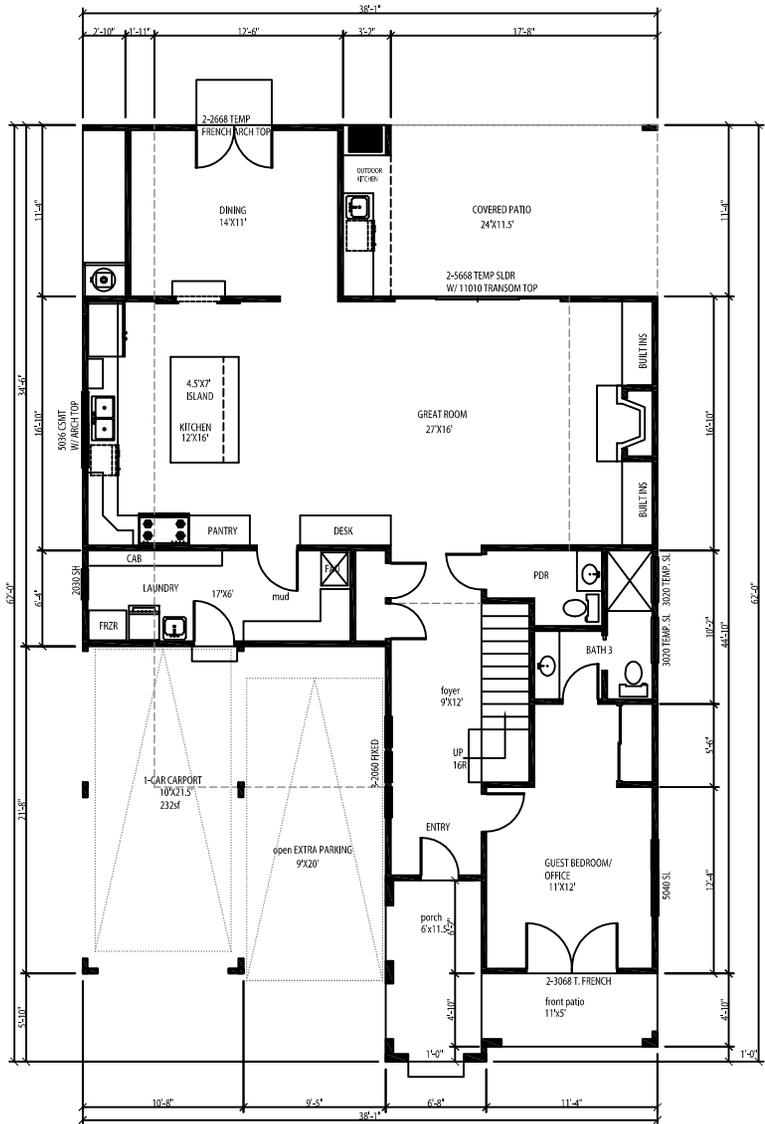


SITE PLAN
1/8"=1'-0
APN 403-18-021

1655 WALTERS AVE.

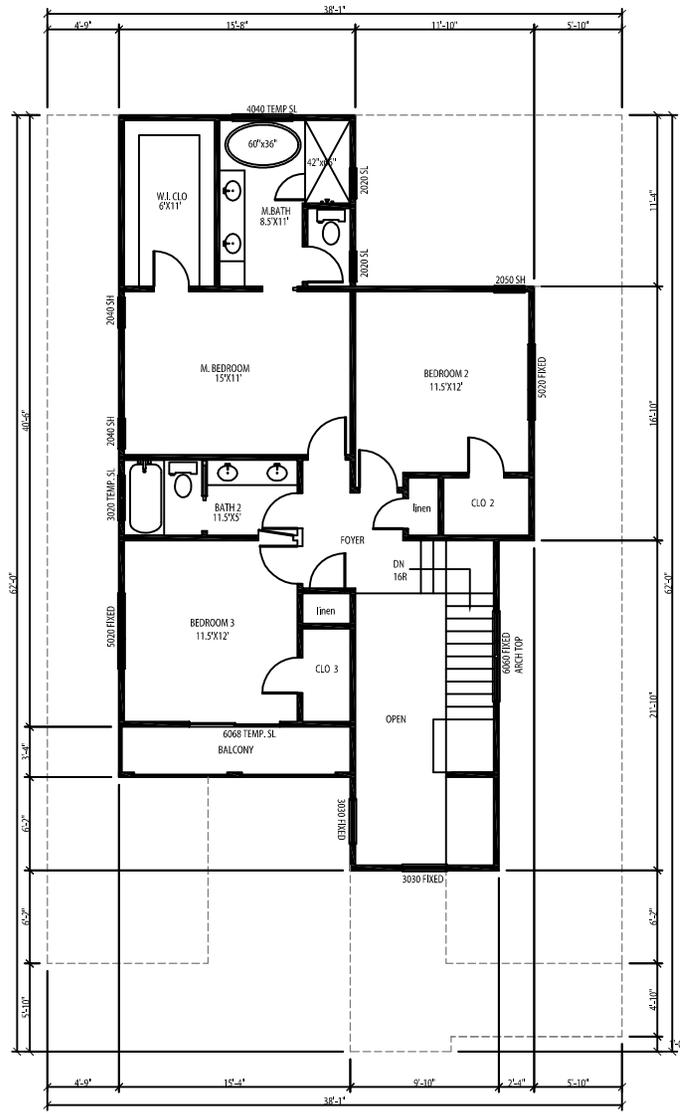
1655 WALTERS AVE.

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MAIN FLOOR PLAN
1/4"=1'-0"

1397 sf



UPPER FLOOR PLAN
1/4"=1'-0"

912 sf

Revisions	By



A New Residence for:
The Lozano Residence
1655 Waiters Ave.
Campbell, CA

DATE: 04.26.16
DRAWN BY: D. Tamira

PAINT:
KELLY MOORE PAINT



ROOF MATERIAL:
COMPOSITION SHINGLES PRESIDENTIAL SHAKE TL
COLOR : AGED BARK



MAIN BODY : 231 SPANISH SAND



DARK TRIM
FRONT DOOR, FRENCH DOORS AND AND
FALSE EXPOSED BEAMS : 212 SALTILLO



LIGHT TRIM
FOR DOORS, WIDOWS TRIM AND GUTTERS : 36 NAVAJO WHITE



STONework MATERIAL:
REAL STONE ROC PRO LEDGESTONE LIGHT PANELS
COLOR: MOCHA MESA

A New Residence for:
THE LOZANO RESIDENCE
1655 Walters Ave.
Campbell CA

MATERIAL
BOARD

STUDIO 14

20400 IRON SPRINGS ROAD
LOS GATOS, CA 95033
PH/TEXT 408 887-2212 FAX 408 837-2212
DAVIDTAMIRA@GMAIL.COM

Property Photo



Streetscape Schematic



MEMORANDUM



Community Development Department
Planning Division

To: Site and Architectural Review Committee **Date:** July 12, 2016
From: Stephen Rose, Associate Planner 
Via: Paul Kermoyan, Community Development Director 
Application: Administrative Planned Development Permit (PLN2015-98)
 Conditional Use Permit (PLN2015-99)

Project Site: 1708, 1740 & 1750 S. Winchester Blvd.

PROPOSAL

The applicant is requesting approval of an Administrative Planned Development Permit (PLN2015-98) and a Conditional Use Permit (PLN2015-99) to reconfigure an existing parking lot¹ and establish a new outdoor patio² with beer and wine service. Whereas the applicant's proposal technically spans three properties, for discussion purposes the 'project site' refers exclusively to 1750 S. Winchester Blvd., the site of the patio expansion and Orale Mex-Grill (a Mexican Food Restaurant).

As the applicant's proposal will alter the on-site parking and circulation³ of three properties, close an existing driveway on S. Winchester Boulevard, and includes a request for an exception to the Winchester Boulevard Plan (WBMP), in order to place two new parking spaces within a required streetscape setback, the applicant's proposal will require review and approval by the City Council.

PROJECT SITE

The project site is a single parcel, comprising approximately 11,875 square-feet, located on the east side of S. Winchester Boulevard, north of Garrison Drive (a private street), abutting an apartment community to the east and commercial properties to the north and south (reference **Attachment 1** – Location Map). The project site is located within the Planned Development (P-D) Zoning District, has a General Plan land use designation of *Central Commercial*, and is located within the boundaries of the Winchester Boulevard Master Plan (Area 3).

PROJECT DATA

Existing Net Lot Area:	11,875 square feet (.27 acre)
Gross Lot Area:	16,150 square feet (.37 acre)
Zoning:	P-D (Planned Development)
General Plan:	<i>Central Commercial</i> (Winchester Boulevard Master Plan - Area 3)
Existing Building Area:	1,390 sq. ft.
New Patio Area:	380 sq. ft.

¹ The subject parking lot spans three properties under common ownership, which includes 1708, 1740 & 1750 S. Winchester Boulevard. A reciprocal egress/ingress and parking agreement would be recorded across adjoining lots to formalize the parking arrangement.

² The existing patio is unpermitted. Please refer to the Administrative Record (reference Attachment 5) for a detailed background on the project.

³ Off-street parking spaces are generally to be provided on the same site as the use outside of any public right-of-way, except that the Planning Commission may approve parking for nonresidential uses on a parcel directly abutting the parcel subject to the recordation of a covenant running with the land recorded by the owner of the parking area guaranteeing that the required parking will be maintained for the life of the use or activity served.

Proposed Building Height:	No change; 16 foot tall existing one-story building
Maximum Height Allowed:	45 feet (Winchester Boulevard Master Plan)
Proposed Building Setbacks:	No change; new outdoor patio
Maximum Allowed:	2:1 height to setback ratio on rear 5 feet setback from Winchester Blvd. & side streets No interior side setbacks
Proposed Streetscape:	No setback for new parking stalls
Streetscape Setback:	17 feet (planting strip 10' / sidewalk 7')
Existing Parking:	40 Parking Spaces
Proposed Parking:	44 Parking Spaces (43 vehicle, 4 motorcycle ⁴)
Existing Seats:	40 (indoor only)
Proposed Seats:	52 (36 indoor, 16 outdoor)

SCOPE OF REVIEW

As a developed site, conformance with applicable development standards (setbacks, building height, floor area ratio), and landscaping requirements (area, type, and size) should be provided to the greatest extent feasible. Where complete conformance cannot be achieved due to conflicting requirements or existing buildings/site conditions, the SARC should seek to identify a 'best fit' plan based on the site constraints.

DISCUSSION

Planned Development Zoning District: The P-D Zoning District is intended to provide a degree of flexibility that is not available in other zoning districts so as to allow for a superior development, particularly related to the development's design and provision of open space. To aid in achieving this goal, the Zoning Code provides a listing of considerations that should be taken into account in review of this project which can be found in the in the Campbell Municipal Code and online as follows: [CMC 21.12.030.H.12](#).

Winchester Boulevard Master Plan: Review of physical characteristics of this project is largely governed by the Winchester Boulevard Master Plan⁵ ("WBMP"). As envisioned by the General Plan, the goal of the WBMP is to transform Winchester Boulevard into a vibrant mixed-use, pedestrian-oriented district that can function as an extension of the Downtown. To this end, the WBMP encourages mixed-use development that fronts the street to provide a walkable atmosphere.

Recognizing the differences in the land use pattern along the Winchester Boulevard corridor, the WBMP defines three distinct planning areas. The project site is located within Area 3, "Neighborhood Commercial Boulevard", which is subject to development standards that consider the proximity of single-family residences, including a maximum 45-foot (3-story) building height, a rear setback/height ratio defined by a 2:1 slope, 5-foot setbacks along Winchester Boulevard and side streets, no interior side setbacks, and an 8-foot setback from the rear parking lot as depicted by Figure 1 as follows:

⁴ One parking space is credited for every four motorcycle spaces.

⁵ The Winchester Boulevard Master Plan may be viewed online at <http://www.cityofcampbell.com/DocumentCenter/View/177>

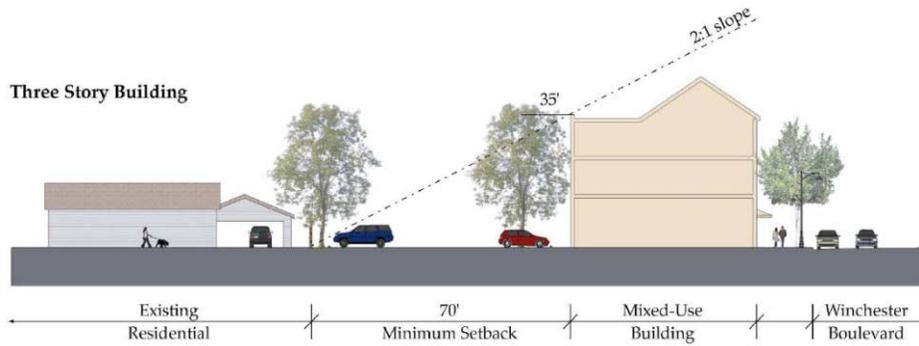


Figure 1: WBMP Development Standards

As a developed site, the applicant’s proposal should adhere to the requirements of the WBMP to the extent feasible. In evaluation of these requirements, the applicant’s proposal would comply with all of the standards of the WBMP except for a request to place two new parking spaces within the required 17-foot streetscape setback. A discussion on this requirement has been provided in greater detail under the discussion on Offsite Improvements.

Architectural Design: The WBMP does not prescribe or preclude any particular architectural style (e.g., Spanish, modern, etc.). Instead, it provides design guidelines (Pg. 29) with reference to the 'ground level treatment' and 'façade treatment and massing', that are intended to address a building's "pedestrian’s range of experience" as well as its "character and scale" as considered in context of the urban fabric of the Winchester Boulevard corridor.

As a developed site, the applicant intends to retain the appearance of the existing building, which has a combination of vertical wood siding (front and rear), and yellow brick walls (center), turquoise trim on windows, eaves and doors, and grey & brown composition shingle roofing. On the south side of the building, the applicant has proposed to build a patio, with a 3 ½ foot tall wall/patio bar, with vertical wood siding intended to match the front and rear half of the building. Inside the patio area, the majority of the seats would circle the inside of the patio area and face out. The furniture selected includes synthetic wicker seats (tall and short), and rectangular mesh metal tables with umbrellas.



Figure 2: Proposed Patio Siding & Existing Patio Fencing

As the proposed design would include “high top” seating, and effectively ‘wall in’ the patio area, a discussion point has been raised to determine if lower tables would be more appropriate in this area and/or a more open or decorative fencing.

Parking & Circulation: The applicant’s proposal includes a request to close an existing driveway on S. Winchester Blvd. to accommodate two new parking spaces onsite. By closing the existing driveway, vehicle access to the site would be maintained over an existing driveway at 1708 S. Winchester Blvd. and over Garrison Drive. As the applicant’s proposal (for both parking and access) would span

multiple properties, a reciprocal ingress and egress agreement would be required. Typically, such agreements are discouraged as they have the possibility to encumber future development, but in this instance a reciprocal ingress/egress and parking agreement had already been required over the three properties but never recorded⁶ (reference **Attachment 5** – Administrative Record).

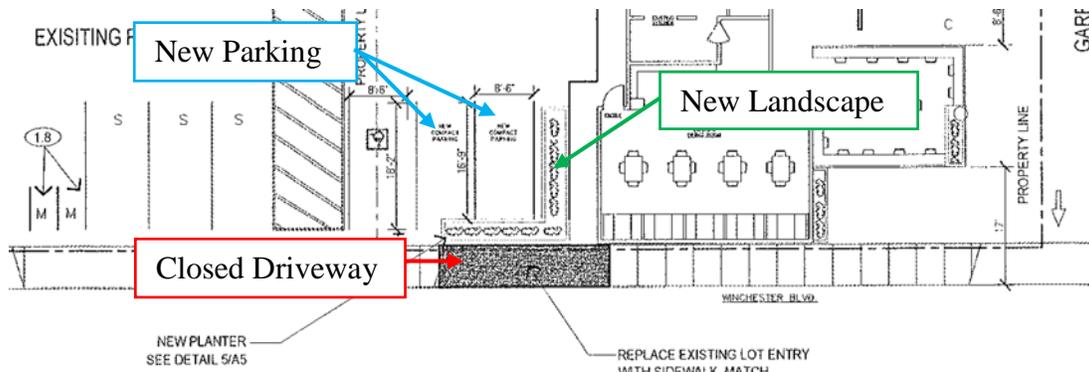


Figure 3: New Parking, Closed Driveway & New Landscaping

Off-Site Improvements: The WBMP calls for a 17-foot right of way, comprised of a 10-foot landscape strip and a 7-foot walk. In consideration of the short segment of frontage to be reconstructed, the Public Works Department requested the applicant to install a standard curb/gutter/sidewalk, and agree to a deferred improvement agreement which require the improvements to occur at a later date and time, such as when a more significant redevelopment of the property occurs.

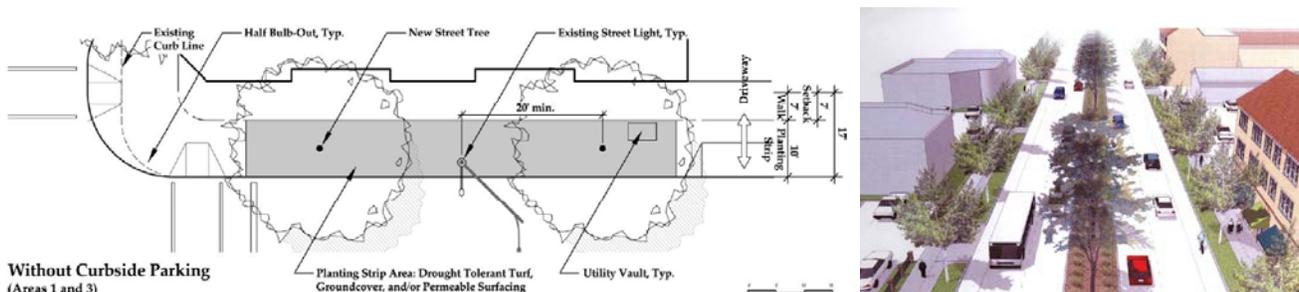


Figure 4 & 5: Winchester Boulevard Master Plan Streetscape Standards



Figure 6: Decorative Wall & Gateway Examples (discussion purposes only)

As the Public Works Department would not be requiring a dedication at this time, the applicant is requesting an exception to the Winchester Boulevard Master Plan to allow for two new parking spaces within the required setback to allow new outdoor patio seats. As the Winchester Boulevard Master Plan provides direction for new parking spaces to be located behind new buildings, whereas the

⁶ Recordation of the reciprocal ingress/egress and parking agreement shall be required as a condition of approval on the application.

applicant's proposal is to the side of an existing building, a discussion point has been raised to determine if a small decorative wall should also be installed to screen the new parking spaces from view.

Signage & Rooftop Screening: While no new signs are proposed, the project site has several unpermitted signs, including two rooftop signs advertising "Fish Tacos" which are required to be removed because rooftop signs are prohibited within the Sign Ordinance (CMC21.30.050.E – Prohibited Signs). As these signs serve to screen the rooftop mechanical equipment from the street, a discussion point has been raised to determine if the existing signs should be simply painted over or if they should be replaced with a new mechanical equipment screen designed to screen the equipment on all sides.



Figure 7: Unpermitted Roof Signs & Mechanical Equipment

Trash Enclosure: The subject property does not have a trash enclosure. With the expansion of the restaurant dining area, a new trash enclosure can be requested. A discussion point has been raised to determine if a new trash enclosure should be required as part of the permit request.

Lighting: New site lighting is subject to the City's Lighting Design Standards (CMC 21.18.090). The most pertinent standard is the requirement for lighting fixtures to be shielded and for lighting not to emit across property lines. Whereas the applicant is not proposing new light fixtures, a discussion point has been raised to evaluate if additional lighting for the parking lot should be required.

SUMMARY

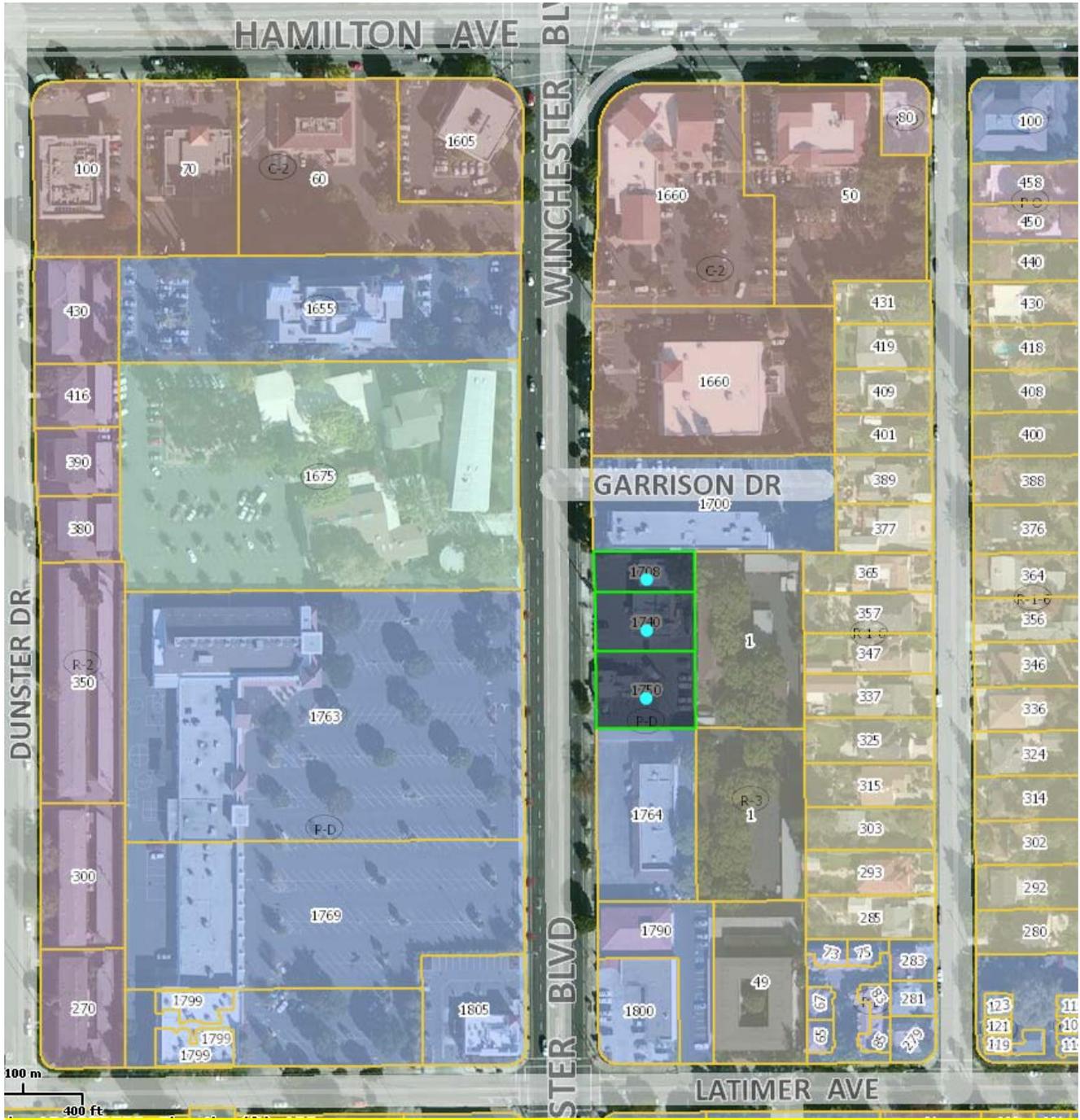
If the SARC believes that the applicant has adequately addressed the considerations for review of a Planned Development Permit, as specified by CMC 21.12.030.5, it could recommend approval to the Planning Commission as proposed or subject to revisions. The following questions are meant to facilitate the SARC's discussion of the application:

- **Patio Furniture & Wall:** Should different furniture be proposed? Should the patio wall be more decorative or transparent?
- **Parking Space Screening:** In addition to landscaping, should a short pony wall be required to screen the new parking spaces from view? Should an archway be required over the pedestrian walkway area, or should this area be left open?
- **Rooftop Signs & Mechanical Equipment Screen:** Should the rooftop signs be painted over? Should a more comprehensive rooftop mechanical equipment screen (which surrounds the equipment on all sides) be required?
- **Trash Enclosure:** Should a new trash enclosure be required? If so, where should it be located? (i.e. behind the Jerusalem Bar & Grill)
- **Parking Lot Lighting:** Should any additional parking lot lighting be required?

Attachments:

1. Location Map
2. Project Plans with Staff Clarifying Redlines
3. Property Photos
4. Parking Analysis
5. Administrative Record

Location Map



ONE DESIGN GROUP

18 ROLLINGSTONE COMMON
EVERMORE, CA 94550

Sheet Title:

COVER SHEET

TENANT IMPROVEMENT:
ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD.
CAMPBELL, CA 95008

Revisions:

Description	By	Date
PARKING REVISION	GC	8/25/11
		11-05-14
	GVC	
	GVC	
	GVC	
	AS NOTED	
		11/02/01

Sheet No.:

A1

BUILDING INFORMATION

LOCATION: 1750 WINCHESTER BLVD
CAMPBELL, CA 95008
CONSTRUCTION TYPE: TYPE II
OCCUPANCY: E (RESTAURANT)
SPRINKLER SYSTEM: N/A
NUMBER OF STORIES: ONE (1)

ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO:

- A. CALIFORNIA BUILDING CODE 2013 EDITION
- B. CALIFORNIA FIREMARSHAL CODE 2013
- C. CALIFORNIA MECHANICAL CODE 2013 EDITION
- D. CALIFORNIA ELECTRIC CODE 2013 EDITION
- E. 2013 BUILDING ENERGY EFFICIENCY STANDARDS FOR NONRESIDENTIAL BUILDINGS
- F. CALIFORNIA FIRE CODE 2013 EDITION.

CONTACT INFORMATION

TENANT: ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD
CAMPBELL, CA 95008
LANDLORD: MARVIN CASTRO
1750 WINCHESTER BLVD.
CAMPBELL, CA 95008
PH: (408) 859-7318



ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD.
CAMPBELL, CA 95008

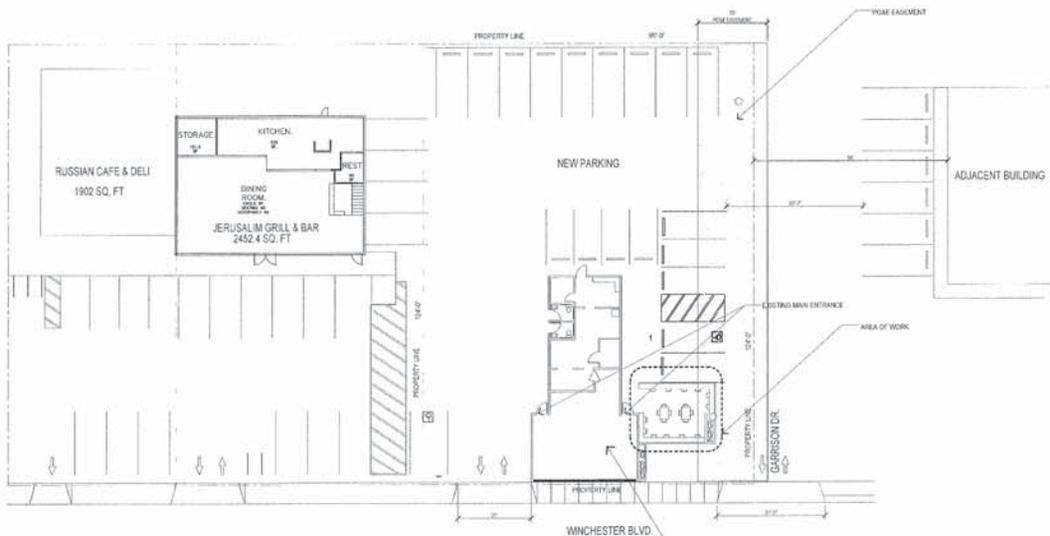
VICINITY MAP

NOTES TO PLAN CHECK

- A. SCOPE OF WORK: THIS SCOPE OF WORK INCLUDES CONSTRUCTION OF A NEW TENANT IMPROVEMENT OUTDOOR 20'0" x 20'0" OUTDOOR OPEN AIR PATIO DRIVING AREA TO AN EXISTING BLACKTOP SPACE FOR A SMALL RESTAURANT BUSINESS IMPROVEMENT. SCOPE OF WORK INCLUDES, REINSTALL 42 HIGH PORTY WALLS WITH COUNTER TOPS THAT WILL ALLOW SEATING ALONG THE PERIMETER, 4 TABLES FOR DINING, AND RELOCATE ACCESSIBLE PARKING AND REMOVING PARKING STALLS ALONG WITH SIDE TO ALLOW DRIVEWAY ACCESS.
- B. OCCUPANCY: THIS PROJECT IS A MIXED OCCUPANCY OF PRIMARILY BUSINESS TYPE USE WITH DRIVING AREA.
- C. NON-INTRUSION STATEMENTS:
1. THE PROPOSED CONSTRUCTION SHALL BE IN COMPLIANCE WITH APPLICABLE STATE LAWS AND LOCAL ORDINANCES.
- D. ACCESSIBILITY COMPLIANCE: CBC CHAPTER 11
THIS TENANT IMPROVEMENT IS THE FIRST IN AN EXISTING RECENTLY CONSTRUCTED BUILDING HAS THE PATH OF TRAVEL, PARKING SPACES, BUILDING ENTRANCES, AND SIGNS.

EXISTING OCCUPANCY LOAD			
USE	SF	SF/OCC	NO. OCC.
KITCHEN		SF/OCC	4
STORAGE		SF/OCC	
EXISTING DINING	SF/S		37
ACCESSORY	SF/A		
TOTAL			41
NEW OCCUPANCY LOAD			
USE	SF	SF/OCC	NO. OCC.
KITCHEN		SF/OCC	4
STORAGE		SF/OCC	
DINING	SF/S		61
ACCESSORY	SF/A		
TOTAL			65

RECEIVED
MAY 16 2016
CITY OF CAMPBELL
PLANNING DEPT.



ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD.
CAMPBELL, CA

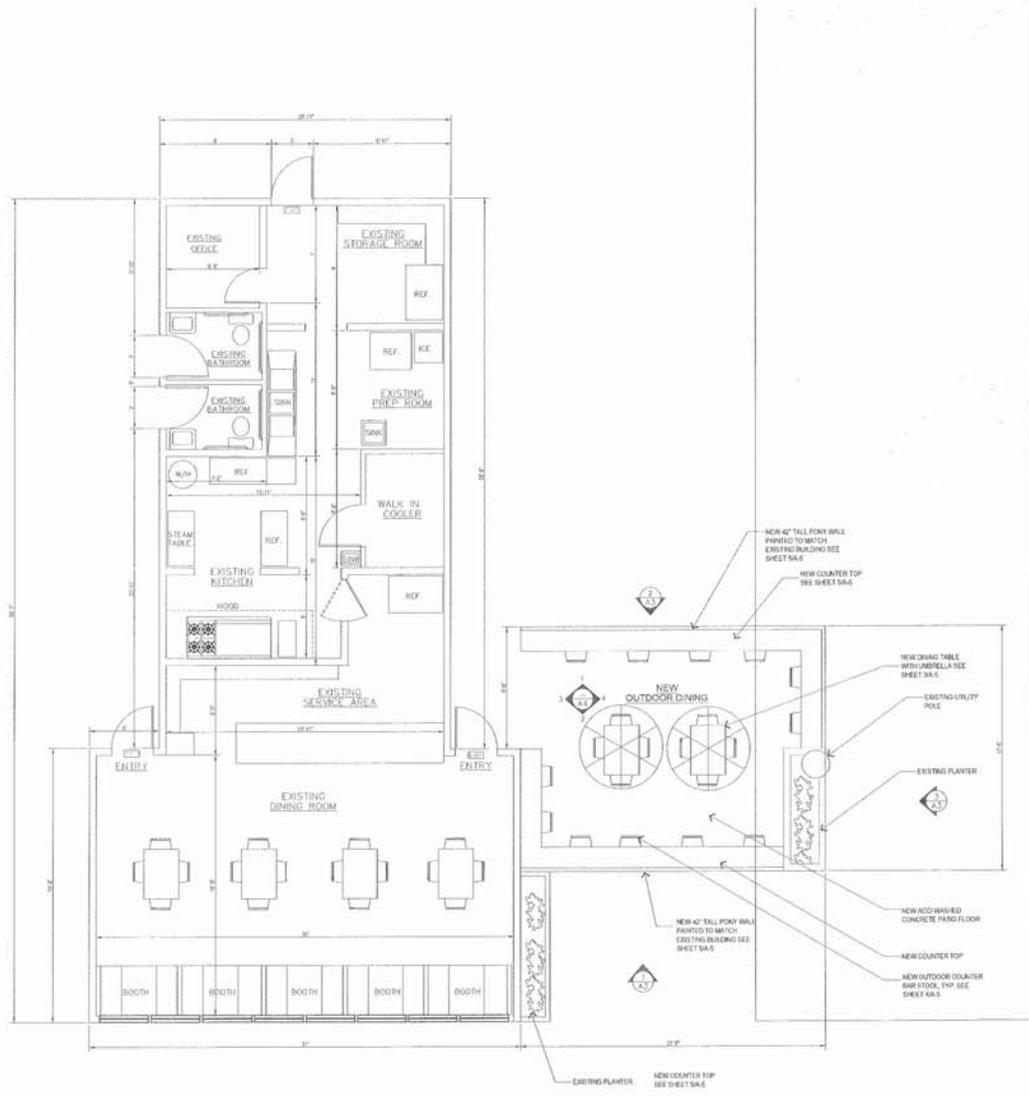
ONE DESIGN GROUP

18 ROLLINGSTONE COMMON
EVERMORE, CA 94550

Sheet Title:

FLOOR PLAN

TENANT IMPROVEMENT:
ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD.
CAMPBELL, CA 95008



Revisions:

Description	By	Date
PARKING REVISION	GC	8/25/15
		11-05-14
	GVC	
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	GVC	
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		1102.01

Sheet No.:

A1.1

Revisions:

Description	By	Date
PARKING REVISION	GC	8.25.13

11-05-14

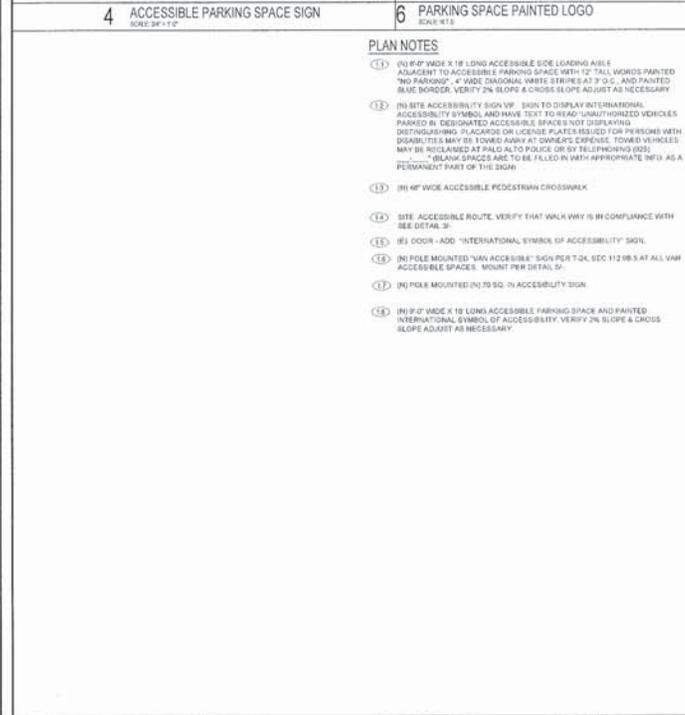
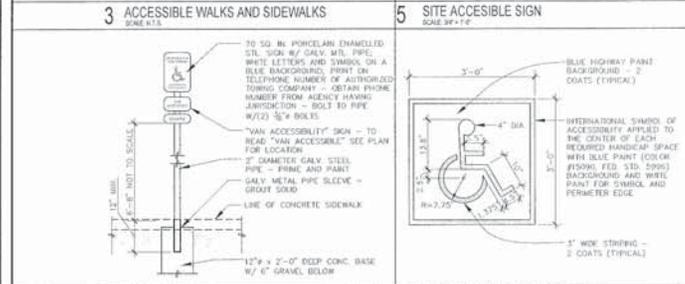
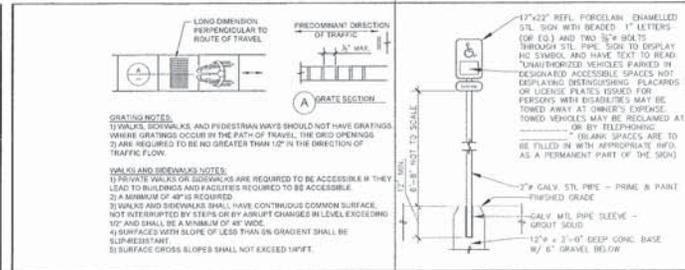
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GVC

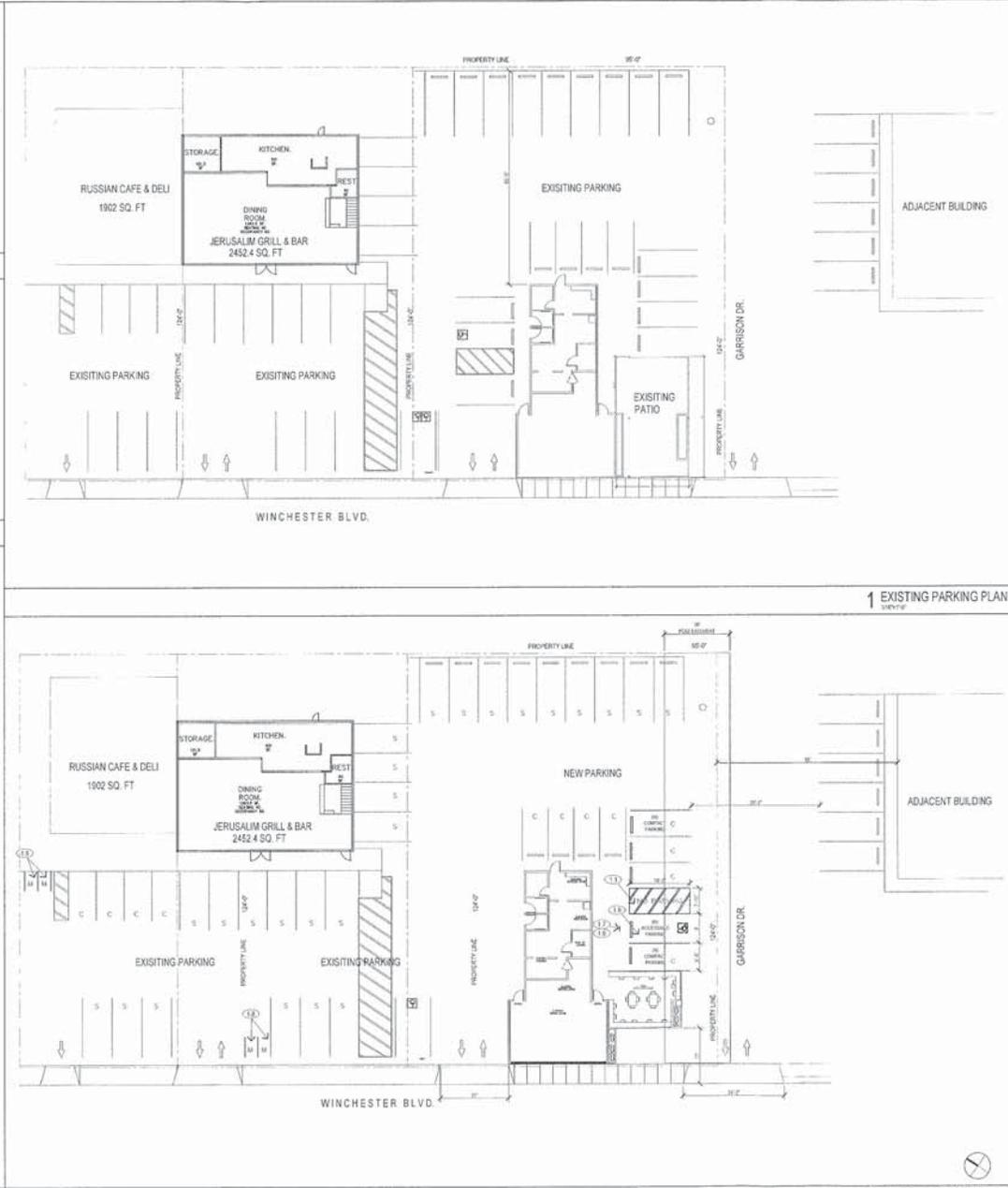
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AS NOTED

1102.01

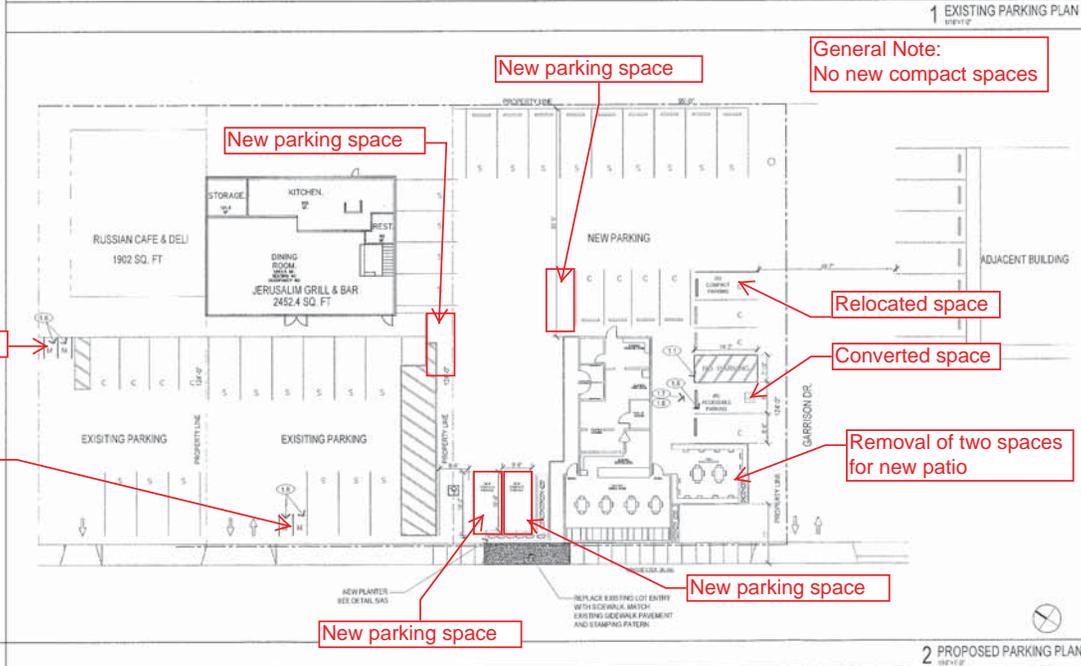
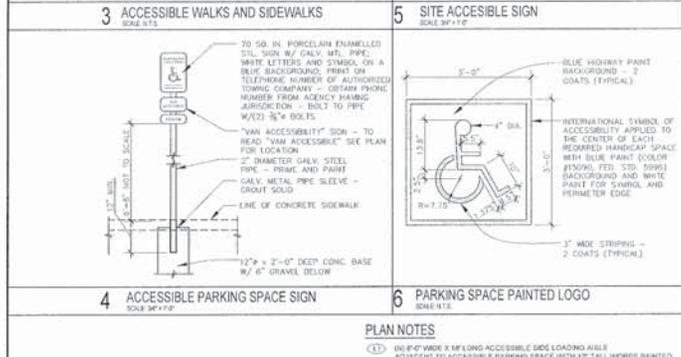
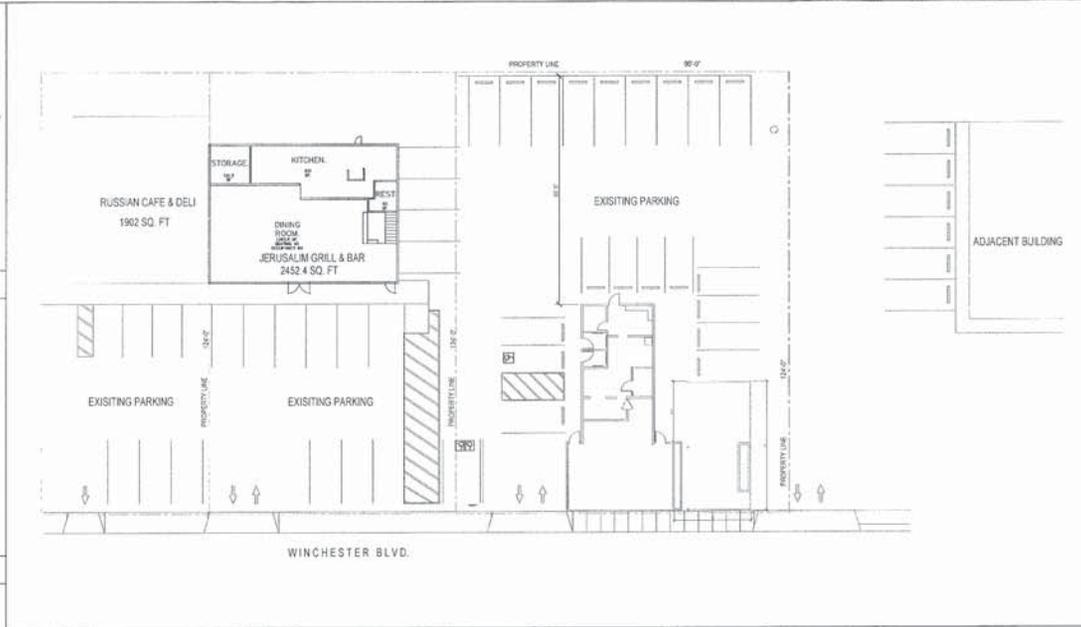
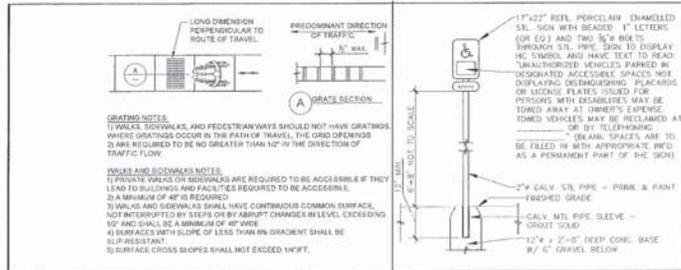


KEY NOTES



2 PROPOSED PARKING PLAN
SCALE: 1/4" = 1'-0"

Revisions:		
Description	By	Date
PARKING REVISION	OC	8.25.15
		11-05-14
	GVC	
	GVC	
	GVC	
	AS NOTED	
		11.02.01



General Note:
No new compact spaces

New motorcycle x2

New motorcycle x2

New parking space

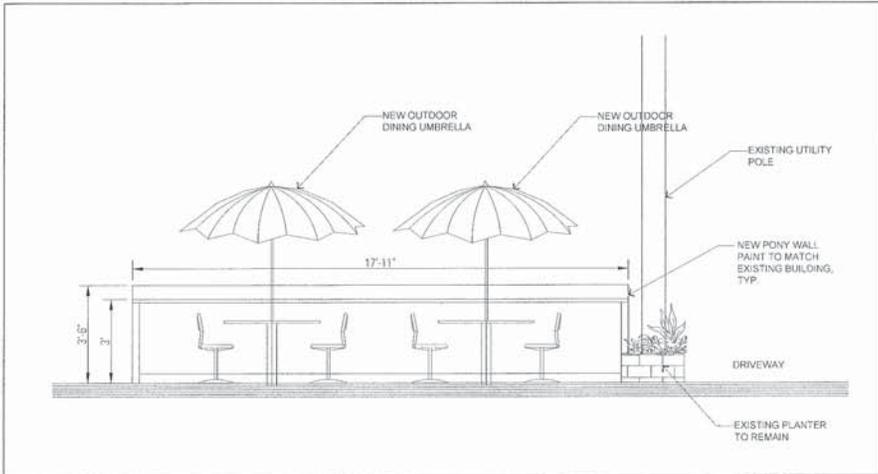
New parking space

Relocated space

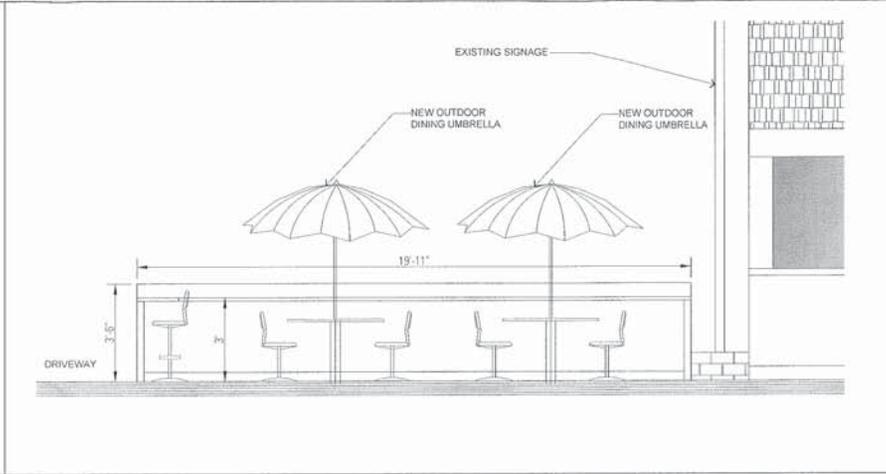
Converted space

Removal of two spaces for new patio

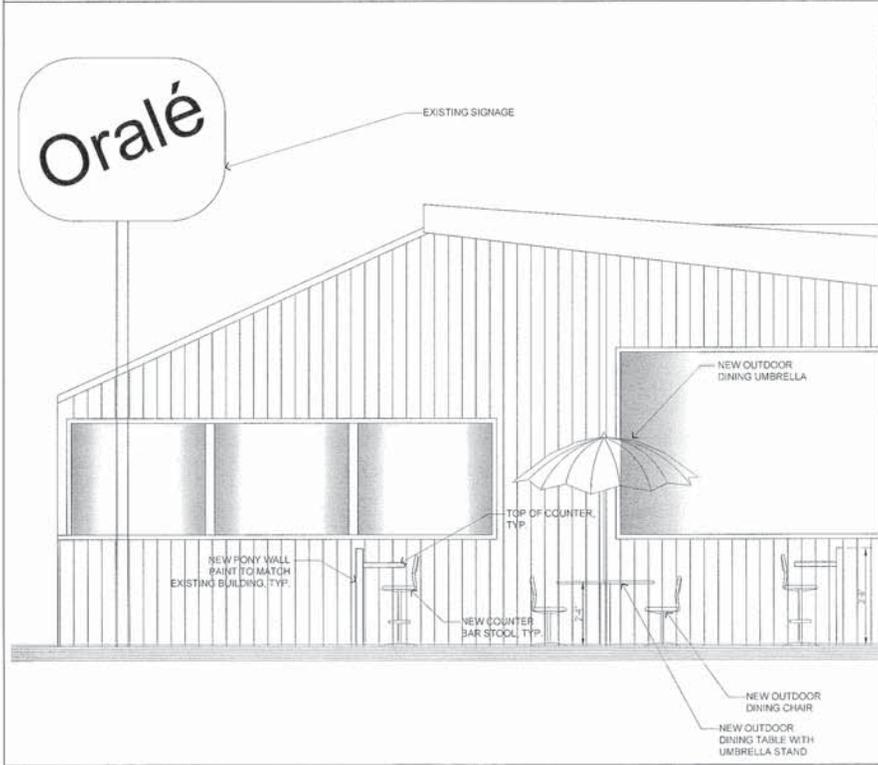
2 PROPOSED PARKING PLAN



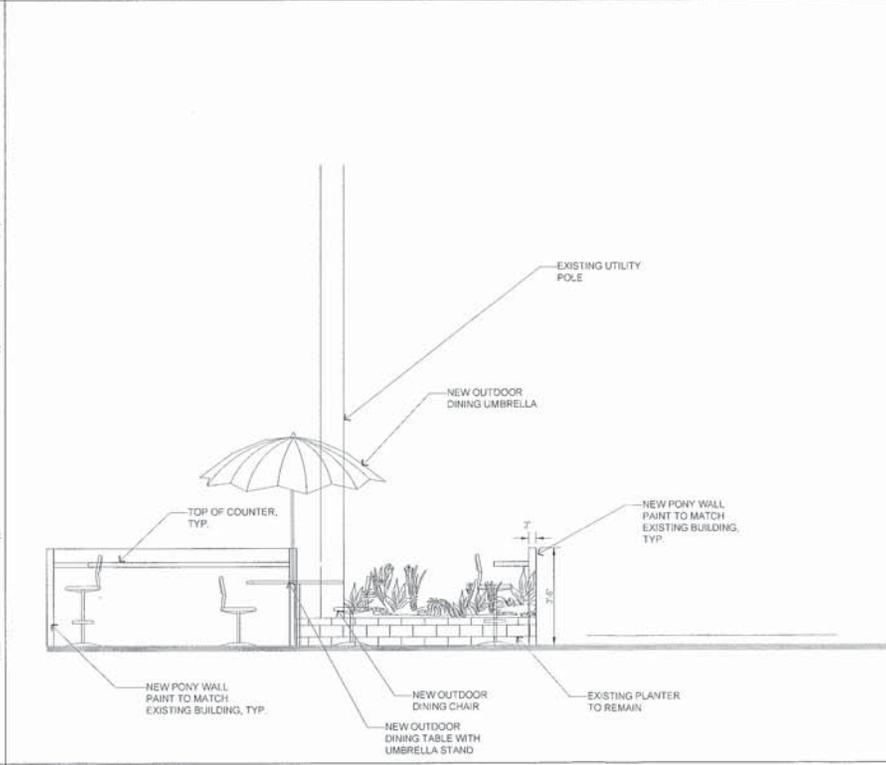
1 OUTDOOR PATIO ELEVATION
10/11/14



2 OUTDOOR PATIO ELEVATION
10/11/14



3 OUTDOOR PATIO ELEVATION
10/11/14



4 OUTDOOR PATIO ELEVATION
10/11/14

ONE DESIGN GROUP

18 ROLLINGSTONE COMMONS
LIVERMORE, CA 94550

Sheet Title:

PATIO ELEVATIONS

TENANT IMPROVEMENT:
ORALE MEXICAN RESTAURANT
1750 WINCHESTER BLVD.
CAMPBELL, CA 95008

Revisions:

Description	By	Date
PARKING REVISIONS GC		8/25/13
		11-05-14
	GVC	
	GVC	
	GVC	
	AS NOTED	
		1102.01

Sheet No.:

A4









Parking Analysis						
Address	Tenant	Classification	Area / Seats	Parking Required per Table 3-1	Req. Parking	Parking Provided
1708 S. Winchester	Russian Café & Deli	Deli	1,902 / None	1:250 sq. ft.	Prorated (7.6)	40 shared
1740 S. Winchester	Jerusalem Bar & Grill**	Restaurant	2,100 / 60 seats	1:3 seats	Prorated (20)	40 shared
		Office	2,452	1:225 sq. ft.	Prorated (10.89)	40 shared
1750 S. Winchester	Orale Mex-Grill	Existing Restaurant	1,590 / 40 seats (800 sq. ft. non-dining)	1:3 seats & 1/200 sq. ft. of non-dining	Prorated (17.3)	40 shared
		With Proposed Patio	+12 seats	1:3 seats	4	4 new (1 relocated)
				Total Parking Required	44	
				Total Parking Provided (shared)	44	
				Deficit/Surplus	0*	

*: The subject property shares parking with 1708 & 1740 S. Winchester Blvd. All existing uses were established with 40 shared parking spaces on site. Pursuant to CMC 21.28.040.D.2, when a legally established structure or use is enlarged or increased in capacity, only the difference in the required number of parking spaces for the existing use and the new use or increased capacity needs to be provided.

** : UP99-01 approved a parking deficit of 11 spaces for this use.

Administrative Record

In 1984, the restaurant operating at 1750 S. Winchester Blvd. changed its name from Hot Dog Heaven to Ricardo's Fast Food.

On July 24, 1984 the Planning Commission approved a Conditional Use Permit (UP84-09) for Ricardo's Fast Food, allowing a liquor license to permit on-sale beer and wine in association with a full service restaurant. The approval specified a limit on hours of operation from 8 a.m. to 10 p.m., but did not specify a limit on seating.

On April 27, 1999, the Planning Commission approved a Conditional Use Permit (UP99-01) for allow for an on-sale general liquor license, live entertainment and operational hours beyond 11 p.m. for Red Square Restaurant (now Jerusalem Bar & Grill) located at 1740 S. Winchester Boulevard. As part of the permit conditions of approval, a reciprocal parking and egress/ingress agreement had been required between 1708, 1740 & 1750 S. Winchester Boulevard but had never been recorded.

On May 16, 2002 the Planning Division reviewed a proposal for an outdoor patio area by Ricardo's Fast Food at 1750 S. Winchester Boulevard. The feedback from staff at the time indicated the necessity for a Conditional Use Permit and review and approval by the SARC & Planning Commission. In response to staff's feedback at the time, Ricardo's Fast Food elected to not proceed with the permit request for the outdoor patio.

On June 17, 2009 Ricardo's Fast Food changed to Orale Mex-Grill (a Mexican food restaurant).

In 2014, it came to the City's attention that the Orale Mex-Grill had expanded an outdoor patio area on the east side of their building and over a parking lot. As the seating area had not been reviewed or approved by the City, staff encouraged the applicant to submit permits for review.

On April 10, 2015 an inspection of the property was conducted by Planning and Public Works Department staff. At the time of inspection, 40 seats were observed inside the building.

On October 2, 2014 a warning notice was sent from the Code Enforcement Department to the property owner directing them to apply for the permits, or remove the outdoor patio.

On January 27, 2015 a notice of intent to cite was sent from the Code Enforcement Department to the property owner.

On March 19, 2015 the applicant submitted an incomplete application as an effort to show progress and avoid penalties by the Code Enforcement Department.

Between March 19, 2015 through June 15, 2016, staff sent five 'incomplete' (correction) letters on the subject permit in an attempt to ready the permit for review and consideration by the Site and Architectural Review Committee and Planning Commission.